



Cabarrus County Government

Cabarrus County Planning and Zoning Commission
Tuesday, June 15, 2021 @ 6:30 p.m.
Cabarrus Arena, Cabarrus Room
4751 Highway 49 N, Concord, NC 28025

Agenda

Roll Call

1. Approval of April 13, 2021 PZ Meeting Minutes
2. **Old Business – Planning and Zoning Commission Function:**
 - A. **Petition RZON2021-00001** – Request to rezone from Office/Institutional (OI) to General Industrial - Conditional Use (GI-CU). Applicant/Owner is Vulcan Lands, Inc. Address is 5300 Gold Hill Rd E (PIN: 6603-26-2969).
 - A. **Petition CUSE2018-00004** - Close out documents for the amendment to CUSE2017-00001, Conditional Use Permit for Public Service Facility (Solar Farm). Applicant is Canadian Solar Solutions, Inc. (**Request to Table**)
3. **New Business Planning Board Function:**
 - A. TEXT2021-00002 Proposed Amendments to, Chapter 4, Chapter 7, and Chapter 16
4. Directors Report
5. Legal Update
6. Adjourn



Cabarrus County Government – Planning and Zoning Commission

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Mr. Jeff Corley, Chair, called the meeting to order at 6:37 p.m. Members present, in addition to the Chair, were Mr. Adam Dagenhart, Ms. Holly Grimsley, Mr. David Hudspeth, Mr. Andrew Nance, Ms. Ingrid Nurse, Mr. Charles Paxton, Mr. Chris Pinto, Mr. Brent Rockett, and Mr. Stephen Wise. Attending from the Planning and Zoning Division were, Ms. Susie Morris, Planning and Zoning Manager, Mr. Phillip Collins, Sr. Planner, Ms. Arlena Roberts, Clerk to the Board, Richard Koch, County Attorney and Mr. David Goldberg, Deputy County Attorney.

Roll Call

Approval of April 13, 2021 Planning and Zoning Commission Meeting Minutes

There being no corrections or additions to the minutes, Mr. Charles Paxton **MOTIONED**, **SECONDED** by Mr. Adam Dagenhart to **APPROVE** the April 13, 2021, meeting minutes. The vote was unanimous.

Old Business – Planning and Zoning Commission Function:

The Chair said anyone wishing to speak tonight must complete a blue card should the Board decide to reopen the Public Hearing and present it to the Clerk.

The Chair read the suggested rules of procedure for the meeting.

1. The Cabarrus County planning staff person(s) shall first present the revised staff report and answer questions related to the revisions from the Commission. There will be no time limit on this presentation.
2. The Applicant may make a presentation to the Board (optional) related to the revisions to the plan and will then answer questions from the Commission. There will be a 15-minute time limit on the presentation if the Applicant chooses to make a formal presentation. There will be no time limit on questions from the Board following the presentation.
3. The public hearing portion of the meeting for the case was closed at the last meeting. In the event the Board decides to reopen the public hearing, the following rules of procedure shall apply:
 - a. Proponents (those speaking generally in favor of the case) will have 3 minutes per person, subject to reasonable extensions by the Chair, to speak and/or present documents in support of their position as it relates to the revised plans. Each person signed up to speak will have one opportunity to speak before the Commission.

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- b. Opponents (those speaking generally against the case) will have 3 minutes per person, subject to reasonable extensions by the Chair, to speak and/or present documents in support of their position as it relates to the revised plans. Each person signed up to speak will have one opportunity to speak before the Commission.
- c. If a speaker has questions of a person on the other side, such questions shall be addressed to the Commission Chair to be redirected to the person to be asked. There will be no direct questioning of one speaker by another except through the Commission.
- d. Public demonstrations of support for a speaker's comments should be limited to clapping. Any other type of audible support shall be out of order and subject the offender to being removed from the building. Anyone speaking out of order shall likewise be subject to removal.

The Chair asked if there was a motion to approve the rules of procedures.

Ms. Holly Grimsley, **MOTIONED, SECONDED** by Mr. Adam Dagenhart to **APPROVE** the Rules of Procedures. The vote was unanimous.

The Chair said if you have filled out a blue card and you plan on speaking tonight you will need to be sworn in. The Chair asked those planning to speak to stand, and he administered the Oath to the speakers.

The Chair introduced Petition RZON2021-00001 – Request to rezone from Office/Institutional (OI) to General Industrial - Conditional Use (GI-CU). Applicant/Owner is Vulcan Lands, Inc. Address is 5300 Gold Hill Rd E (PIN: 6603-26-2969).

The Chair asked if there was anyone who had a conflict of interest or any information that needs to be shared at this time. The Chair disclosed that after the meeting, there were a series of emails that he was copied on, generally related to what the Board's intent in Tabling was. He sent a clarifying email which stated that it was his understanding that this Board Tabled so the applicant could have a chance to meet with the neighbors, not so that the Board could have a chance to meet with the neighbors. He wants to disclose that that conversation did occur. There being no further comments, the Chair called on Mr. Phillip Collins to present the staff report.

Mr. Phillip Collins, Sr. Planner, addressed the Board presenting the Staff report for RZON2021-00001 – Request to rezone from Office/Institutional (OI) to General Industrial - Conditional Use (GI-CU).

Mr. Collins said at the April Planning and Zoning Commission meeting, the Board considered a request to rezone property located at 5300 Gold Hill Road East from OI to GI-CU. Due to neighborhood concerns, Vulcan Lands requested to Table the matter to meet with the

surrounding property owners to further discuss the request and seek resolutions for the issues presented during the public hearing.

A neighborhood meeting was held on May 17, 2021, for the surrounding property owners. Thirty-eight property owners were invited to the neighborhood meeting, fifteen invitees attended. As a result of the discussions and feedback from the neighbors, Vulcan has revised their submittal materials.

Among the changes are:

1. White noise back up alarms for the trucks. (Discussed a little bit last time; page 2 of the revised site plan, See note 5.J)
2. Timbering of the site will be phased based on the current phase plan (Sheet 10 Phase Plans)
3. 40' slope (berm) constructed along the non-quarry perimeter of each phase prior to placing overburden material. Once they start clearing that out, they will plant a 40-foot berm and start placing overburden material on each phase.
4. In Phase 3 they plan to plant a row of Leyland Cypresses to be planted at the toe of the new slope (berm) along the Phase 3 perimeter
5. Existing quarry access to be utilized for timbering operations for the subject parcel instead of the Gold Hill Road entrance. (Discussed last time, updated on page 2, note 3d)

Staff originally requested that the following conditions be placed on the request:

1. Granting order, stating restrictions and applicable conditions of approval shall be recorded with the deed for the property.
2. Any changes to the approved site plan must receive Board of Adjustment approval in the form of an amendment to the Conditional Use Permit.
3. Copies of any state, local, and/or federal permits related to the use of the subject property shall be submitted to the Planning Department as part of the permanent project file.
4. Applicant must comply with the terms of NCDEQ/NPDES Industrial Stormwater Permit NCGO 20000 and NCDEQ Mining Permit 13-04.
5. Applicant is proposing to use existing landscape to meet required landscape buffers. Where there are gaps in planting areas or planting areas do not conform to ordinance requirements, applicant shall provide supplemental plantings as needed to obtain ordinance conformance.
6. Applicant shall provide a copy of the Reclamation Bond where the obligee is NCDENR to accompany Surety Rider that was submitted.
7. Applicant shall provide a copy of the survey at a scale of 1:100 at the time of zoning site plan review.

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In addition to the original proposed conditions of approval in the staff report, the following conditions are proposed by the applicant:

1. White noise back up alarms
2. Timbering of the site will be phased based on the current phase plan
3. 40' slope (berm) constructed along the non-quarry perimeter of each phase prior to placing over-burden material
4. A row of Leyland Cypresses to be planted at the toe of the new slope (berm) along the Phase 3 perimeter
5. Existing quarry access to be utilized for timbering operations for the subject parcel instead of the Gold Hill Road entrance

Mr. Collins is happy to answer any questions the Board may have.

The Chair asked if there were any questions for Staff, there being none, he called on the applicant.

Ms. Susanne Todd, Attorney, Johnston Allison Hord, PA, 1065 East Morehead Street, Charlotte, NC, is assisting the applicant, Vulcan, with this request for a conditional rezoning. It is approximately 138 acres to be restricted to use for overburden storage. The overburden storage is coming from the adjacent, existing Vulcan Gold Hill quarry. Allowing the property to be rezoned for this use would enable Vulcan to put its overburden storage on this site instead of hauling it offsite at such time as the capacity of the existing quarry is depleted. No blasting or other mining type operations is being proposed for this site.

During the last public hearing on April 13, 2021, we were surprised at the comments and issues that were raised by the attendees. No applicant likes to be in a position of negotiating in front of a Board and she is sure no Board wants to be acting as a referee for that. We truly appreciate the opportunity to have taken the matter offline and see what we could do.

We were surprised because we had not heard any feedback whatsoever during the duration of the rezoning process. Nor did we have any attendees at our community meeting that we held last October. She thanked for Board for the opportunity.

We are here tonight to report back to the Board. During the April 13th meeting, the Board asked that we meet with the neighbors and we have come back with a site plan that was acceptable to all. We are here tonight to report back on that and the meeting with all the neighbors, specifically feedback and our interaction with the three main representatives, Mr. Jon Gomez, Mr. John Jackson, and Ms. Jennifer Jordan.

She asked Ms. Denise Hallett, Manager, Community and Government Relations with Vulcan, to address the Board to tell you a little about Vulcan's outreach efforts with regard to this project and she will be back to summarize the revisions of the site plan.

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Ms. Denise Hallett, 516 Fairway Ridge Road, Salisbury, NC, addressed the Board representing Vulcan Materials Company. She said to add to Ms. Todd's comments, we also want to thank the Board for allowing us the opportunity to meet with our neighbors and our neighboring property owners, one on one, in more of a relaxed setting where we had the chance to build some relationships and meet some neighbors that we had not met before. We had the opportunity to hear and respond to our neighbor's concerns. We sent out almost 40 invites to approximately 70 neighbors, some of the invites had more than one name on the property owner sheet.

The meeting was held on May 17th at the Rusty Shelter in historic Gold Hill. The meeting was drop in style, basically from 4:00 p.m. to 8:00 p.m. We had neighbors coming in and out during that whole period, we were really pleased. We had about 13 neighbors to show and attend and provide some comments and allowed us to share information with them about this zoning and about our company in general.

She said well in advance of this neighborhood meeting, we worked with our engineers on ways we could respond to the comments and questions that were raised during the public hearing. For example, in response to our neighbors concerns about our plans to timber the entire site prior to commencing any overburden storage work, our team put in considerable time in evaluating the feasibility of a phased timbering plan that you will hear about later.

Also, in response to our neighbor's concerns about construction noise and seeing the overburden, our team came up with a grading and construction plan that requires the construction of a 40 foot high vegetated slope around the perimeter of each phase prior to beginning any overburden storage work. In addition, to combat any concerns about the noise, we committed, as you heard at the April meeting, about the white noise back-up safety alarms that could take care some of the noise that the neighbors raised concerns about.

In particular response to Mr. Jackson's concerns about visibility from his property, we also designed a row of Leyland Cypress to be planted in advance of the slope construction right at the toe, to provide some additional screening into the site.

We worked with our Engineers to create some 2D models to show neighbors what they would see and how the work would progress throughout the site. We also had our Engineer run some calculations to provide a more accurate estimate at the time it would take to complete each phase of the timbering and storage process, based on current demand.

We used the neighborhood meeting to share our new timbering plan and perimeter berm construction model with the attendees. We provided a more realistic estimate of about a ten to fifteen year build out for the entire project.

The neighborhood meeting also gave us a chance to discuss concerns neighbors raised about mining that were unrelated to our rezoning, but still great opportunities for us to discuss how we operate and how we have been operating at Gold Hill quarry for a number of years. Those included items like nighttime operations, wells, and dust of which we addressed with them.

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We did share that Vulcan does not operate at night, so the noise that they might be hearing at night is not coming from our operation. We did note that there are other industrial users that do operate 24/7 around the community.

We were able to connect a neighbor with one of our blasting engineers to discuss issues related to his well. We also offered to meet the many neighbors who had concerns about dust, to take samples.

Again, we are not the only manufacturer in the area, nor are we the only property owner that disturbs land. We did share our dust control measures that we are required to maintain as part of our mining permit, and we noted that those controls are not required by most of the other property users in the area.

All in all, we believe the meeting was very productive. All the neighbor representatives that came to the April meeting that were identified to represent all the neighbors did come and we had a chance to talk with each one of them individually.

After that hearing and the main neighborhood meeting, we submitted the revised site plans that the Board heard about earlier.

She went over the additional conditions that they have agreed to place onto this conditional zoning application.

We will use the white noise backup alarms on all of equipment used on any equipment used on the site.

We will phase timber each phase of the project.

Prior to construction on each phase, Vulcan will build and seed a 40-foot-high slope behind the 100-foot vegetated buffer. She said there are other erosion control measures that are right behind the buffer for a good distance, approximately 20 feet before the slope would even start.

In Phase 3, which is around John Jackson's property, we would plant a row of Leyland Cypress between the 100-foot buffer and erosion control components at the bottom of the vegetated slope, and we would do that before we would start building that slope.

We would also place a condition that would require Vulcan to use internal haul roads for the timbering operations versus using the access that is existing on the site now.

After the neighborhood meeting, she reached out by phone to each of the three homeowner representatives offering to discuss any other issues that they might have and she shared a copy of the summary that we supplied to the County staff as well as a copy of the phased timbering map that the Board has. She emailed them a copy of this and again we submitted to the County staff

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and she followed up with an email with the homeowner representative again on June 9th and again attached a copy of our summary thinking that might be of help to them and asked that they just get back with us with any questions that they might have. She did not hear back from any of the neighbor representatives after she sent the email.

She wants to thank the Board again for the additional time to meet with our neighbors and to hear and address their concerns. As much as Vulcan wants to be a good neighbor, this was an opportunity for us to demonstrate that we are willing to work with our neighbors, to provide solutions that are good for everybody. We are happy that we could present these conditions that we feel adequately addresses the issues that were raised.

Ms. Susanne Todd said we submitted a copy of the neighborhood meeting invite, the invitation list, and the sign in sheet to staff at the same time that we submitted our revised site plan which was on May 18, 2021, and all of this was included in the Board packet for tonight.

As Ms. Hallett detailed, Vulcan has gone to great lengths revising its plan to address as many of the concerns raised during the public meeting, during the hearing, as well as the community meeting as feasible. Even after this neighborhood meeting, Vulcan continued communications with the neighborhood representatives providing them with a revised site plan and again requesting and inviting feedback. As Ms. Hallett mentioned, we have not heard anything further from the neighborhood representatives.

Ms. Todd said buffers are intended to provide separation and screening from other uses. There is nothing in this Ordinance that requires the use to be made invisible. Even though this is not an industrial type use, once built out, the buffers and the separation that Vulcan is providing does make this a really good use for this property, not only for Vulcan, but for the surrounding neighbors and community as well.

Unfortunately, we cannot say that we reached an agreement with the adjacent property owners or neighbors because we never got a response. But frankly, she would be very disappointed, and she thinks their team would be very disappointed if after all our efforts additional issues were to arise tonight. Again, we appreciate the opportunity.

There is one house keeping matter, she reached out to their appraiser, and showed her the revised site plan and asked her if anything in that site plan as revised would change her opinion. She has provided a notarized statement stating that it has not. Ms. Todd submitted the statement as evidence.

Ms. Todd asked if there were any questions for the applicant. If not, we appreciate your time and would also appreciate approval of this rezoning petition. If there is a speaker in opposition, we reserve the right for rebuttal.

The Chair said thank you to all of you for the process you have gone through since the last meeting. He asked if there were any questions from the Board, there being none he said this is

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the part of the meeting where we normally open the public hearing which we have already opened and have already closed. The Board has the option to reopen the public hearing and it is his suggestion, if there is no objection, that we reopen the public hearing again, abiding strictly by our three-minute rules that we adopted earlier and hear from anyone that is here tonight and give them their three minutes and we will reclose the public hearing and carry on with our busy if there is no objection. There being no objections, the Chair reopened the public hearing.

The Chair called on Mr. Gomez to address the Board.

Mr. John Gomez, 5030 Gold Hill Road, E. Gold Hill, NC addressed the Board stating that he wanted to tell the Board that initially they had not heard anything about this until there was a sign posted at the property. So, if you had a meeting in October, we did not know about it until the sign was posted at the property. He thinks that is why all the neighbors were concerned. We saw the sign posted one day and then the Zoning Commission was going to vote on it the following month and we had not received any notice on it. So, the neighborhood was concerned because it just seemed like it was being pushed forward and because of that, Vulcan did spend time with all the community members that were involved directly and associated with the property.

We appreciate Vulcan, we really had a good meeting and he thinks all the neighbors that attended were pleased with some of the results that were taking place (he talked with them). Timbering is going to be done in phases, not all at once, the 100-foot buffer zone is going to be there, additional trees planted for the buffer for sound for the neighbors that are going to be facing that on the road and also the timbering access will be used on Vulcan property and will not come back onto Gold Hill Road, because everyone lives on Gold Hill Road.

He said it was a very good meeting and we thank Vulcan for that. He said if the Board is going to change the zoning, he encourages them to let the neighbors know before you vote on it.

The Chair said this is always a great process when people are communicating, and we certainly appreciate the conversations that the neighbors and Vulcan have had throughout this process. He said thank you to everyone.

There being no further comments the Chair closed the Public Hearing. The Chair asked if there were any more questions for staff or the applicant before the Board deliberates. There were none.

The Chair said at this point we will need to discuss the request. A reminder that this is going to take three votes to do this. As you also know we will probably have to repeat ourselves several times as we vote on different things as we build the record and ultimately a consistency statement.

He said first let's have some general conversation about the case and some of items that we need to discuss and build the record.

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The Chair said the Land Use Plan calls for employment. He thinks this is a continuation of a use that is already next door that is industrial use which he would consider employment, an employment center, so he feels like it is consistent with the intent of the Land Use Plan. He said it is compatible with adjacent uses, but it does complement the use of the existing quarry very well.

Mr. Paxton said with the revised site plan it helps to define the uses of the site.

The Chair said with the revisions, the impact to the neighboring properties have been significantly minimized, to the extent that the project can continue yet impact those neighbors very little.

We would like to talk about infrastructure, obviously not very much infrastructure in this area, so again this is a great use of this property, because it does not require a lot of construction to support it.

The Chair said we need to proceed to vote number one. This is the change of the zoning district with the list of proposed uses. He asked if there is a motion to approve or deny the request to change the zoning to GI-CU with the uses proposed by the applicant. Again, we listed some of the items to support those.

Infrastructure is appropriate for this use. It is an expansion of an existing use, limits the effects on the neighbors and property owners. The revised plan defines the uses of the site and it is consistent with the intent of the Land Use Plan as an employment center.

The Chair said we will entertain a motion to approve or deny this request.

Mr. Adam Dagenhart, **MOTIONED, SECONDED** by Mr. Brent Rockett to **APPROVE** RZON2021-00001 request to change the zoning to GI-CU, with the list of proposed uses. The vote was unanimous.

The Chair said the second part of that vote is the Consistency Statement. Again, we have some good information that we will need to restate.

Consistency Statement

This rezoning is reasonable and in the public interest because it is consistent with the intent of Land Use Plan. The revised plan defines the uses of the site, the infrastructure is sufficient. It is an extension of the existing use of an adjacent site, and it limits the effects on the neighboring properties.

The Chair said we will entertain a motion to approve or deny the Consistency Statement along with the reasons just mentioned.

There being no further comments, Mr. Brent Rockett, **MOTIONED, SECONDED** by Mr. Dagenhart to **APPROVE** the Consistency Statement. The vote was unanimous.

The Chair said now, we have to issue the actual conditional use permit for the site plan. We have the original conditions provided by Staff. Staff and the applicant went through some additional conditions that the Applicant has offered themselves. He asked if there was any discussion on those conditions or does anyone have any changes or additions to those conditions.

The Chair feels like a lot of what the applicant has provided on their own directly addresses some of the concerns we heard at the last meeting. He feels like some of the things they offered really puts the property in a much better position to not negatively impact the surrounding property owners. They have addressed the backup alarm noise and added some additional plantings. The phasing is a great condition that will make sure that the whole site is not under construction at one time, as well as the timbering access to internal was a great addition as well.

The Chair said there being no further comments, we will entertain a motion to approve or deny the site plans along with the conditions recommended by staff as well as the self-imposed conditions by the applicant.

There being no further comments, Mr. Brent Rockett, **MOTIONED, SECONDED** by Ms. Nurse to **APPROVE** the Conditional Use Permit for the Site Plan with the 12 conditions. The vote was unanimous.

Old Business – Planning and Zoning Commission Function:

The Chair introduced Petition CUSE2018-00004 - Close out documents for the amendment to CUSE2017-00001, Conditional Use Permit for Public Service Facility (Solar Farm). Canadian Solar Solutions, Inc. **Request to Table**

Ms. Susie Morris, Planning and Zoning Manager, addressed the Board stating that Mr. Al Jansen has been in communication with Staff. As we have explained previously, there are some contractual obligations that Canadian Solar does control. There are some items that they have been able to work on and some that they have not.

They did submit an engineering study for those basins where there was question about the closeout of those basins, that involved the mulch. They did an impact study and unfortunately that study did not come in in enough time for us to have it reviewed and to have everything in order before this meeting.

Since that time, we received comments back from the County Engineer that were fairly detailed, and she thinks there were probably about 10 or 12 things that were listed. That was also sent over to DEQ and she has not heard back from them yet, but she did not request to receive comments from them until the 22nd.

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She said part of what has been installed is the pine seedlings, those are some of the pictures that you have. Staff has not been out there because we wanted to do one site visit and try to take care of everything.

If you read your memo, you will see that the committee made some recommendations and Canadian Solar is coming back with some of their own recommendations. For example, in that supplemental buffer, that gap on Joyner road, instead of the Loblolly Pine, they are proposing to put American Hollies in that gap. One of the things that we have seen on site is once the hollies take off, they are growing well. Hopefully, the Board is agreeable to that substitution because that is what was supposed to be there originally anyway, not the Leyland Cypress. If the Board is okay with that, she can communicate to them and they can proceed with that.

Along the area where the horses were, they are proposing to plant 32 additional Leyland Cypress, and those would be interior to the fence as requested by the committee.

As far as the stream and wetlands in the floodplain restoration areas, those are the photos they provided. As you can see, some of those areas are still not very well established. Hopefully, by the time we get back out there, those flags will still be there and the pine trees will still be there because as you know, we have been there multiple times and have not been able to find the pine seedlings.

She did have some discussion with them about the wetlands and the landscape area looking like it had been run over. It looked like maybe kids had four wheelers or something back in there. They have not figured that out. We will have to see what they did once we make our visit.

They did submit a study and you can see their proposed design on the last page. Ms. Morris said she is not an engineer and she does not pretend to be an engineer. Hopefully, between the engineers they can come up with something that would be agreeable to DEQ and to the County because there was a significant amount of floodplain that was disturbed. The last time we were out there everything was kind of jammed up against the fence. Ultimately, it is impacting that stream one way or another.

She said they are requesting to table and based on her last conversation, they feel like they may be ready for August. The border is still not open, so Canadian Solar, right now, is not willing to make the trip because the quarantine is still in affect in Canada. Once we are at that point, and they still cannot make the trip, we can always look at potentially trying to have one of them on Zoom or something so that you can ask questions or whatever you want to do at that time; we can talk about that.

Hopefully, by the August meeting, we will have had that back and forth on the engineering study and there will be some type of agreement, and the rest of the landscape will be installed.

She said the Board will need to make a motion to table the request until August or if something happens with Covid, until we have our next meeting.

The Chair said we will entertain a motion to table until August or until our next meeting.

There being no questions or comments, Mr. Adam Dagenhart **MOTIONED, SECONDED** by Mr. Andrew Nance to **TABLE** CUSE2018-00004 - Close out documents for the amendment to CUSE2017-00001, Conditional Use Permit for Public Service Facility (Solar Farm). Canadian Solar Solutions, Inc. The vote was unanimous.

New Business Planning Board Function:

The Chair introduced TEXT2021-00002 Proposed Text Amendments to Chapter 4, Chapter 7 and Chapter 16.

Ms. Morris said we have a couple of text amendments, two of them are very routine. The first text amendment is related to Chapter 4 and the amendment will clean up language from a previous amendment that was made. Essentially, there is duplicate language, the same sentence is repeated twice, so we just need to clean that up. She said Legal felt like it would be better to present it to the Board since those stream buffers are always a form of contention with people.

On Chapter 16, Flood Damage Prevention, the State pushed some language down to us. If the Board remembers, the last time that we had to do official maps we had to have several public meetings and have everything on display. This would allow us to adopt those maps by reference and if they update ERIS, those maps could be adopted without having to go through that whole process. When it comes time for new maps for the overall County, she feels like the State would probably want to have some of those meetings where people can comment.

This language will allow us to automatically adopt those and then it also clarifies the enabling statutes for us to have a Flood Damage Prevention Ordinance, so it references 160D. We have not addressed that as part of our overall 160D updates because we were waiting for that language from the State to see how they wanted to handle that.

Chapter 7 was proposed for Accessory Dwelling Units (ADUs), to allow some additional flexibility. What we are seeing is that historically people wanted a little garage apartment for Mom or Dad or who ever it was, to be able to take care of them and have them right by the house.

Over the last year, we have had an increase in request for ADUs that are not located right beside the primary dwelling. These requests are more related to larger parcels where Mom and Dad can have some of their own space. Almost like their own house, a smaller house of course, but on the same parcel and have a little bit of their own yard without having to have that interference of the two-family units.

If the Board remembers, Ms. Morris thinks it was in 2018, as far as the accessory structures, we changed those in general to allow placement anywhere on the site. That way if someone only had

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space in front of the house or at the edge of the drive to put a garage they could put it there instead of it having to be located to the side or to the rear of the primary dwelling unit.

Essentially, this just follows suit with that, but it would be if somebody was trying to permit an accessory dwelling unit. Most people do not know the difference between an actual garage and a garage apartment. This would allow some additional flexibility and allow people to continue to age in place, if they have that ability, to move on to that property with a family member that can help to take care of them.

The Chair asked if there were any questions for staff. There being no questions the Chair said we need to have some discussion for the record to support these.

He said Chapter 4 is some clarification language. Chapter 7 is providing some flexibility for accessory dwelling while keeping the size and scale of the existing structure relationship intact. It also allows all those to occur without negatively impacting the overall feel of the neighborhood. Chapter 16 is some language to avoid having to readopt changes to the floodplain maps, it would be automatically adopted, which he thinks is really good because some of those changes nowadays are sometimes very critical and if you are in the development stage of properties, that could really make a big difference whether they are automatically adopted or not.

The Chair asked if there were any comments on those changes. There being none, we will entertain a motion to recommend approval of the text amendments to the Board of Commissioners.

There being no further discussion, Mr. Charles Paxton **MOTIONED, SECONDED** by Mr. Andrew Nance to recommend **Approval** of TEXT2021-00001 Proposed Amendments to Chapter 4, Chapter 7, and Chapter 16 to Board of Commissioners. The vote was unanimous.

Directors Report

Ms. Morris had a chance to talk to some of the Board. We are able to meet at the Government Center (GC) now, so most likely in August we will be at the GC maintaining our same time of 6:30 p.m. We did not have any new cases submitted but there are some appeals and different type cases that are kind of hanging out there so we may or may not be meeting in July. But if we meet in July, that meeting would also be at the GC.

She knows that for some of the Board members the meetings are closer at the GC and for some it is closer here. Moving forward, plan on being at our usual meeting spot in the Commissioners Meeting Room.

She said if you watched any of the Commissioner meetings, they are using the multipurpose room, and they are still using sort of a hybrid format. But with us having to have 19 to 21 people, depending on who needed to be here, it would be difficult to do a “u” shape setup where you all could talk to the applicant. The best thing would be to have it here or back to the Governmental

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Center in the Board of Commissioners Meeting Room. We will be making that transition in the next couple of months.

No Legal Update

There being no further discussion, Mr. Holly Grimsley **MOTIONED, SECONDED** by Mr. Stephen Wise to **ADJOURN**. The vote was unanimous. The meeting ended at 7:34 p.m.

Ms. Morris forgot one thing. We had one request to move someone over to a new spot this month. Ms. Grimsley, Mr. Wise and Mr. Paxton, appointments are up for reappointment in July, and will run through 2024.

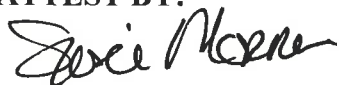
APPROVED BY:


Mr. Jeff Corley, Chair

SUBMITTED BY:


Arlena B. Roberts

ATTEST BY:


Susie Morris, Planning and Zoning Manager

FILED
CABARRUS COUNTY NC
WAYNE NIXON
REGISTER OF DEEDS
FILED Sep 15, 2021
AT 09:10 am
BOOK 15493
START PAGE 0007
END PAGE 0011
INSTRUMENT # 39314
EXCISE TAX \$0.00
BJW

Prepared by and Return to:
David B. Goldberg
Deputy Cabarrus County Attorney

Application Number RZON2021-00001
PIN 66032629690000

COUNTY OF CABARRUS
STATE OF NORTH CAROLINA

ORDER GRANTING A CONDITIONAL USE PERMIT

The Planning and Zoning Commission and the Board of Adjustment for the County of Cabarrus, having held a public hearing on April 13, 2021 and June 15, 2021, to consider application number RZON2021-00001, submitted by R. Susanne Todd of Johnston, Allison & Hord, P.A, attorney for Vulcan Lands, Inc, the landowner, to rezone the property at 5300 GOLD HILL RD E GOLD HILL, NC 28071 (PIN 66032629690000) from Office/Institutional (OI) to General Industrial - Conditional Use (GI-CU) and having heard all of the evidence and arguments presented at the hearing, makes the following findings:

1. The subject property is currently vacant.
2. Residentially zoned and used properties border the subject property to the west, south and southeast. The property is bordered by an industrial use to the east and north.


3. The subject property is currently located in the Office/Institutional district, which is used to provide for low intensity office and institutional uses that can be complementary to adjacent residential land use.
4. The subject property is located adjacent to the US-52/Glenmore Road area, which was included in a list of 17 sites for potential economic development opportunities in the 2006 Strategic Plan for Economic Development. The subject property is also located within the Eastern Planning Area. The Eastern Area Plan (EAP) recommends that the northeastern portion of Cabarrus County develop as an area of Future Employment.
5. The applicant intends to use the subject property for the storage of processed materials and by-products ("Overburden") from the adjacent quarry operations, forestry operations and pond maintenance.
6. The applicant requests that the subject property be rezoned to General Industrial - Conditional Use (GI-CU). The General Industrial district is intended to provide a location for both light and heavy industrial uses in a zoning district in which the potential for nuisance complaints from nearby properties is minimized.
7. The proposed use of extraction of earth products/mining is not permitted in the OI district. The proposed rezoning to GI-CU would allow the adjacent mining operation to use the subject property for storage of processed materials and by-products ("Overburden") from its quarry operations. Portions of the subject property are also proposed for forestry operations and pond maintenance.
8. The property owner has also submitted a site plan, which must be developed as submitted, without any deviations. Any future deviations from the adopted list of uses or proposed site plan would be considered an amendment to the conditional use zoning district and would require Board review and approval.
9. The proposed use of the subject property is in conformance with the proposed zoning district and the plans in place for that portion of the County. The proposed uses are permitted in the GI zoning district. Extraction of Earth Products is permitted as a conditional use.
10. The proposed general industrial zoning is in keeping with the 2006 Strategic Plan for Economic Development and the Eastern Area Plan.
11. The proposed quarry use for the newly acquired property is consistent with the mining operations on adjoining properties, which have existed in this area of the County for decades. Quarry-related uses on the site are reasonable given the uses on the adjoining properties.

12. The applicant will maintain a 100' buffer along all of the property lines not adjacent to the existing quarry. The applicant will comply with this requirement using existing vegetation that will be protected from future disturbance. The applicant is not proposing a landscape buffer along the property lines adjacent to the existing quarry. This buffer complies with Chapter 9 of the Cabarrus County Development Ordinance.

After considering the above information the Planning and Zoning Commission has determined that the proposed rezoning is consistent with the Cabarrus County's vision for this area. The Commission also adopted a consistency statement in accordance with the above information, determining that this rezoning is reasonable and in the public interest. The Planning and Zoning Commission and Board of Adjustment believes that a CONDITIONAL USE PERMIT should be granted in connection with this rezoning.


IT IS THEREFORE ORDERED that the application for the issuance of a CONDITIONAL USE PERMIT be GRANTED, subject to the conditions contained in the staff report and attached at Exhibit 1. The applicant shall fully comply with all the applicable, specific requirements in the Cabarrus County Development Ordinance and must develop the property in accordance with the site plan submitted and approved. If any of the conditions shall be held invalid, this permit shall become void and of no effect.

Ordered this 14 day of September, 2021 *nunc pro tunc* to June 15, 2021.

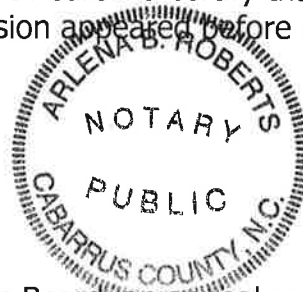


Chair of the Cabarrus County
Planning and Zoning Commission

I Arlena B. Roberts, Notary for Cabarrus County, North Carolina certify that Jeff Corley, Chair, of the Cabarrus Planning and Zoning Commission appeared before me on this day and signed the foregoing document.



Arlena B. Roberts, Notary Public
My Commission expires March 21, 2022



NOTE: If you are dissatisfied with the decision of this Board, an appeal may be taken to the Superior Court of Cabarrus County within thirty (30) days after the date of this order. See Section 12-25 of the Ordinance.

EXHIBIT 1
CONDITIONS
APPLICATION RZON2021-00001

1. The granting order, stating the restrictions and applicable conditions of the approval, shall be recorded with the deed of the property.
2. Any changes to the approved site plan must receive Board of Adjustment approval in the form of an amendment to the Conditional Use Permit.
3. Copies of any state, local and and/or federal permits related to the use of the subject properties shall be submitted to the Planning Department as part of the permanent project file.
4. The property owner must comply with the terms of NCDEQ/NPDES Industrial Stormwater Permit NCGO 20000 and NCDEQ Mining Permit 13-04.
5. The applicant is proposing to use existing landscape to meet required landscape buffers. Where there are gaps in planting areas or planting areas do not conform to ordinance requirements, the applicant shall provide supplemental plantings as needed to obtain ordinance conformance.
6. Applicant shall provide a copy of the Reclamation Bond where the Obligee is NCDENR to accompany Surety Rider that was submitted.
7. Applicant shall provide a copy of the survey at a scale of 1:100 at the time of zoning site plan review.
8. Applicant will outfit mobile equipment operating on the subject property with white noise back-up alarms to help control sound to the extent that their use is permitted by the Mine Safety and Health Administration.
9. Timbering of the subject property will be phased to coincide with the use of a particular phase for quarry use.
10. Vulcan will commence development in each of the four phases by first constructing and seeding a 40-foot-high slope along the non-quarry perimeter of each phase. Overburden materials will then be placed behind the slope.
11. Applicant will provide a row of Leyland Cypresses on the toe of the new slope (berm) along the Phase 3 Perimeter of the Project.

12. The applicant will use its existing quarry access for timbering operations on each phase of the Project in lieu of the access off Gold Hill Rd. E.



**Cabarrus County
Register of Deeds**

**P.O. Box 707
Concord, NC 28026
(704)920-2112**

Wayne Nixon, Register of Deeds

Received By:
Jewel Williamson

Receipt For : CABARRUS COUNTY PLANNING & DEVELOPMENT

Instrument Type : ORDER
Instrument # : 39314
Book/Page : 15493 / 0007-00011 Pages : 5
1st Grantor : VULCAN LANDS, INC
1st Grantee : COUNTY OF CABARRUS
Description: ORDER GRANTING A CONDITIONAL USE PERMIT

Receipt # : 2021-533598
Date : 09/15/2021 09:10am
Document : 1 of 1

Description	Qty	Unit Cost	Extended
Miscellaneous document - first 15 pages	1	26.00	26.00
		Document 1	26.00
		Grand Total	26.00
		Voucher	-26.00
		Balance	0.00

Planning

Memo

From: Phil Collins, AICP
Senior Planner

To: Planning & Zoning Commission

Date: June 15, 2021

Re: Update on Vulcan Rezoning Request – RZON2021-00001

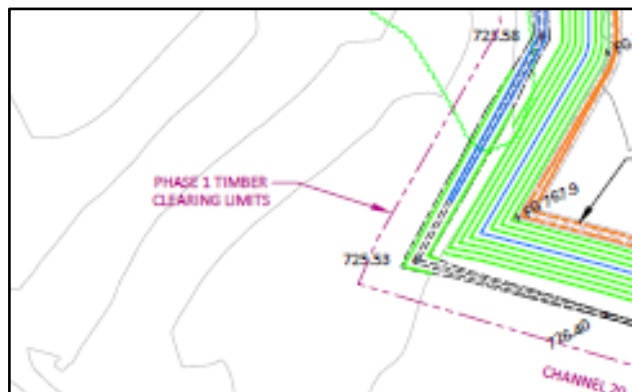
At the April meeting, the Planning and Zoning Commission considered a request to rezone property located at 5300 Gold Hill Road East from Office/Institutional (OI) to General Industrial – Conditional Use (GI-CU). Due to neighborhood concerns, Vulcan Lands requested to table the matter to meet with the surrounding property owners, further discuss the request and seek resolutions for the issues presented during the public hearing.

A meeting was held on May 17, 2021, for the surrounding property owners ([Exhibit D](#)). Thirty-eight property owners were invited to the neighborhood meeting. Fifteen invitees attended.

As a result of the discussions and feedback from the neighbors, Vulcan has revised their submittal materials. Among the changes are:

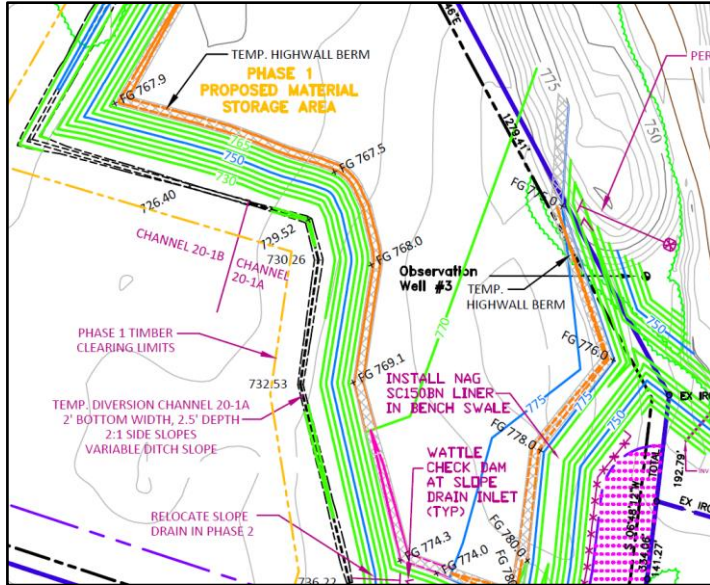
- White noise back up alarms
- Timbering of the site will be phased based on the current phase plan

See note 5.j of the Site Development Notes



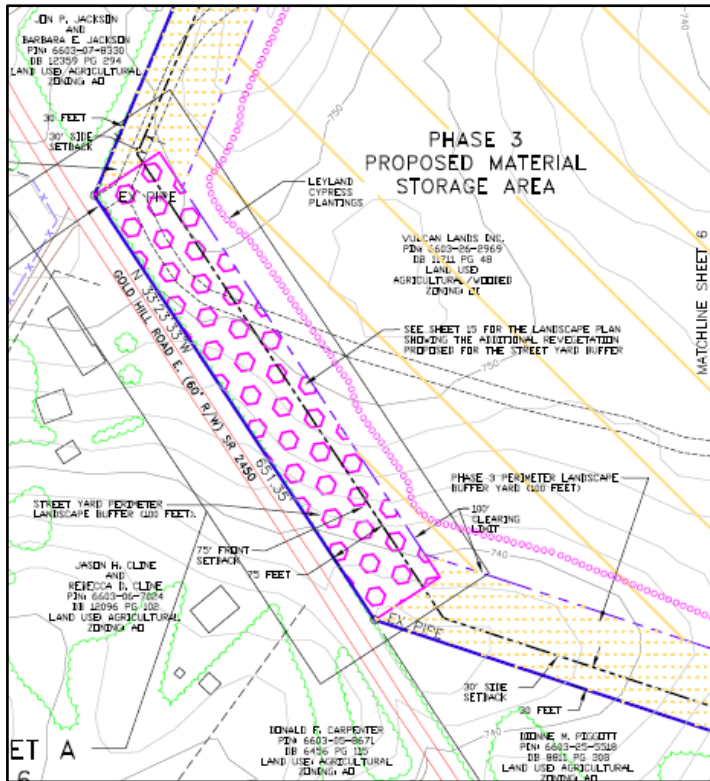
From sheet 10 of the site plan Also see note 5.k of the Site Development Notes

- A 40' slope (berm) constructed along the non-quarry perimeter of each phase prior to placing overburden material



From sheet 10 of the Site Plan.

- A row of Leyland Cyresses to be planted at the toe of the new slope (berm) along the phase 3 perimeter



From sheet 9 of site plan, also see note 4.1 of Site Development Notes

- Existing quarry access to be utilized for timbering operations for the subject parcel instead of the Gold Hill Road entrance

See note 3.d of the Site Development Notes

See attached letter from the applicant's attorney (Exhibit B) for additional information.

Staff originally requested that the following conditions be placed on the request:

1. Granting order, stating restrictions and applicable conditions of approval shall be recorded with the deed for the property. (Planning)
2. Any changes to the approved site plan must receive Board of Adjustment approval in the form of an amendment to the Conditional Use Permit. (Planning)
3. Copies of any state, local, and/or federal permits related to the use of the subject property shall be submitted to the Planning Department as part of the permanent project file. (Planning)
4. Applicant must comply with the terms of NCDEQ/NPDES Industrial Stormwater Permit NCGO 20000 and NCDEQ Mining Permit 13-04. (NCDEQ)
5. Applicant is proposing to use existing landscape to meet required landscape buffers. Where there are gaps in planting areas or planting areas do not conform to ordinance requirements, applicant shall provide supplemental plantings as needed to obtain ordinance conformance. (Zoning)
6. Applicant shall provide a copy of the Reclamation Bond where the obligee is NCDENR to accompany Surety Rider that was submitted.
7. Applicant shall provide a copy of the survey at a scale of 1:100 at the time of zoning site plan review.

In addition to the original proposed conditions of approval in the staff report, the following conditions are proposed by the applicant:

8. White noise back up alarms
9. Timbering of the site will be phased based on the current phase plan
10. A 40' slope (berm) constructed along the non-quarry perimeter of each phase prior to placing over-burden material
11. A row of Leyland Cypresses to be planted at the toe of the new slope (berm) along the phase 3 perimeter
12. Existing quarry access to be utilized for timbering operations for the subject parcel instead of the Gold Hill Road entrance

Updated materials provided:

- Exhibit A – Update Memo
- Exhibit B – Applicant Response Letter & Neighborhood Meeting Information
- Exhibit C – Revised Site Plan
- Exhibit D – Revised Site Development Notes
- Original Packet Materials

R. Susanne Todd
Partner

WRITER'S E-MAIL ADDRESS:
stodd@jahlaw.com

WRITER'S DIRECT DIAL:
704-998-2306

May 18, 2021

Mr. Phil Collins
Senior Planner
Cabarrus County Planning and Zoning
65 Church St. S
Concord, NC 28025

Via Electronic Mail

PECollins@cabarruscounty.us

**Re: Applicant: Vulcan Lands Inc./ Vulcan Materials Company
REZON21-00001
Conditional Use Rezoning Request for 138.38 AC from O/I to GI-CU
Cabarrus County PIN# 6603-26-2969**

Dear Mr. Collins:

Our firm is assisting Vulcan Lands Inc with conditional use rezoning application REZON2021-00001. This matter initially came before the Cabarrus County Planning and Zoning Commission ("Board") on April 13, 2021. In light of questions and concerns raised by neighbors in the area, the matter was tabled until the next Board meeting for Applicant and neighboring property owners to work together to address these issues. Vulcan conducted a second Neighborhood Meeting on May 17, 2021 from 4 PM-8 PM and invited over 40 adjacent and area property owners to attend. A list of invitees and a copy of the Invitation is enclosed herewith as **Items #1 and #2**.

Prior to the Neighborhood Meeting, Vulcan worked to address questions and comments raised by neighbors, including questions around noise, dust, timbering, hours of operation and visibility related to the proposed Overburden Storage Use and existing quarry operations. Sixteen neighbors attended the drop-in meeting. A copy of the Sign In list is enclosed as **Item #3**.

We appreciated the opportunity to listen one on one to neighbor concerns, discuss design changes proposed to address these issues, and also, to clarify miscommunication or misconceptions about quarry operations.

In response to our neighbors' feedback, Vulcan has revised its Site Plan Notes and Site Plan to provide:

- 1. White noise back up alarms on equipment will be used on the Site.**
- 2. Instead of clear cutting the estimated 100 acres within Phases 1-4 of the Site prior to commencement of any overburden storage development, Vulcan will phase its timbering activities to coincide with the commencement of overburden storage construction within each Phase. A Phased Timbering map is included herewith as Item #4.**

Although less cost effective, phasing the timbering will allow existing vegetation to remain as a buffer until replaced by the vegetated overburden storage buffer constructed within the prior Phase.

- 3. Vulcan will commence development in each of the 4 Phases by first constructing and seeding a 40 foot high slope along the non-quarry perimeter of each Phase. Overburden materials will then be placed behind the slope.**

The trees within the perimeter buffer generally measure between 40-60 feet in height. The resulting buffer plus fill slope will afford a solid vegetated barrier against adjacent properties to minimize visibility and sound of the storage activities and the existing quarry operations.

- 4. Vulcan agrees to provide a row of Leyland Cypresses on the toe of slope along the Phase 3 Perimeter of the Project.**

This will include the area along Gold Hill Road E., further screening overburden storage activities from public view.

- 5. Vulcan agrees to utilize its existing quarry access for timbering operations on each phase of the Project in lieu of the access off Gold Hill Rd. E.**

A few neighbors raised concern over use of the Site's Gold Hill Rd. E access for timbering operations. Using the quarry haul roads and access to Old Beatty Ford Rd. will alleviate neighbor concerns.

Under separate cover, Vulcan will also submit a revised Site Plan that includes the aforementioned conditions in the Site Plan Notes and as applicable in the landscaping and construction sheets of the Site Plan. I will also provide an electronic version of the Site Plan and redlined Site Plan Notes with this correspondence.

Prior to, and during the Public Hearing, construction time frames ranging between 10-40 years were mentioned, causing understandable frustration among attendees. Since the amount of overburden created from the existing quarry is ultimately driven by the demand

for aggregate product from the quarry, Vulcan is unable to provide a definitive deadline for completion of construction on the Site. However, Vulcan asked its engineers to evaluate overburden volumes based on current market demand, and was able to provide neighbors with a more realistic estimated timeframe of 10-15 years. In arriving at this analysis, Vulcan also took into consideration that the mining operations at the Gold Hill quarry create more waste materials than other quarry operations due to the specific aggregate mined at this location.

The Neighborhood Meeting also allowed Vulcan to address comments raised regarding noise from nighttime operations, damage to wells and dust. Although the Gold Hill quarry is permitted to operate at night, it does not actually do so. However, there are other industrial users in the immediate area that operate 24/7.

Vulcan had a blasting engineer at the neighborhood Meeting to explain that the blasting threshold enforced by the State coupled with Vulcan's internal controls results in zero probability of damage to wells in the area. The engineer also explained the impact of the current drought conditions on well pressure; April being the driest month of the year in this region.

Vulcan has offered to investigate the dust concerns, explaining that both the existing quarry and proposed overburden storage Site are required by law to control dust from its operations. Of note is that the Gold Hill quarry recently passed stringent air quality inspections conducted by the NCDEQ. Vulcan cannot control dust coming from other uses in the area.

Thank you for your attention to this matter. Should you have any questions or require anything further, please do not hesitate to contact me directly at 704.998.2306.

Sincerely,



R. Susanne Todd

RST/edf
Enclosures
cc: Denise Hallett, Vulcan Materials Company

Owner	Cabbarus County PIN	Property Address	Mailing Address
Larry Wayne Whitley	66034502360000	15103 Short Cut Road, Gold Hill, NC 28071	15103 Short Cut Road, Gold Hill, NC 28071
Allan L Kesler	66030897460000	5650 Gold Hill Road E, Gold Hill, NC 28071	5650 Gold Hill Rd E, Gold Hill, NC 28071
Jon P Jackson & Barbara E Jackson	66031802360000	5530 Gold Hill Road E, Gold Hill, NC 28071	5450 Gold Hill Rd E, Gold Hill, NC 28071
Jon P Jackson & Barbara E Jackson	66031719160000	5240 Gold Hill Road E, Gold Hill, NC 28071	5450 Gold Hill Rd E, Gold Hill, NC 28071
Jon P Jackson & Barbara E Jackson	66030783300000	5330 Gold Hill Road E, Gold Hill, NC 28071	5450 Gold Hill Rd E, Gold Hill, NC 28071
Daryl K Philen & Karen A Kieffer	56939628230000	5331 Gold Hill Road E, Gold Hill, NC 28071	Po Box 1499, Mt. Pleasant, NC 28124
Raul B Ramirez & Monica G. Ramirez	66031916740000	13956 Connor Road, Gold Hill, NC 28071	14816 Baytown Court, Huntersville, NC 28078
Donald F Carpenter	66030586710000	5201 Gold Hill Road E, Gold Hill, NC 28071	5201 Gold Hill Road E, Gold Hill, NC 28071
Jason H Cline & Rebecca D Cline	66030670240000	5301 Gold Hill Road E, Gold Hill, NC 28071	5301 Gold Hill Rd E, Gold Hill, NC 28071
Dionne M Piggott	66032555180000	5200 Gold Hill Road E, Gold Hill, NC 28071	644 S Madison St., Eden, NC 27288
John Paul Ferrante III & Erin Elizabeth Ferrante	66041040690000	13980 Connor Road, Gold Hill, 28071	1233 Pressley Downs Dr SE, Concord, NC 28025
Gary Alan Rinehardt & Amy Lane Rinehardt	66031923110000	13932 Connor Road, Gold Hill, NC 28071	2468 Twelve Oaks Rd, Concord, NC 28025
Carolina Stalite Company	383 032 (Rowan Co.)	16740 Old Beatty Ford Road, Gold Hill, NC 28071	Po Box 1037, Salisbury, NC 28145
Robert L. Stadler	66040032080000	6050 Gold Hill Road E, Gold Hill, NC 28071	6050 Gold Hill Road E, Gold Hill, NC 28071
Sparkle Properties LLC	66030722610000	5457 Gold Hill Road E, Gold Hill, NC 28071	2175 Gold Knob Road, Salisbury, NC 28146
Ralph B. Bell, as Trustee of the Ralph Bell Trust dated December 11, 2000, & Pearlie M. Bell, as Trustee of the Pearlie Bell Trust dated December 11, 2000	66031518800000	5171 Gold Hill Road E, Gold Hill, NC 28071	30313 N. Meadowridge, Farmington Hills, MI 48334
Martha H. Young Life Estate	66034718780000	5310 Gold Hill Road E, Gold Hill, NC 28071	5250 Masons Ferry Road, Lake Wylie, SC 29710
Martha H. Young Life Estate	66033923180000	5318 Gold Hill Road E, Gold Hill, NC 28071	5250 Masons Ferry Road, Lake Wylie, SC 29710
<p>Thomas and Jennifer Jordan 5160 Gold Hill Road Gold Hill NC 28071 David and Tamara Eichorn 15099 Short Cut Road Gold Hill NC 28071 Yesterways Farm LLC 15401 Short Cut Road Gold Hill NC 28071 Eric and Amber Wallace 5020 Gold Hill Road E Gold Hill NC 28071 John and Linda Gomez 5030 Gold Hill Road East Gold Hill NC 28071 Frances L Miles Trustee, 4925 Gold Hill Road E Gold Hill NC 28071 Mitchell Steven Ramsey and Johanna Nazario 4808 Gold Hill Road E Gold Hill NC 28071 Bobby and Judy Allman 4930 Gold Hill Road E Gold Hill NC 28071 David Hurtado Cesar Esqueda and Yesenia Rangel 5151 Gold Hill Road E Gold Hill NC 28071 Daryl Philen and Karen Kieffer PO Box 1499 Mt. Pleasant NC 28124 Shirley Jamerson 5599 Gold Hill Road East Gold Hill NC 28071 Chad Andrew and Whitney Rinehardt Grimm PO Box 1388 Mt. Pleasant NC 28124 Kevin Ray and Jennifer Lynn Goff 5799 Gold Hill Road E Gold Hill NC 28071</p> <p>Lou Anne Butler 5849 Gold Hill Road E Gold Hill NC 28071 Cole and Nicole D. Blackburn 5879 Gold Hill Road E Gold Hill NC 28071 Kevin and Cynthia Rudisill 215 Fox Grove Ln. Salisbury NC 28146 Rodney and Teresa Gulledege 5999 Gold Hill Road E Gold Hill NC 28071 Robert Mayfield 13922 Connor Road Gold Hill NC 28071 William and Susan McLaurin 13902 Connor Road #6 Gold Hill NC 28071 Tommy Allen Carnes 552 Harbor Grove Circle, Safety Harbor, FL 34695 Bret and Ashley Johnson 13891 Connor Road Gold Hill NC 28071 Larry and Sharon Humphreys 13901 Connor Road Gold Hill NC 28071 Chris Price and Genesis Sleight-Price 13935 Connor Road Gold Hill NC 28071 Mark Erik and Jill Ann McKenny 6090 Gold Hill Road E Gold Hill NC 28071</p>			



Vulcan Materials Company

May 7, 2021

James David Miles
4701 Gold Hill Road E
Gold Hill, NC 28071

Re: Vulcan- Conditional Use Rezoning Request for 138.38 AC from O/I to
GI-CU – Neighbor Follow Up Meeting

Dear Mr. Miles

I am the Manager of Community and Government Relations for Vulcan Materials Company's Mideast Division.

As you may know, Cabarrus County Planning & Zoning Board recently held a public hearing to consider our request to rezone approximately 138 Acres adjacent to our existing quarry from O/I to GI-CU. The property would be used to store overburden from the existing quarry. A site map is attached for your reference.

Since the public hearing, our team has been working on revisions to our application in response to some of the neighbor concerns and questions raised during the hearing.

You are invited to a neighbor follow up meeting on **Monday, May 17th** at the Russell Rufty Shelter located in Historic Gold Hill. The address is 755 St. Stephens Church Road, Gold Hill, NC 28071.

The drop-in meeting will be from 4-8 PM. Members of our team will be on hand to speak with you about the project and discuss design elements and conditions that may more fully address the questions and concerns expressed at the public hearing.

If you are unable to attend the drop-in but would like to discuss the project, feel free to contact me via phone at 704-560-5304 or email at hallettd@vmcmail.com to arrange a time convenient to you.

We look forward to our time together.

Sincerely,


Denise Hallett

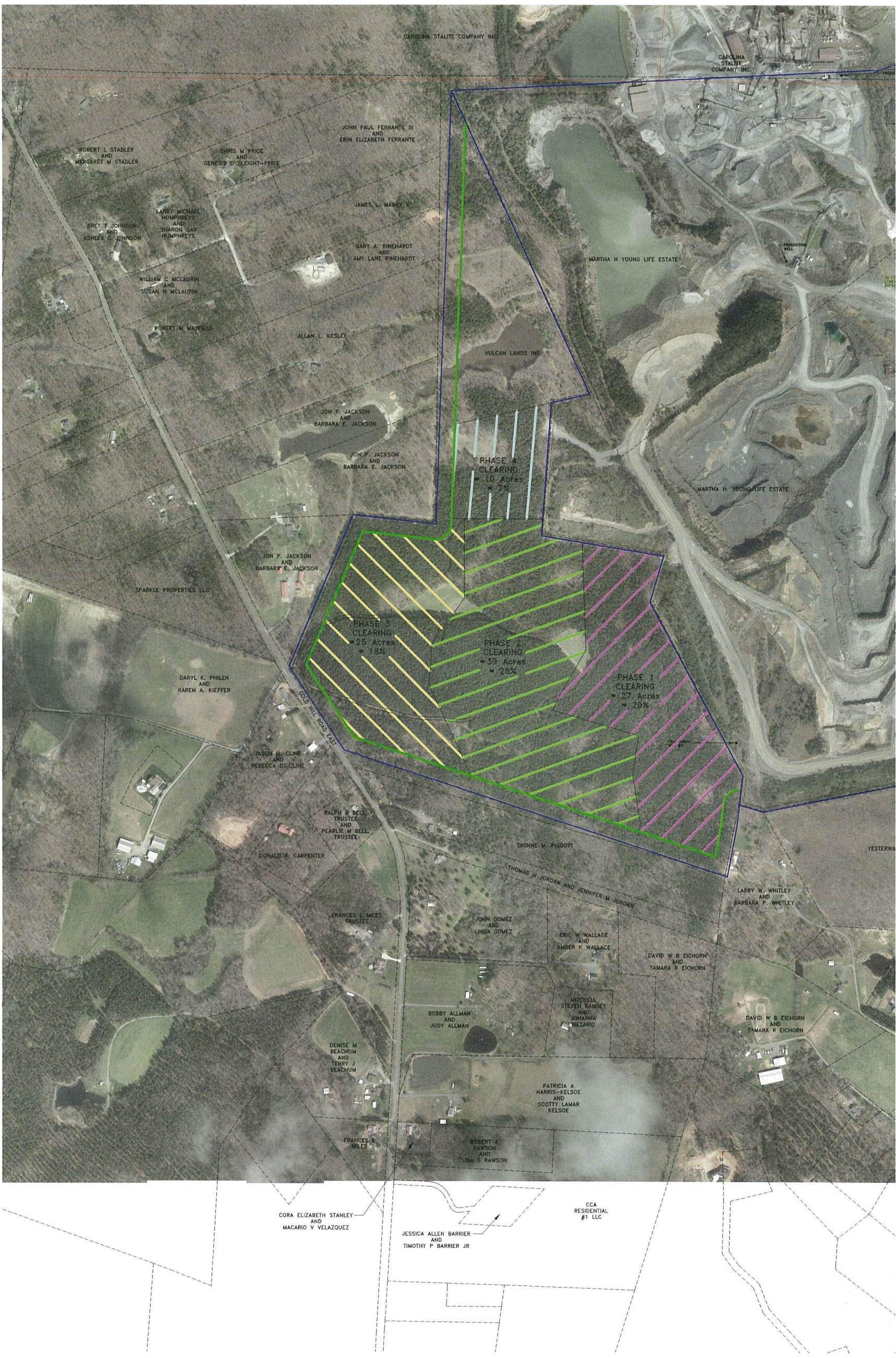
cc: Butch Newby, Plant Manager, Gold Hill Quarry





Gold Hill Quarry- Conditional Zoning Neighbor Meeting
 Monday, May 17, 2021- Historic Gold Hill Russell-Rufty Shelter

First Name	Last Name	Address	Phone	Email
Eric	Wallace	5020 Gold Hill Rd E	(704) 438-8433	Amber moore 2222@gmail.com
Sammy	Whiteley	15103 Short Cut Rd	980-521-1156	✓
Jill	McKenney	6090 Gold Hill Rd E GH MC	704-886-8433	emijm2013@gmail.com
Margaret	Staller	6050 Gold Hill Rd E	980-777-2537	pmstak@windstream.net
SUSAN Russ	Woffe BARON FARM	15401 Short Cut Rd	704-2360018	
Barbara	Jackson	5450 Gold Hill Rd E	719-510-7873	barbarajacksonn@msn.com
Jon	Jackson	Gold Hill 28071	719-510-7870	jjjstck@msn.com
John	Gomez	5030 Gold Hill Rd E	704-279-9137	jugomez1952@gmail.com
David	Hortado	5151 Gold Hill Rd	980-422-9142	CDHE1208@gmail.com
Kim	Miner	15093 Short Cut Rd	704-213-4842	kim_eichorn@ymail.com
Tamara Enri John	Eichorn Ferrante	15099 Short Cut Rd	704-202-9825	
		13980 Connor Rd.	336-707-5113	etatum91@gmail.com
Jenni. Fer	Jordan	5160 Gold Hill Rd E	704-433-7282	jenjordan7@gmail.com



COMPILED BY:



DATE OF PHOTOGRAPHY:

		alley, williams, carman, & king, inc. CONSULTING ENGINEERS FIRM LICENSE No. F-0283 130 SOUTH MAIN STREET RANDOLPH, NC 28085		P.O. BOX 1248 704/938-1313	
DATE	JOB No.	DRAWING No.	ISSUED BY	DATE	INITIAL
2-17-21	11526		AWK		
REVISION No.	DESCRIPTION	DATE	INITIAL		

PERMIT LIMITS AND ACRES ARE BASED ON AN AGGREGATE OF PROPERTY RECORDS AND BOUNDARY SURVEYS. A BOUNDARY SURVEY OF THE SITE WAS NOT PERFORMED BY ALLEY, WILLIAMS, CARMAN & KING, INC. ADJACENT PROPERTY LINES AND INTERIOR PROPERTY LINES ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY.

SITE DEVELOPMENT NOTES
 PROPERTY SIZE: 138.38 ACRES
 STORAGE AREA SIZE: 100.21 ACRES = 72%
 SETBACKS AND NON STORAGE USE: 38.17 ACRES = 28%

PORTIONS OF THIS MAP HAVE BEEN COMPILED OUTSIDE THE LIMITS OF CONTROL, AND THEREFORE DO NOT MEET THE NATIONAL MAP ACCURACY STANDARDS

HORIZONTAL DATUM: NORTH CAROLINA, NAD83, USPT
 VERTICAL DATUM: NAVD83, GEOID 1996
 CONTOURS IN TRAVED AREAS ARE APPROXIMATE
 COMBINED FACTOR:
 One in One Million = 1:1,000,000
 Ground to Grid = 1.001477

SCALE 1" = 200'
 CONTOUR INTERVAL: 5'

Vulcan
 Materials Company
GOLD HILL QUARRY

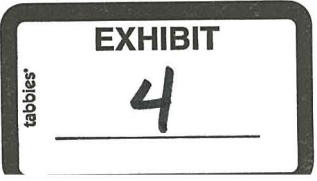
MINE LEGEND

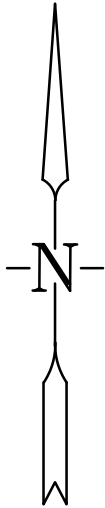
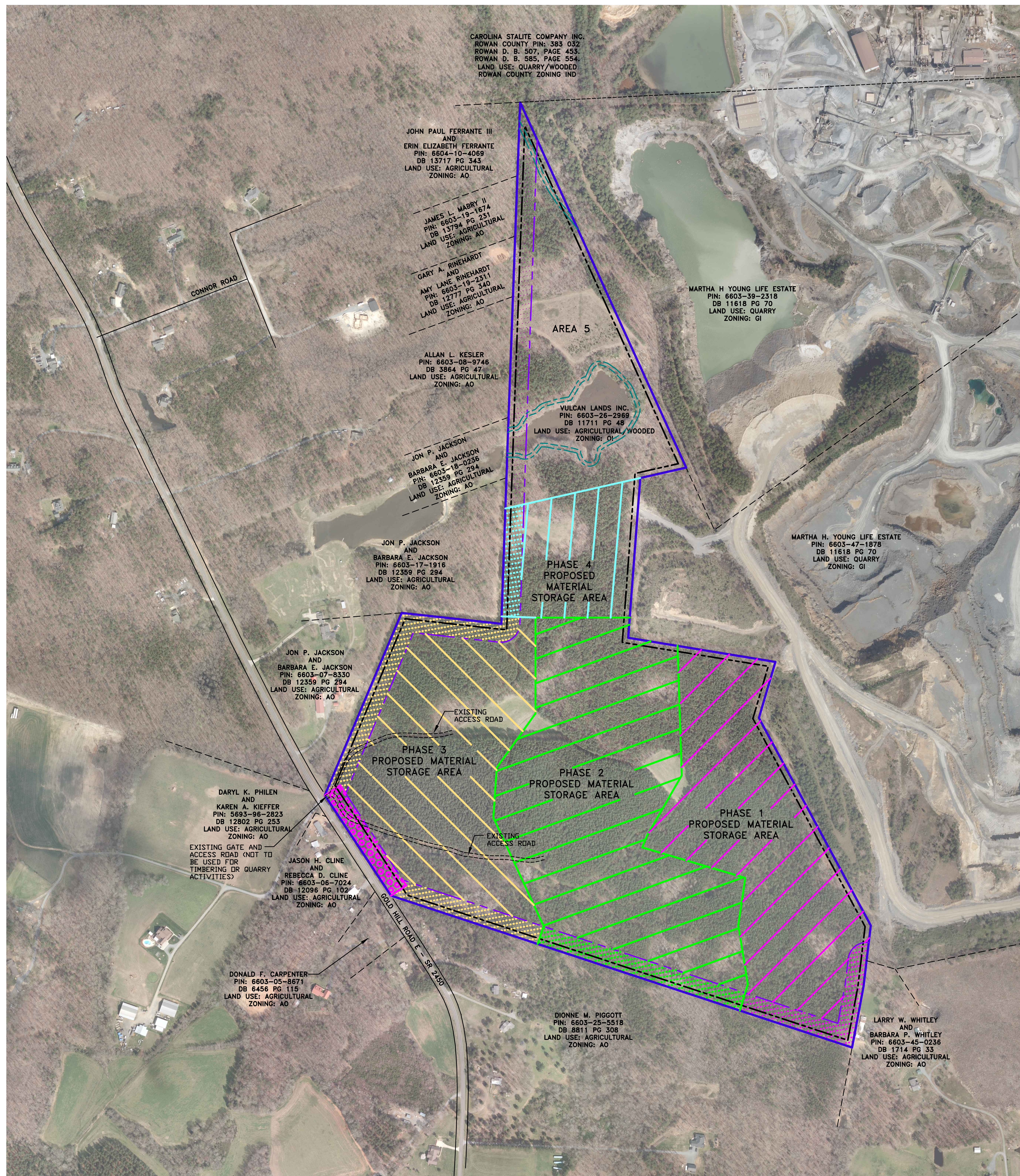
SHAFT TRACT	—————
100' UNDISTURBED BUFFER	—————
ROWAN CO. GIS PARCEL LINES	—————
CAROLINA CO. GIS PARCEL LINES	—————

- NOTES:
1. TIMBERING OPERATIONS ARE TO BE CONDUCTED WITHIN PROPERTY OWNED BY VULCAN MATERIALS LLC. STREAM BUFFERS AND PROPERTY BUFFERS ARE TO REMAIN UNDISTURBED.
 2. PROPERTY OWNERS ARE NOW OR FORMERLY:
 3. AERIAL PHOTOGRAPHY AND TOPOGRAPHICAL MAPPING PREPARED BY TUCK MAPPING SOLUTIONS, INC. AND DATED 3/20/20.
 4. TIMBER OPERATIONS WILL NOT INCLUDE CLEARING AND GRUBBING OF THE TREE.
 5. FORESTRY BMPs WILL BE INSTALLED FOR ANY DISTURBANCE ASSOCIATED WITH LOGGING, BUCKING, HAULING, AND/OR SKIDDING. THESE AREAS WILL BE STABILIZED WITH A GROUND COVER AT THE END OF TIMBERING ACTIVITIES.
 6. THIS MAP SHOWS THE LOCATION OF PARCEL LINES BASED ON ROWAN AND CAROLINA COUNTY GIS DATA. THESE LINES ARE APPROXIMATE AND ARE SHOWN FOR REFERENCE ONLY.
 7. THE BOUNDARIES OF PROPERTY OWNERS ARE BASED ON ROWAN AND CAROLINA COUNTY GIS DATA. THIS DATA MAY NOT REFLECT CURRENT PROPERTY OWNERSHIP.

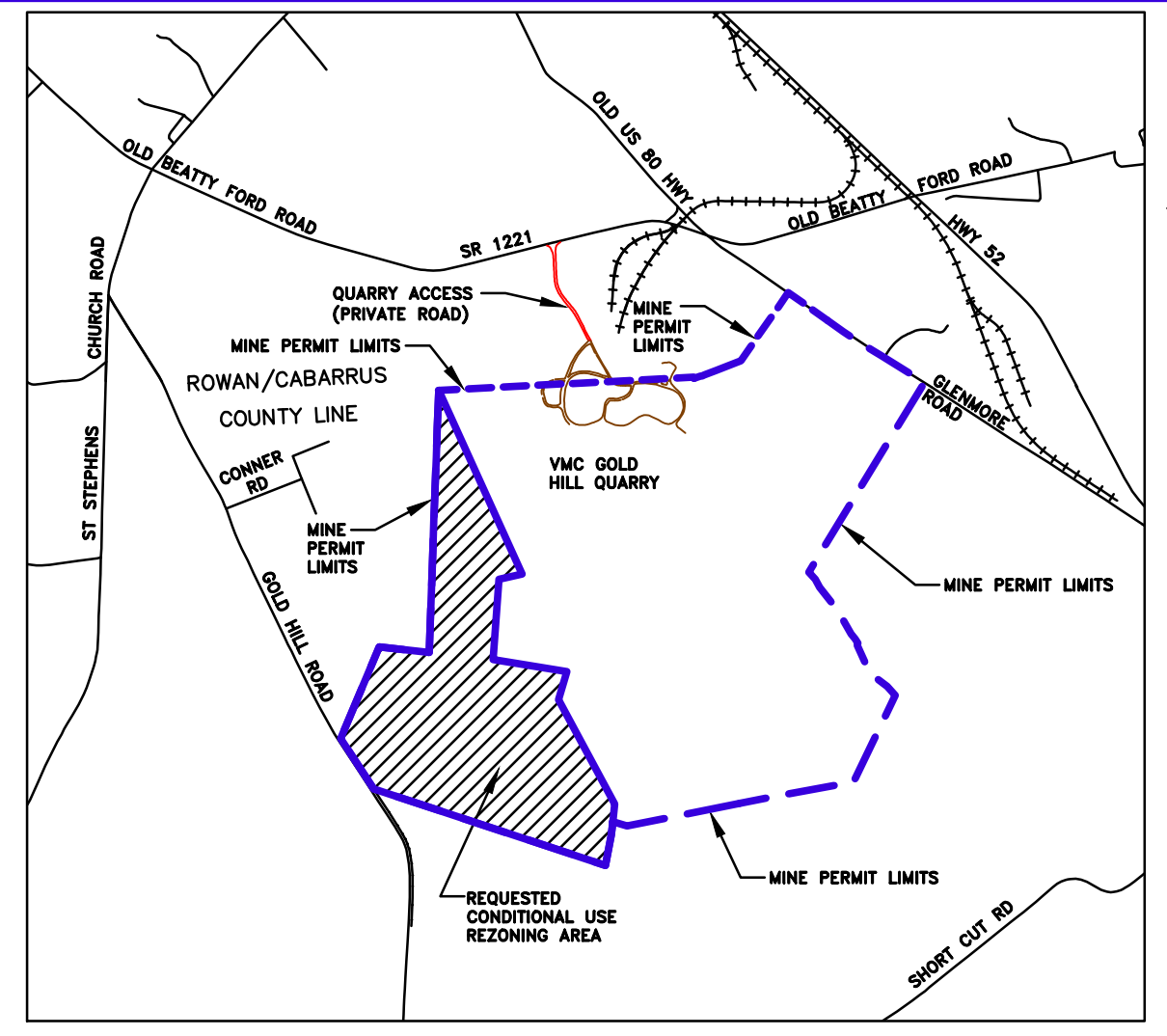


PROPOSED TIMBER OPERATIONS PHASING EXHIBIT





FEMA FLOODPLAIN NOTES:
 THE SITE IS LOCATED ON FEMA FIRM MAP PANELS 3710660400J AND 3710660200J, DATED 11-5-2008. THE SUBJECT PROPERTY DOES NOT LIE WITHIN A FEMA MAPPED FLOODPLAIN OR FLOODWAY.



SHEET LEGEND

SITE MAP	SHEET 1	PHASE 3 GRADING PLAN	SHEET 12
SITE DEVELOPMENT NOTES	SHEET 2	PHASE 4 GRADING PLAN	SHEET 13
PROPERTY SURVEY	SHEET 3	FINAL SITE GRADING	SHEET 14
SITE PLAN	SHEET 4	BUFFER PLAN SHEET 1	SHEET 15
SITE PLAN	SHEET 5	BUFFER PLAN SHEET 2	SHEET 16
SITE PLAN	SHEET 6	DETAILS	SHEET 17
SITE PLAN	SHEET 7	DETAILS	SHEET 18
RECLAMATION PLAN	SHEET 8	DETAILS	SHEET 19
RECLAMATION PLAN	SHEET 9	DETAILS	SHEET 20
PHASE 1 GRADING PLAN	SHEET 10	DETAILS	SHEET 21
PHASE 2 GRADING PLAN	SHEET 11		

MINE LEGEND

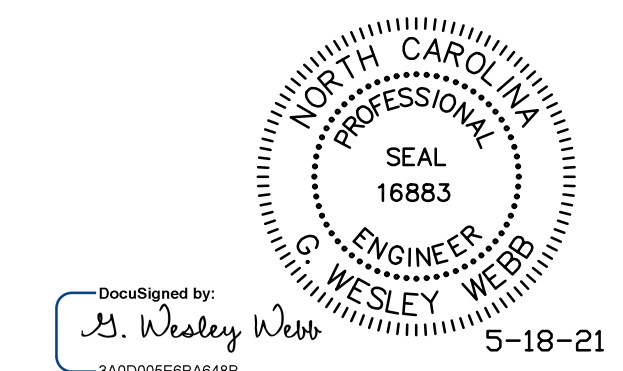
VULCAN LANDS INC PROPERTY LINE	
ADJACENT PROPERTY LINE	
100' UNDISTURBED CLEARING LIMITS	
CABARRUS CO. ZONING BUILDING SETBACK	
WATERBODY BUFFER ZONE BUFFER	
WATERBODY BUFFER ZONE NO BUILD BUFFER	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
PROPOSED 100' PERIMETER LANDSCAPE BUFFER YARD	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
AREA 5	
STREET YARD LANDSCAPED BUFFER	

SITE DATA:
 PROPERTY INFORMATION: PIN: 6603-26-2969
 PROPERTY ADDRESS: 5300 GOLD HILL RD E
 DEED REFERENCE: DEED BOOK 11711 PAGE 48
 TOTAL AREA: 138.388 ACRES (6,028,181 SF)
 OWNER: VULCAN LANDS INC.
 1200 URBAN CENTER DR
 BIRMINGHAM, AL 35242
 336-767-4600

CURRENT ZONING: OI (OFFICE/INSTITUTIONAL)
PROPOSED ZONING: GI-CU (GENERAL INDUSTRIAL - CONDITIONAL USE)
CURRENT LAND USE: AGRICULTURAL/WOODED
PROPOSED LAND USE: MATERIAL STORAGE OF EARTH PRODUCTS (QUARRY), FORESTRY (AGRICULTURE)

PROPOSED BUILDINGS: NONE
FRONT SETBACK: 75 FEET
REAR/SIDE SETBACK: 30 FEET
APPLICANT: VULCAN MATERIALS COMPANY
 4401 NORTH PATTERSON AVE,
 WINSTON SALEM, NC 27105
 336-767-4600

CIVIL ENGINEER: G. WESLEY WEBB, PE
 ALLEY, WILLIAMS, CARMEN & KING, INC.
 120 SOUTH MAIN STREET
 KANNAPOLIS, NC 28081
 704-938-1515



REV#1 PER CABARRUS COUNTY 3-23-21
 REV#2 REMOVED EXCESS DATA FROM LOCATION MAP 5-18-21

awck alley, williams, carmen, & king, inc.
 CONSULTING ENGINEERS
 FIRM LICENSE No. F-0203
 120 SOUTH MAIN STREET KANNAPOLIS, NC 28082
 P.O. BOX 1248 704/938-1515

SCALE	DATE
VARIABLES	12-18-20
PROFILE	DRAWN BY: RCC
HORIZ.	CHECKED BY: GWV
VERT.	DWG No.:

2020 CONDITIONAL USE REZONING REQUEST
 GOLD HILL QUARRY
 VULCAN MATERIALS COMPANY
 5300 GOLD HILL RD E., GOLD HILL, NC 28071

JOB NO.	11526
SHEET NO.	1
OF	21



SITE MAP
 SCALE : 1" = 300'

SITE DEVELOPMENT NOTES

1. General Provisions

- a. These Site Development Notes form a part of the Conditional Plan associated with the Conditional Use rezoning application filed by Vulcan Materials Company ("Applicant") to accommodate the development of approximately 138.388 Acres of real property located off Gold Hill Road East, in Gold Hill (Cabarrus County), North Carolina for Extraction of Earth Products ("Quarry") use, said real property being further identified as Cabarrus County PIN # 6603-26-2969 (the "Site").
- b. Applicant proposes the rezoning of the Site from O/I (Office/Institutional) to GI-CU (General Industrial-Conditional Use). These Site Development Notes, the Site Plan (consisting of Sheets 1-21), Applicant's rezoning application and any additions or revisions thereof, are collectively referred to as the "Rezoning Plan" or "Conditional Plan." Development of the Site will be governed by the Rezoning Plan as well as applicable provisions of the Cabarrus County Development Ordinance ("Ordinance").
- c. Alterations to the Conditional Plan are subject to Chapter 13 of the Ordinance.

2. Permitted Uses:

- a. Use of that portion or portions of the Site identified as Phase 1, Phase 2, Phase 3 and Phase 4 on the Site Plan (individually, a "Phase"; collectively, the "Phased Area") shall be limited to construction of, and use as, material storage area(s) for storage of processed materials and by products from the excavation processes of the adjacent quarry ("Overburden Storage" or "Quarry use").
- b. Use of the Site for extraction (pits) or mining operations other than Overburden Storage is prohibited.
- c. Approximately 25 acres of the Site, located to the North of Phase 4 and identified as Area 5 on the Site Plan, shall not be used for Overburden Storage, but shall remain generally in its natural condition to provide additional buffering and screening of the existing quarry operations located to the east of the Site.
- d. Subject to the phasing requirement for the Phased Area in Section 5(k) herein, Applicant reserves the right to timber those portions of the Site located outside of the 100 foot wide perimeter landscape buffer yard as shown on the Site Plan.

3. Transportation

- a. All access to and from the Site for Quarry use shall be through the adjacent quarry via an existing driveway connection to SR 1221 (Old Beatty Ford Road) in Rowan County as shown on the Site Plan.
- b. The Site also has access via an existing driveway connection on SR 2450 (Gold Hill Road East) as shown on the Site Plan. Access via the Gold Hill E. connection shall be limited to pond maintenance and emergency access.
- c. Should the Gold Hill E. access need to be used for commercial use, a driveway permit from NCDOT will be required.
- d. Access to and from the Site for timbering of the Phased Area shall be through the adjacent quarry.

4. Buffer and Landscaping:

- a. Applicant shall provide a 30 foot building setback around the perimeter of the Site as shown on the Site Plan. Applicant shall provide a 75 foot building setback from Gold Hill Road E. as shown on the Site Plan. Required setbacks are located within the applicable buffer yards as shown on the Site Plan. No buildings are proposed for the Site.
- b. Applicant shall provide and maintain a 100 foot wide perimeter landscape buffer yard between the Site and adjacent non-quarry parcels and Gold Hill E. right of way as generally shown on the Site Plan (the "Perimeter Buffer").
- c. The Perimeter Buffer shall consist of existing vegetation, said existing vegetation intended to meet or exceed applicable Ordinance requirements for visual screening and separation of uses.
- d. Applicant has identified 3 sections of the Perimeter Buffer where Applicant intends to provide additional plantings. These sections are identified as sections A, B and C on sheet 15 of the Site Plan.
- e. Quarry use of the Site shall be phased as shown on the Site Plan. The portion of the Perimeter Buffer located within a particular Phase or area identified on the Site Plan will be completed prior to commencement of any Quarry use within the Phase or area.
- f. Prior to commencement of any Quarry use within a Phase of the Site, Applicant and Planning Department will evaluate the existing vegetation within the Perimeter Buffer for said Phase. If all or portions of the existing vegetation have died, or otherwise been damaged, a supplemental plantings plan will be developed and submitted for approval to the Planning Department.
- g. In those locations identified as A, B and C on sheet 15 of the Site Plan, Applicant will supplement the existing vegetation as described in the corresponding insets shown on sheet 16 of the Site Plan, or as otherwise agreed by Applicant and Planning staff to provide visual screening and separation of uses.
- h. No perimeter landscape buffer shall be required between the Site and adjacent, existing quarry or industrial parcels.
- i. An existing approximately 20 foot (20') wide access (haul) road encroaches into portions of the perimeter landscape buffer as generally shown on the Site Plan. Upon completion of any timbering activities, Applicant shall stabilize the access road with low maintenance ground cover as described on sheet 15 of the Site Plan.
- j. Should the land use relationship between the Site and one or more abutting properties change such that a lesser buffer, or no buffer, would be required, Applicant reserves the right to reduce or eliminate the aforementioned buffer in accordance with Ordinance requirements and the limits of the development envelope may be expanded to include the former buffer area(s).

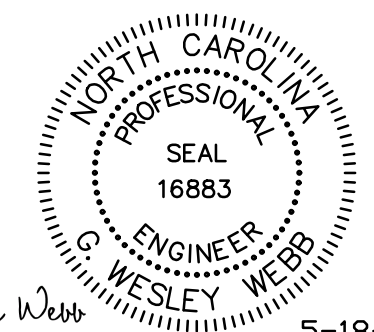
- k. Where applicable, Applicant reserves the right to use existing vegetation to meet any buffer and screening requirements.
- l. Applicant agrees to plant a row of Leyland Cypresses on the toe of slope along the perimeter of Phase 3 as shown on the Site Plan.
- m. Initial activity for each Phase will be the construction and vegetation of exterior slopes along the non-quarry perimeter of said Phase.

5. Other Conditions:

- a. There are currently no existing structures located on the Site.
- b. Storage of processed materials and by products shall not be created to a height of more than forty (40) feet, and shall be so graded that the vertical slope shall not exceed the material's natural angle of repose.
- c. There is no existing or proposed sewage disposal, solid waste, or potable water facilities on the Site.
- d. The Site has a NCDEQ mining permit (permit #13-04) and is exempt from the Sedimentation Pollution Control Act of 1973 and any requirements for sediment and erosion control plan approval.
- e. The Site has a NCDEQ/ NPDES industrial stormwater permit (NCGO 20000) for stormwater and pit discharges from this Site. Development of this Site is not expected to create any post construction impervious areas that will flow away from the pit. Due to the proposed reclamation without future impervious areas, development of this Site does not require a Phase II stormwater permit.
- f. All permanent roads, defined as those to be used in excess of one year, and located within three hundred (300) feet of existing residentially zoned land shall be surfaced with a dust free material such as soil cement, bituminous concrete, or portland cement concrete.
- g. Roads other than permanent roads shall be treated with dust inhibitors, as specified in the Operations Plan, to reduce and minimize dust generation from road surfaces from either wind or vehicular action. Properly operated water wagons and sprayer irrigation shall be an acceptable method of dust inhibition.
- h. Applicant is required by NCDEQ to maintain a reclamation bond for this Site as a condition of its mine permit. Prior to commencement of any mining operations on the Site and the release of any zoning permit(s), Applicant's engineer shall certify to the county the costs of reclamation on a per acre basis. If the reclamation costs exceed the amounts required by the state, then Applicant shall post a bond payable to Cabarrus County for the difference.
- i. The site falls on two maps. FEMA FIRM MAPS 3710660400J and 3710660200J, dated 11-5-2008. The subject property does not lie within a FEMA mapped floodplain or floodway.
- j. Applicant will outfit mobile equipment operating on the Site with white noise back-up alarms to help control sound to the extent that their use is permitted by the Mine Safety and Health Administration.
- k. Timbering of the Site will be phased to coincide with the use of a particular Phase for Quarry use. For avoidance of doubt, the aforementioned phased timbering requirement is not applicable to Area 5 as shown on the Site Plan.

6. BINDING EFFECT OF THE REZONING:

If this Rezoning Plan is approved, all conditions applicable to development of the Site imposed under the Rezoning Plan, and these Site Development Notes will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Applicant and subsequent owners of the Site and their respective successors in interest, heirs and assigns. The term "Applicant" shall mean Vulcan Materials Company, its successors in interest, and assigns.




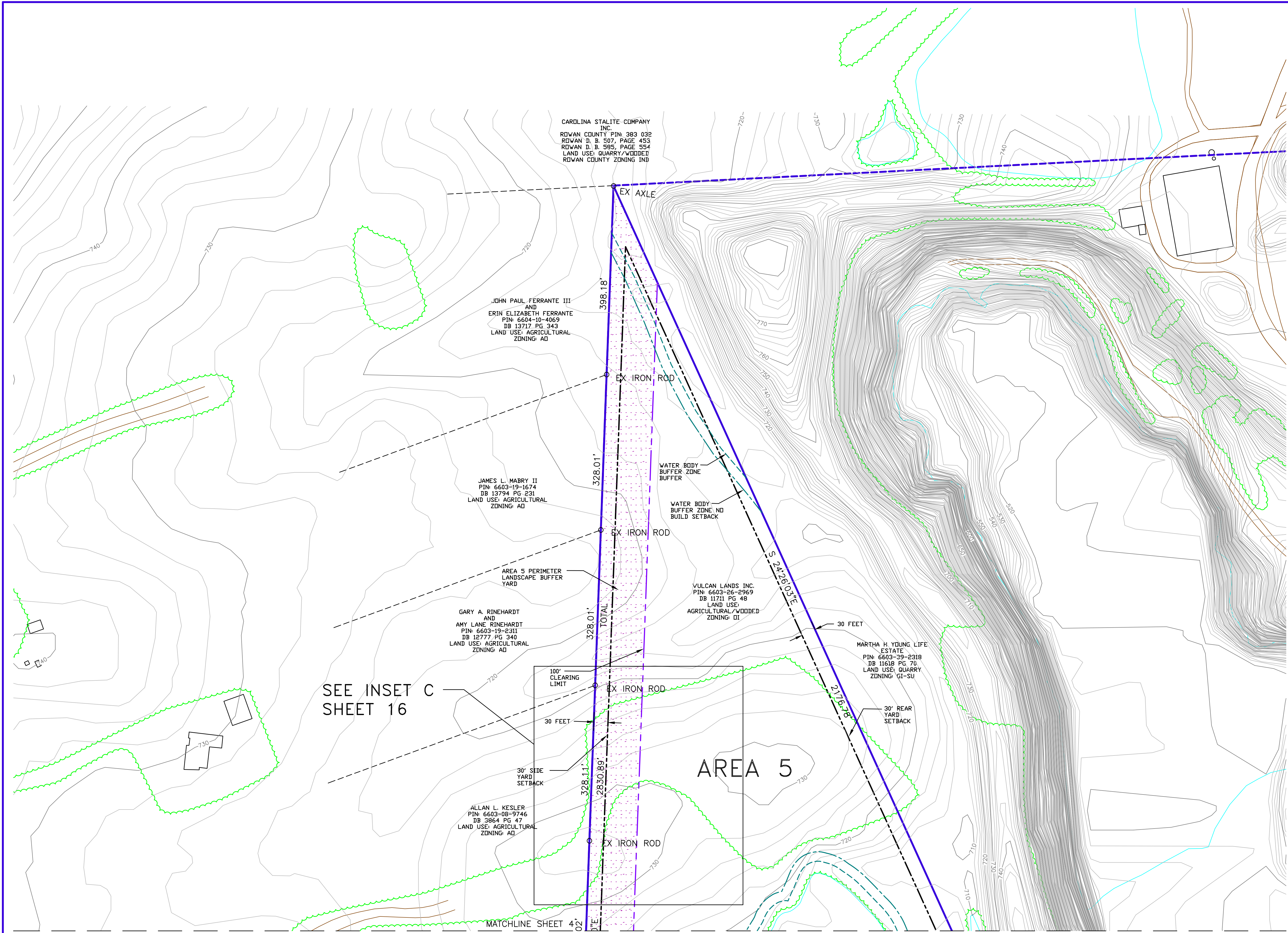
DocuSigned by:
Wesley Webb
3400005E8A6468

5-18-21



REV#1 PER CABARRUS COUNTY 3-23-21
REV#2 PER COMMUNITY MEETING 5-18-21

	alley, williams, carmen, & king, inc. CONSULTING ENGINEERS		SCALE	DATE
	FIRM LICENSE No. F-0203		VARIES	12-18-20
	120 SOUTH MAIN STREET KANNAPOLIS, NC 28082		PROFILE	DRAWN BY: RCC
	P.O. BOX 1248 704/938-1515		CHECKED BY: GWV	DWG No.:
2020 CONDITIONAL USE REZONING REQUEST GOLD HILL QUARRY VULCAN MATERIALS COMPANY 5300 GOLD HILL RD E., GOLD HILL, NC 28071			SITE DEVELOPMENT NOTES	
			JOB NO.	11526
			SHEET NO.	2
			OF	21



CAROLINA STALITE COMPANY
INC.
ROWAN COUNTY PIN 383 032
ROWAN D. B. 507, PAGE 453
ROWAN D. B. 595, PAGE 554
LAND USE: QUARRY/WOODPLOT
ROWAN COUNTY ZONING IND

JOHN PAUL FERRANTE III
AND
ERIN ELIZABETH FERRANTE
PIN: 6604-10-4069
DB 13717 PG 343
LAND USE: AGRICULTURAL
ZONING: AD

JAMES L. MABRY II
PIN: 6603-19-1674
DB 13794 PG 231
LAND USE: AGRICULTURAL
ZONING: AD

GARY A. RINEHARDT
AND
AMY LANE RINEHARDT
PIN: 6603-19-2311
DB 12777 PG 340
LAND USE: AGRICULTURAL
ZONING: AD

ALLAN L. KESLER
PIN: 6603-08-9746
DB 3864 PG 47
LAND USE: AGRICULTURAL
ZONING: AD

VULCAN LANDS INC.
PIN: 6603-26-2969
DB 11711 PG 48
LAND USE:
AGRICULTURAL/WOODPLOT
ZONING: OI

MARTHA H. YOUNG LIFE
ESTATE
PIN: 6603-39-2318
DB 11618 PG 70
LAND USE: QUARRY
ZONING: QI-SU

SEE INSET C
SHEET 16

AREA 5

MATCHLINE SHEET 4
MATCHLINE SHEET 5

- SITE PLAN NOTES:
1. 100 FOOT PERIMETER LANDSCAPE BUFFERS ARE TO BE PROVIDED ALONG EACH PHASE OF THE SITE DEVELOPMENT. SEE NOTE NO. 4 ON SHEET 2
 2. SEE THE SHEETS 10 THROUGH 14 FOR THE PHASED GRADING ASSOCIATED WITH THE DEVELOPMENT OF THE MATERIAL STORAGE AREA.

2' CONTOURS ARE BASED ON THE 2007 LIDAR DATA PROVIDED BY THE NC FLOODPLAIN MAPPING PROGRAM.
HORIZONTAL DATUM: NORTH CAROLINA, NAD83, US FT
VERTICAL DATUM: NAVD88

PLANIMETRIC MAPPING (EXCLUDING CONTOURS) PROVIDED BY TUCK MAPPING SOLUTIONS, INC. MAPPING IS BASED ON AN AERIAL PHOTO DATED 3-20-20 AND A MAP ISSUED AND SEALED BY ROBERT H. TUCK, L-4122, ON 4-19-20.

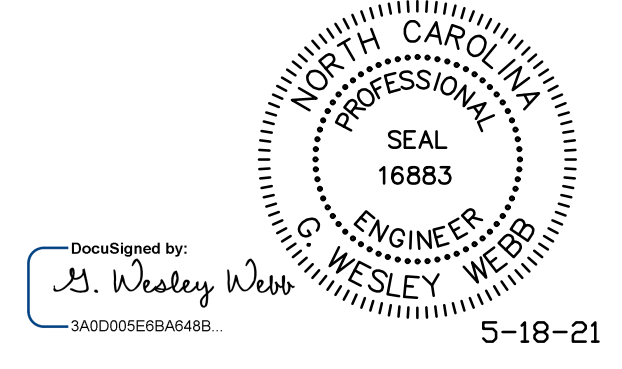
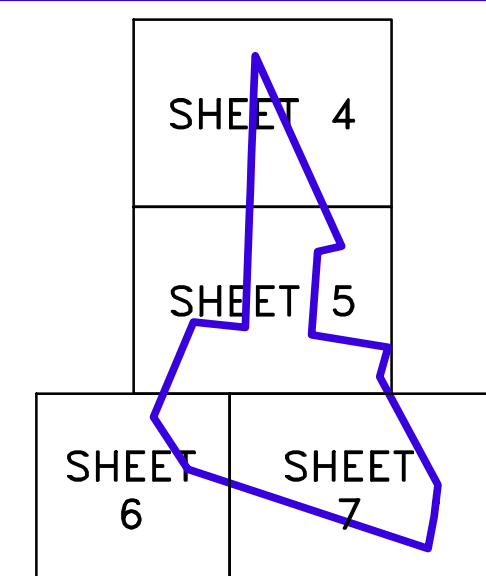
MINE LEGEND

VULCAN LANDS INC PROPERTY LINE	
ADJACENT PROPERTY LINE	
100' UNDISTURBED CLEARING LIMITS	
CABARRUS CO. ZONING BUILDING SETBACK	
WATERBODY BUFFER ZONE BUFFER	
WATERBODY BUFFER ZONE NO BUILD BUFFER	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
PROPOSED 100' PERIMETER LANDSCAPE BUFFER YARD	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
AREA 5	
STREET YARD LANDSCAPED BUFFER	

MAPPING LEGEND

INDEX CONTOUR		3500
INTERMEDIATE CONTOUR		
WATER		
PAVED ROAD		
DIRT ROAD		
BUILDING		
LOCATED OBJECT		
FENCE		
TREES		
PIPE		
POLE		
TOWER		

SITE PLAN SHEET LEGEND



alley, williams, carmen, & king, inc.
CONSULTING ENGINEERS
FIRM LICENSE No. F-0203
120 SOUTH MAIN STREET
KANNAPOLIS, NC 28082

P.O. BOX 1248
704/938-1515

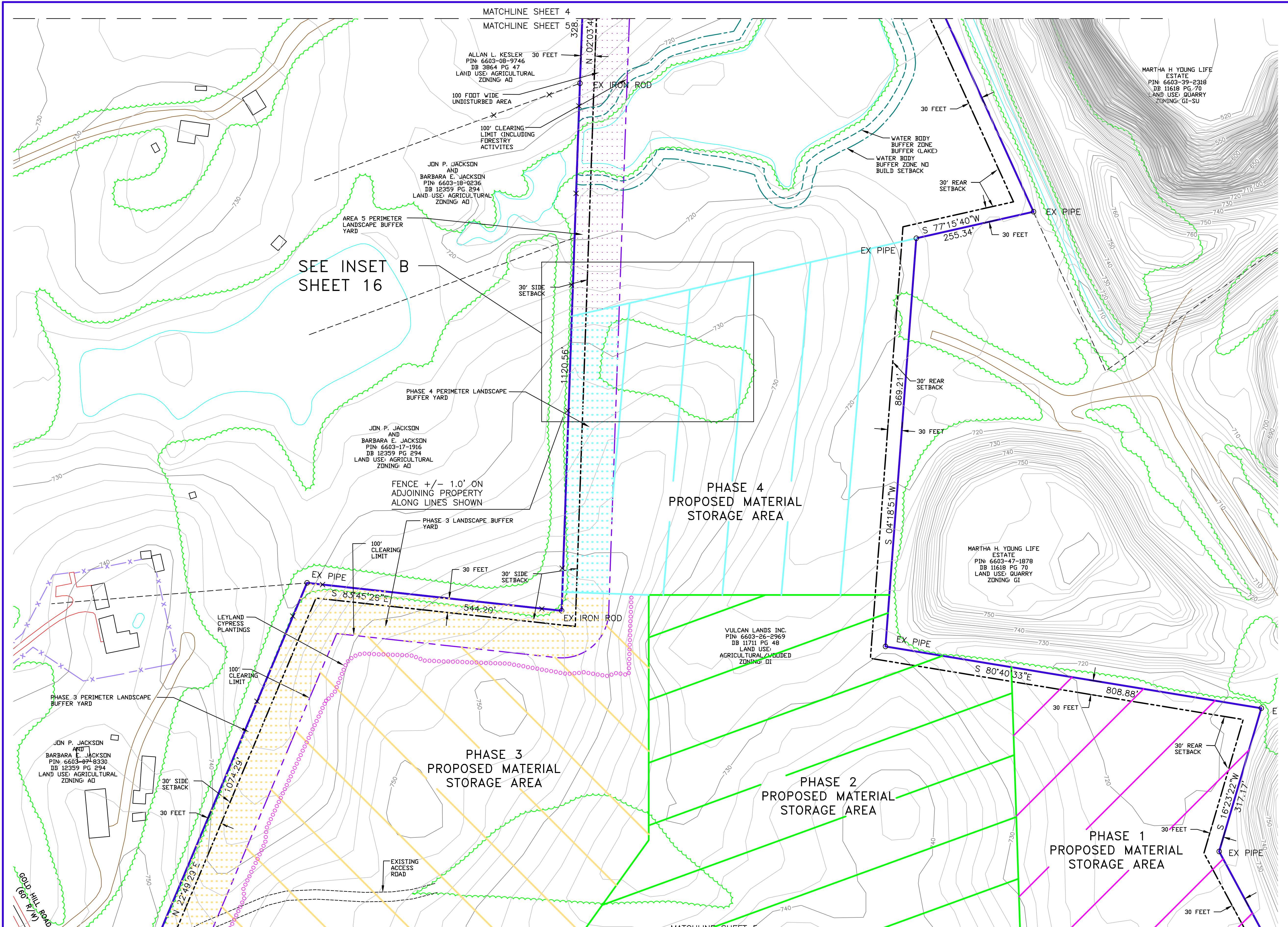
2020 CONDITIONAL USE REZONING REQUEST
GOLD HILL QUARRY
VULCAN MATERIALS COMPANY
5300 GOLD HILL RD E., GOLD HILL, NC 28071

SITE PLAN

SCALE	DATE	12-18-20
1" = 100'	DRAWN BY:	RCC
PROFILE	CHECKED BY:	GWV
VERT.:	DWG No.:	

JOB NO.	11526
SHEET NO.	4
OF	21

REV#1 PER CABARRUS COUNTY 3-23-21
REV#2 REMOVED EXCESS DATA FROM LOCATION MAP 5-18-21



2' CONTOURS ARE BASED ON THE 2007 LIDAR DATA PROVIDED BY THE NC FLOODPLAIN MAPPING PROGRAM.
 HORIZONTAL DATUM: NORTH CAROLINA, NAD83, US FT
 VERTICAL DATUM: NAVD88

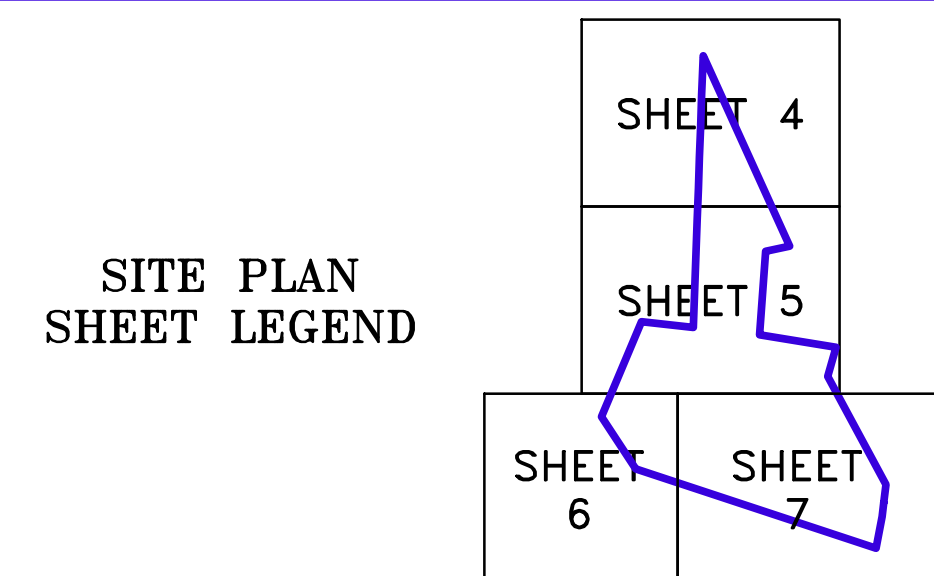
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MINE LEGEND

VULCAN LANDS INC PROPERTY LINE	—
ADJACENT PROPERTY LINE	- - - -
100' UNDISTURBED CLEARING LIMITS	—
CABARRUS CO. ZONING BUILDING SETBACK	- - - -
WATERBODY BUFFER ZONE BUFFER	—
WATERBODY BUFFER ZONE NO BUILD BUFFER	—
PHASE 1	[Pattern]
PHASE 2	[Pattern]
PHASE 3	[Pattern]
PHASE 4	[Pattern]
PROPOSED 100' PERIMETER LANDSCAPE BUFFER YARD	[Pattern]
PHASE 1	[Pattern]
PHASE 2	[Pattern]
PHASE 3	[Pattern]
PHASE 4	[Pattern]
AREA 5	[Pattern]
STREET YARD LANDSCAPED BUFFER	[Pattern]

MAPPING LEGEND

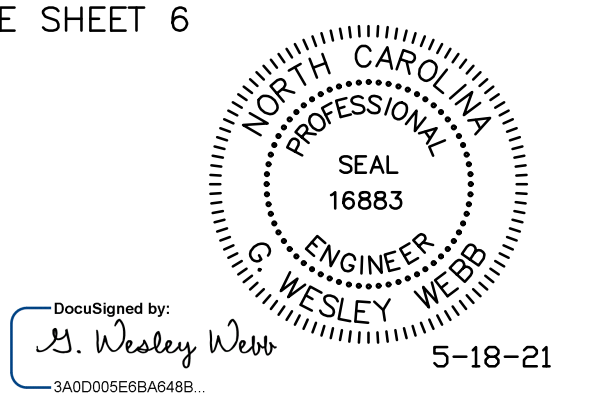
INDEX CONTOUR	— 3500
INTERMEDIATE CONTOUR	—
WATER	—
PAVED ROAD	—
DIRT ROAD	—
BUILDING	[Symbol]
LOCATED OBJECT	[Symbol]
FENCE	—
TREES	—
PIPE	—
POLE	—
TOWER	[Symbol]



SITE PLAN NOTES:

- 100 FOOT PERIMETER LANDSCAPE BUFFERS ARE TO BE PROVIDED ALONG EACH PHASE OF THE SITE DEVELOPMENT. SEE NOTE NO. 4 ON SHEET 2
- SEE THE SHEETS 10 THROUGH 14 FOR THE PHASED GRADING ASSOCIATED WITH THE DEVELOPMENT OF THE MATERIAL STORAGE AREA.

REV#1 PER CABARRUS COUNTY 3-23-21
 REV#2 PER COMMUNITY MEETING 5-18-21

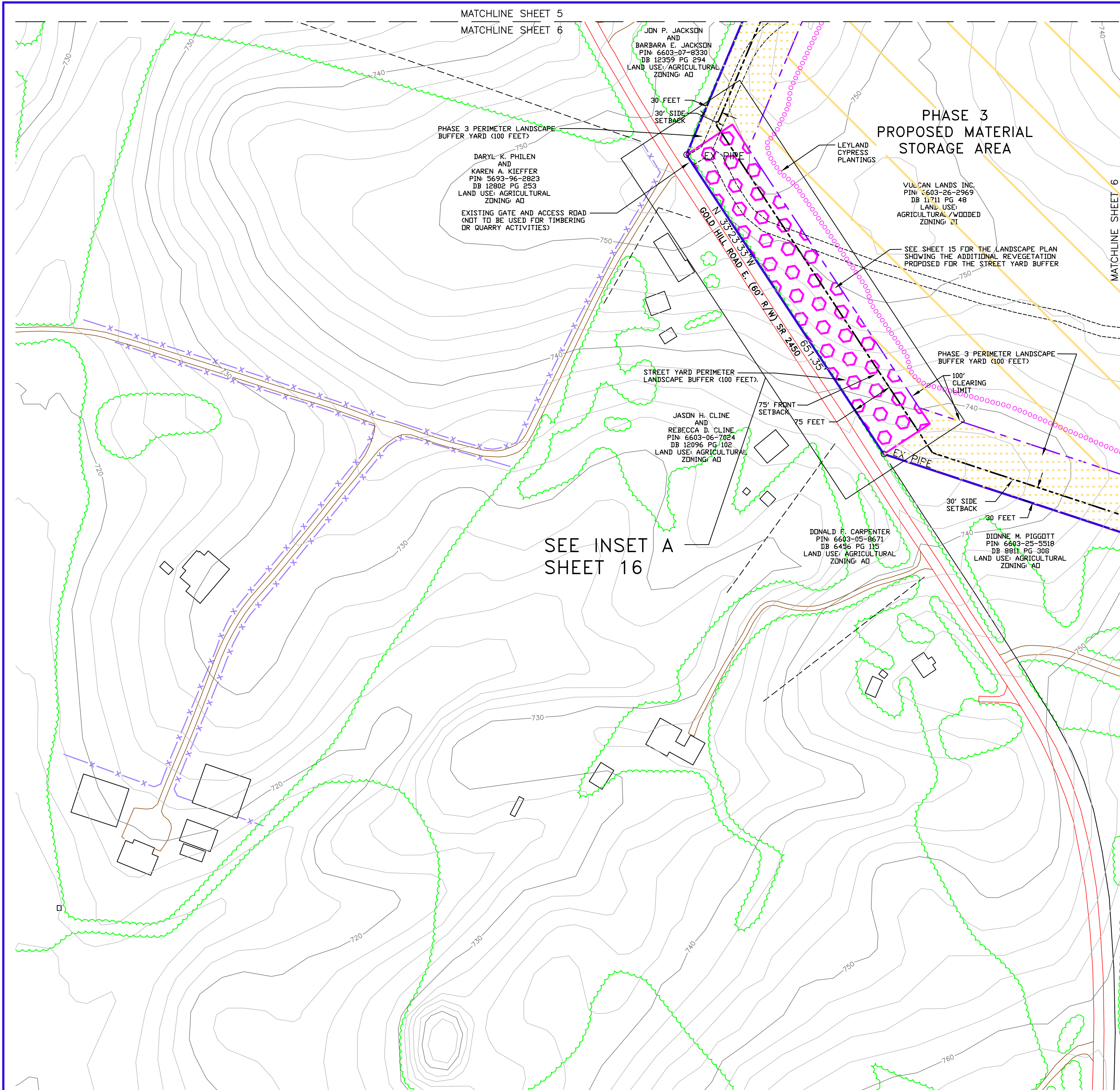


alley, williams, carmen, & king, inc.
 CONSULTING ENGINEERS
 FIRM LICENSE No. F-0203
 120 SOUTH MAIN STREET KANNAPOLIS, NC 28082 P.O. BOX 1248 704/938-1515

2020 CONDITIONAL USE REZONING REQUEST
 GOLD HILL QUARRY
 VULCAN MATERIALS COMPANY
 5300 GOLD HILL RD E., GOLD HILL, NC 28071

SCALE	DATE	12-18-20
1" = 100'	DRAWN BY:	RCC
PROFILE	CHECKED BY:	GWV
VERT.:	DWG No.:	

JOB NO.	11526
SHEET NO.	5
OF	21



MATCHLINE SHEET 6
MATCHLINE SHEET 7

2' CONTOURS ARE BASED ON THE 2007 LIDAR DATA PROVIDED BY THE NC FLOODPLAIN MAPPING PROGRAM.
HORIZONTAL DATUM: NORTH CAROLINA, NAD83, US FT
VERTICAL DATUM: NAVD88

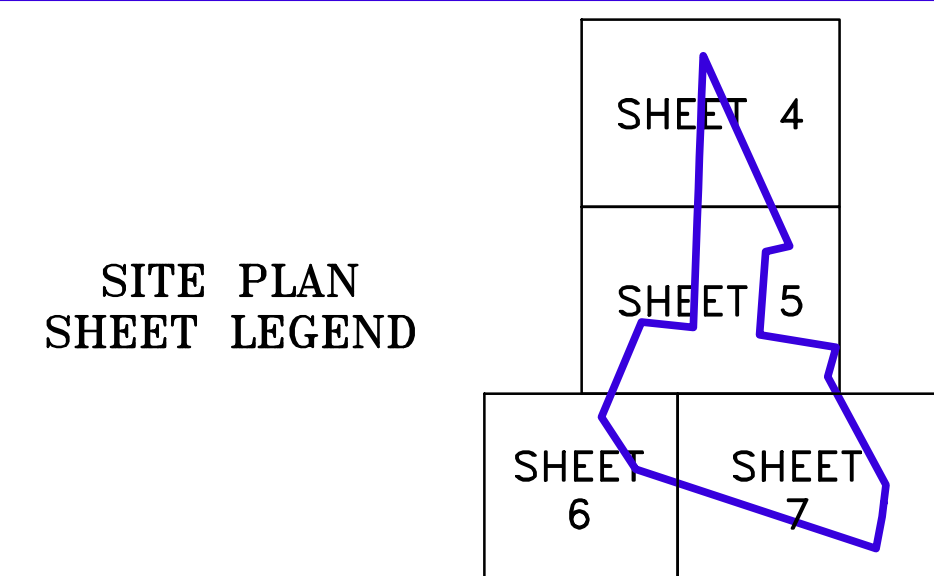
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MINE LEGEND

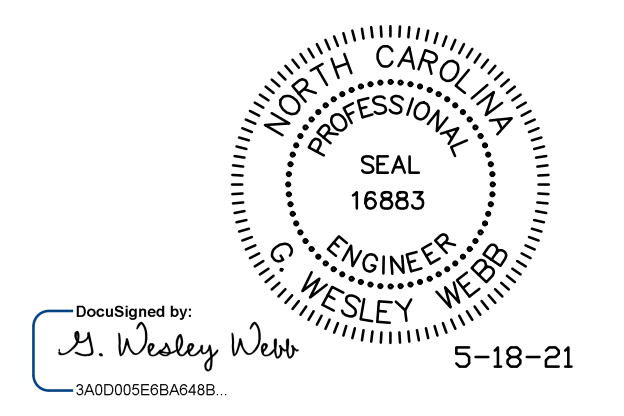
VULCAN LANDS INC PROPERTY LINE	
ADJACENT PROPERTY LINE	
100' UNDISTURBED CLEARING LIMITS	
CABARRUS CO. ZONING BUILDING SETBACK	
WATERBODY BUFFER ZONE BUFFER	
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PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
PROPOSED 100' PERIMETER LANDSCAPE BUFFER YARD	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
AREA 5	
STREET YARD LANDSCAPED BUFFER	

MAPPING LEGEND

INDEX CONTOUR		3500
INTERMEDIATE CONTOUR		
WATER		
PAVED ROAD		
DIRT ROAD		
BUILDING		
LOCATED OBJECT		
FENCE		
TREES		
PIPE		
POLE		
TOWER		



- SITE PLAN NOTES:**
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 - STREET YARD BUFFER IS TO BE PROVIDED ALONG GOLD HILL ROAD E. SEE NOTE NO. 4 ON SHEET 2
 - SEE THE SHEETS 10 THROUGH 14 FOR THE PHASED GRADING ASSOCIATED WITH THE DEVELOPMENT OF THE MATERIAL STORAGE AREA.

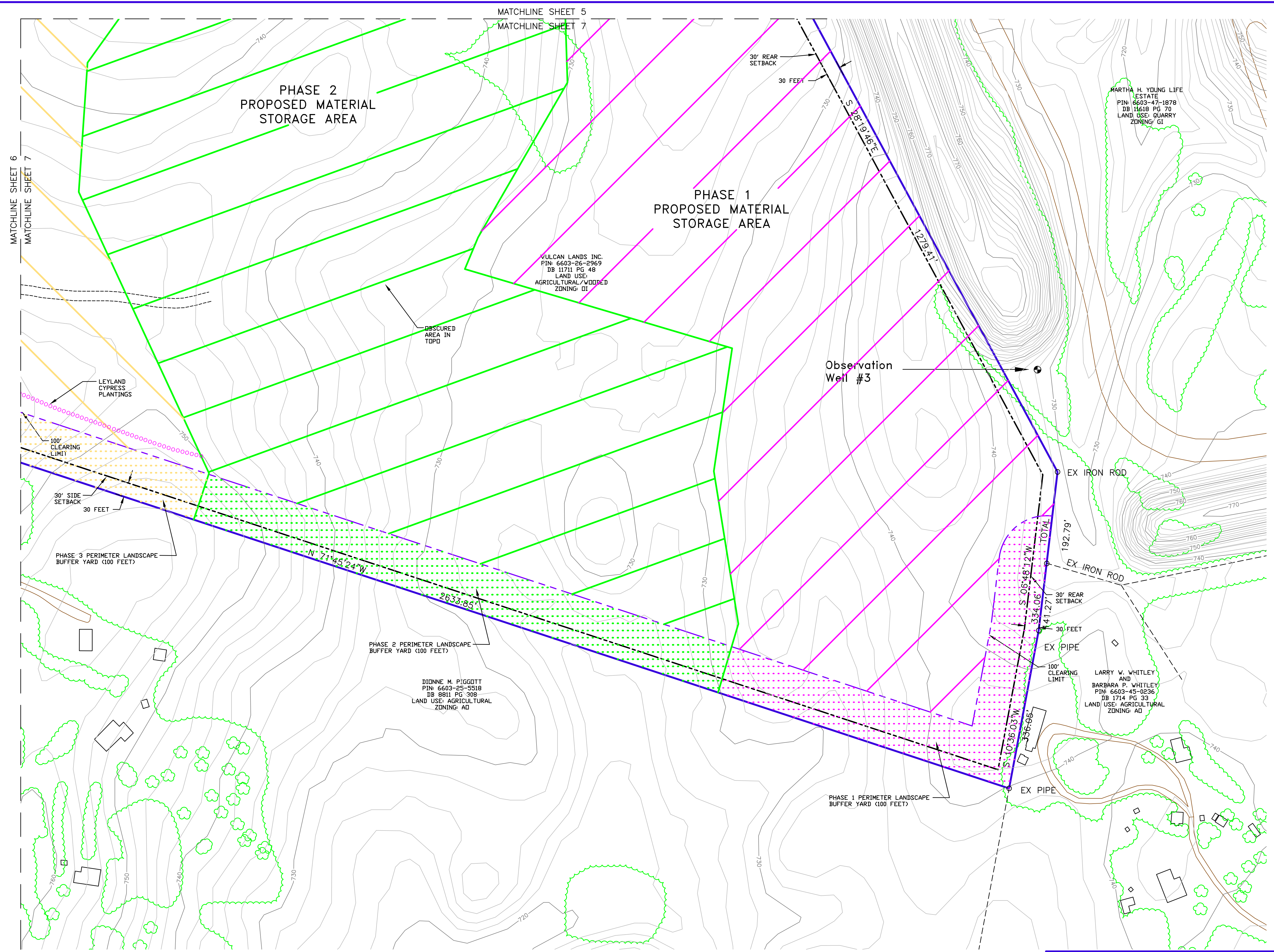


awc alley, williams, carmen, & king, inc.
CONSULTING ENGINEERS
FIRM LICENSE No. F-0203
120 SOUTH MAIN STREET P.O. BOX 1248
KANNAPOLIS, NC 28082 704/938-1515

SCALE	DATE	12-18-20
1" = 100'	DRAWN BY:	RCC
PROFILE	CHECKED BY:	GWV
VERT.:	DWG No.:	

2020 CONDITIONAL USE REZONING REQUEST
GOLD HILL QUARRY
VULCAN MATERIALS COMPANY
5300 GOLD HILL RD E., GOLD HILL, NC 28071

JOB NO.	11526
SHEET NO.	6
OF	21



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 HORIZONTAL DATUM: NORTH CAROLINA, NAD83, US FT
 VERTICAL DATUM: NAVD88

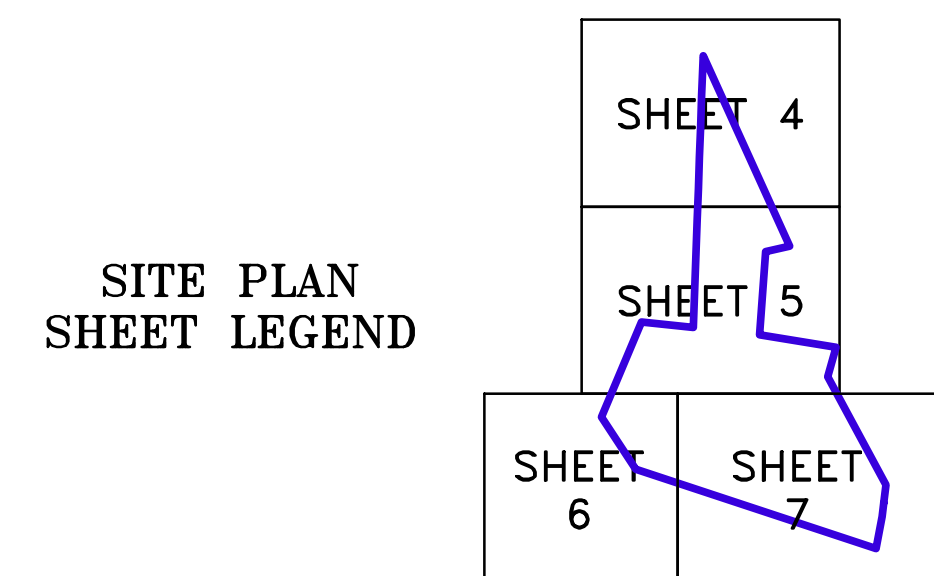
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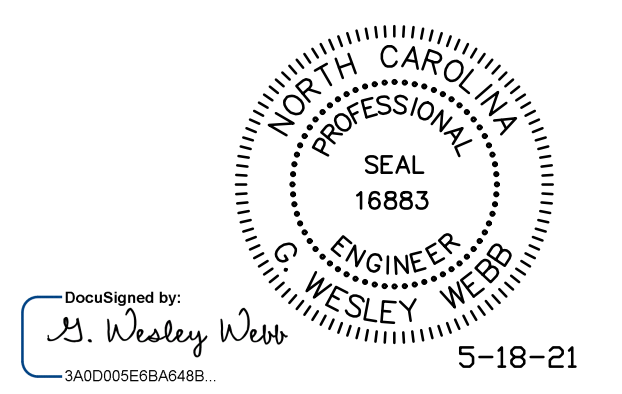
VULCAN LANDS INC PROPERTY LINE	
ADJACENT PROPERTY LINE	
100' UNDISTURBED CLEARING LIMITS	
CABARRUS CO. ZONING BUILDING SETBACK	
WATERBODY BUFFER ZONE BUFFER	
WATERBODY BUFFER ZONE NO BUILD BUFFER	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
PROPOSED 100' PERIMETER LANDSCAPE BUFFER YARD	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
AREA 5	
STREET YARD LANDSCAPED BUFFER	

MAPPING LEGEND

INDEX CONTOUR		3500
INTERMEDIATE CONTOUR		
WATER		
PAVED ROAD		
DIRT ROAD		
BUILDING		
LOCATED OBJECT		
FENCE		
TREES		
PIPE		
POLE		
TOWER		



SITE PLAN NOTES:
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 2. SEE THE SHEETS 10 THROUGH 14 FOR THE PHASED GRADING ASSOCIATED WITH THE DEVELOPMENT OF THE MATERIAL STORAGE AREA.



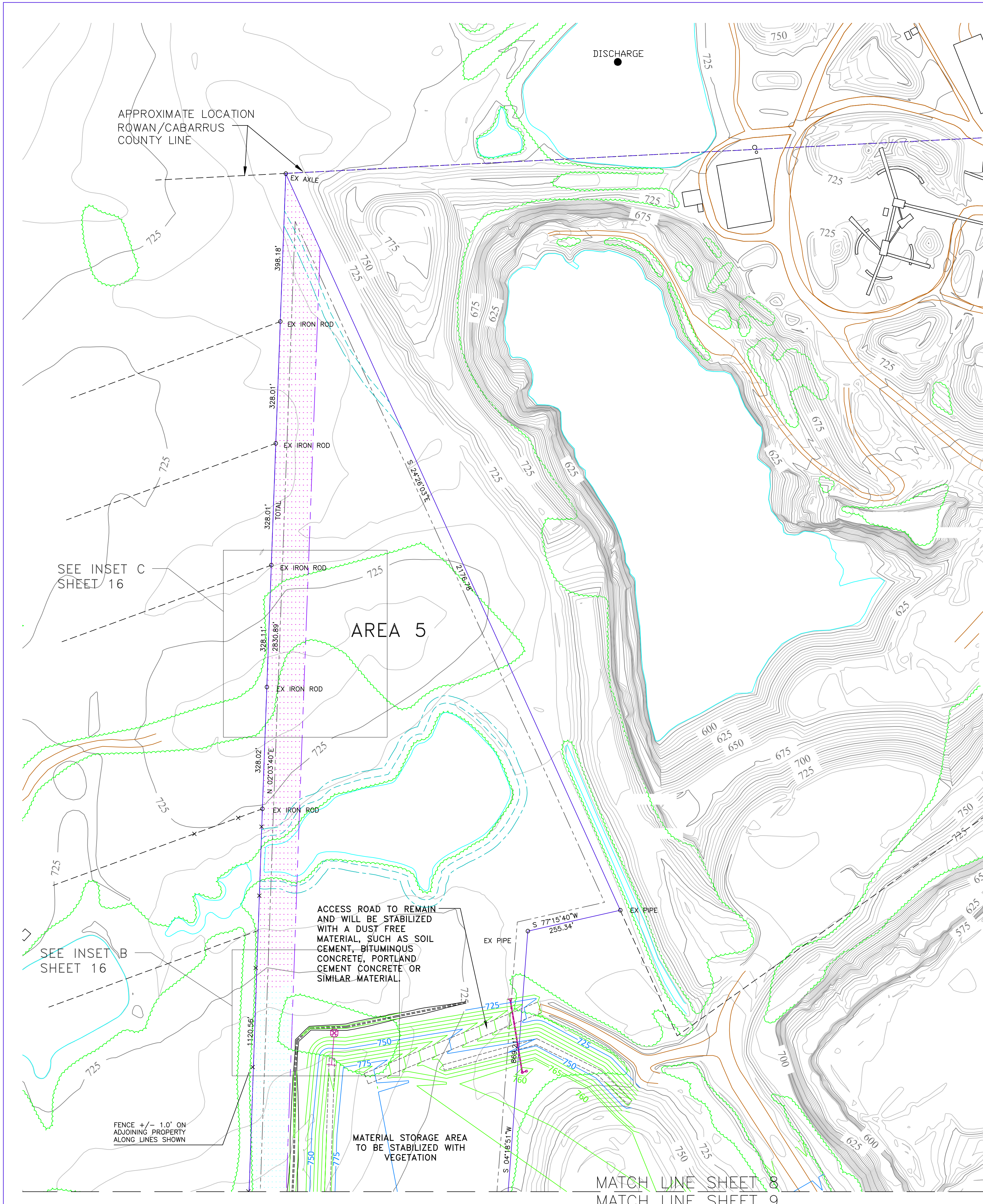
awck alley, williams, carmen, & king, inc.
 CONSULTING ENGINEERS
 FIRM LICENSE No. F-0203
 120 SOUTH MAIN STREET KANNAPOLIS, NC 28082 P.O. BOX 1248 704/938-1515

2020 CONDITIONAL USE REZONING REQUEST
 GOLD HILL QUARRY
 VULCAN MATERIALS COMPANY
 5300 GOLD HILL RD E., GOLD HILL, NC 28071

SCALE	DATE	12-18-20
1" = 100'	DRAWN BY:	RCC
PROFILE	CHECKED BY:	GWV
VERT.:	DWG No.:	

JOB NO.	11526
SHEET NO.	7
OF:	21

REV#1 PER CABARRUS COUNTY 3-23-21
 REV#2 PER COMMUNITY MEETING 5-18-21



GOLD HILL QUARRY
CABARRUS COUNTY
REVEGETATION PLAN
SPRING - FALL - WINTER SEED MIXES

SPRING RATE MARCH - JUNE

Rye Grain	15 - 20 lbs. per acre
Tall Fescue	40 - 80 lbs. per acre
Switchgrass	8 lbs. per acre
Va 70 Shrub Lespedeza	20 lbs. per acre
Sericea Lespedeza	15 - 20 lbs. per acre
Dr Red Clover	8 - 14 lbs. per acre
Hulled Common Bermuda Grass	2 - 4 lbs. per acre
Dr Weeping Love Grass	2 - 4 lbs. per acre

FALL RATE (MID) AUGUST - OCTOBER

Rye Grain	40 lbs. per acre
Tall Fescue	80 lbs. per acre
Sericea Lespedeza (Unscarified)	40 lbs. per acre
Orchard Grass	30 lbs. per acre
White Clover	5 lbs. per acre

WINTER RATE NOVEMBER - FEBRUARY

Rye Grain	40 lbs. per acre
Unhulled Bermuda Grass	10 lbs. per acre
Unscarified Sericea Lespedeza	30 lbs. per acre
Tall Fescue	80 lbs. per acre

FERTILIZER ALL SEASONS

10 - 20 - 20	1500 lbs. per acre
Lime	4000 lbs. per acre
Mulch	70 bales per acre

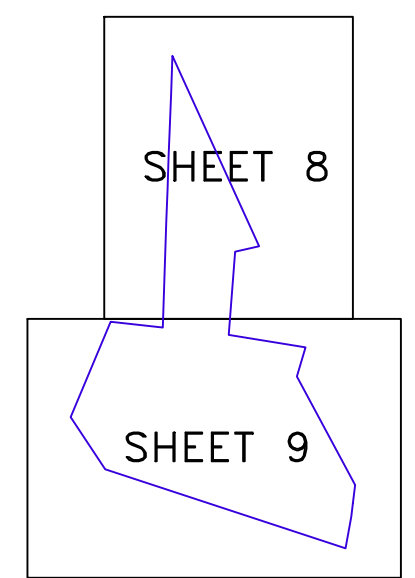
- Mulch to be anchored by one of the following methods:
1. Crimping with mulch anchoring tool; or
 2. Tack with asphalt emulsion - 400 gal. per acre or
 3. 1500 pounds/acre fiber mulch

MINE LEGEND

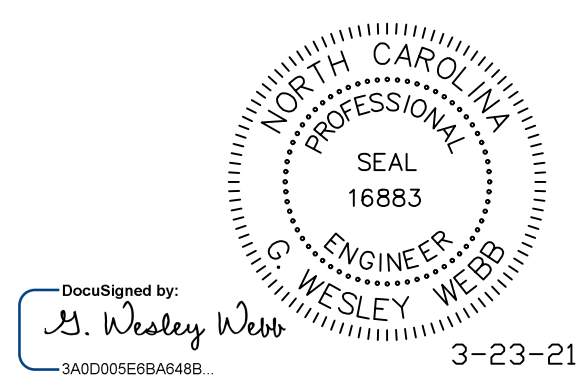
- VULCAN LANDS INC PROPERTY LINE
- ADJACENT PROPERTY LINE
- 100' UNDISTURBED CLEARING LIMITS
- CABARRUS CO. ZONING BUILDING SETBACK
- WATERBODY BUFFER ZONE BUFFER
- WATERBODY BUFFER ZONE NO BUILD BUFFER
- PHASE 1
- PHASE 2
- PHASE 3
- PHASE 4
- PROPOSED 100' PERIMETER LANDSCAPE BUFFER YARD
- PHASE 1
- PHASE 2
- PHASE 3
- PHASE 4
- AREA 5
- STREET YARD LANDSCAPED BUFFER

MAPPING LEGEND

- HORIZONTAL CONTROL POINT
- VERTICAL CONTROL POINT
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- SPOT ELEVATION
- WATER
- PAVED ROAD
- DIRT ROAD
- BUILDING
- LOCATED OBJECT
- FENCE
- TREES
- PIPE
- POLE
- TOWER



RECLAMATION PLAN
SHEET LEGEND



DWG NO.: 11526 GOLD HILL QUARRY CABAR SHAFER REZONING.DWG

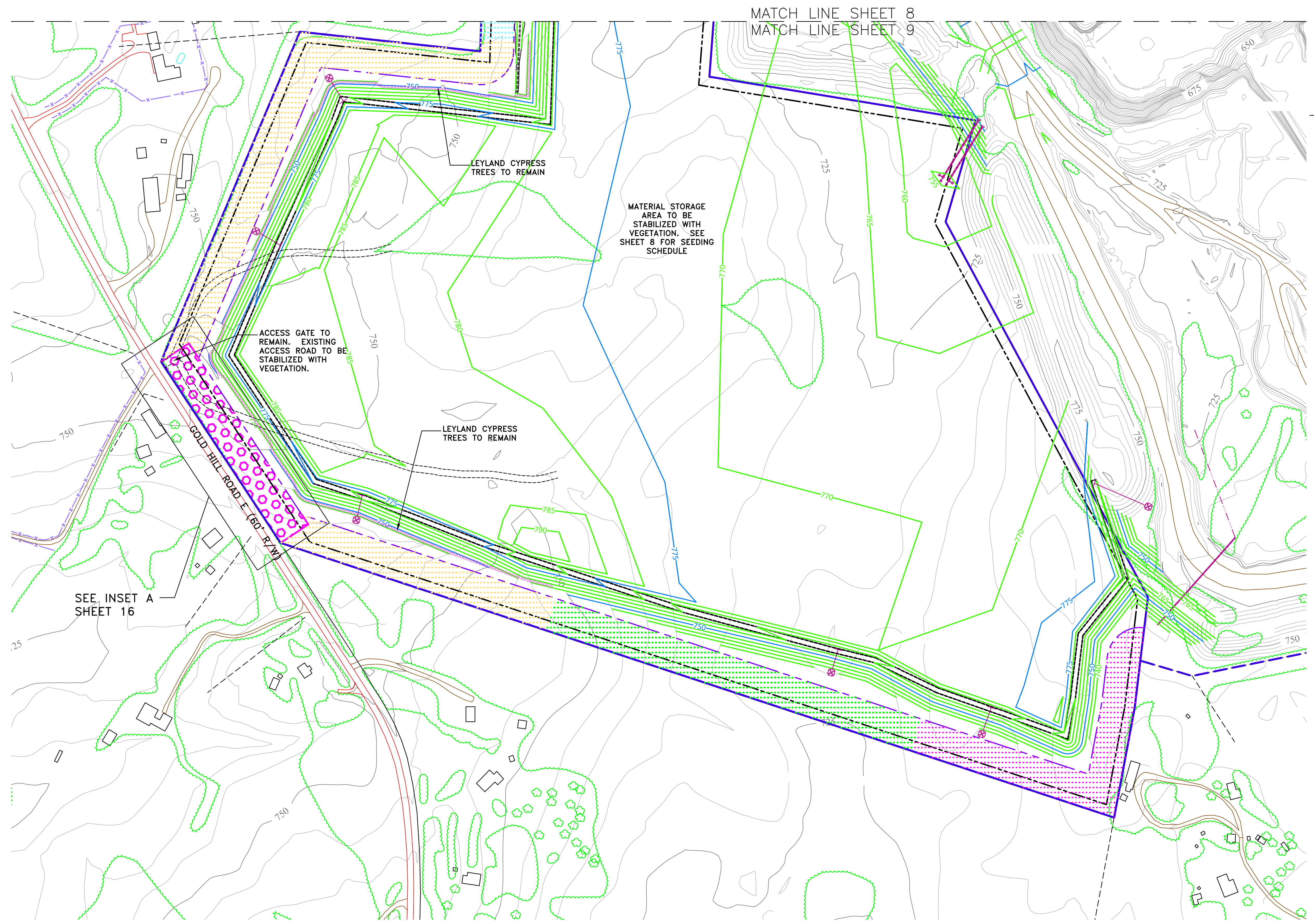


alley, williams, carmen, & king, inc.
CONSULTING ENGINEERS
FIRM LICENSE No. F-0203
120 SOUTH MAIN STREET KANNAPOLIS, NC 28082
P.O. BOX 1248 704/938-1515

SCALE	DATE
1" = 150'	12-18-20
PROFILE	DRAWN BY: RCC
CHECKED BY: GWV	
DWG No.:	

2020 CONDITIONAL USE REZONING REQUEST
GOLD HILL QUARRY
VULCAN MATERIALS COMPANY
5300 GOLD HILL RD E., GOLD HILL, NC 28071

JOB NO.	11526
SHEET NO.	8
OF	21



SEE INSET A SHEET 16

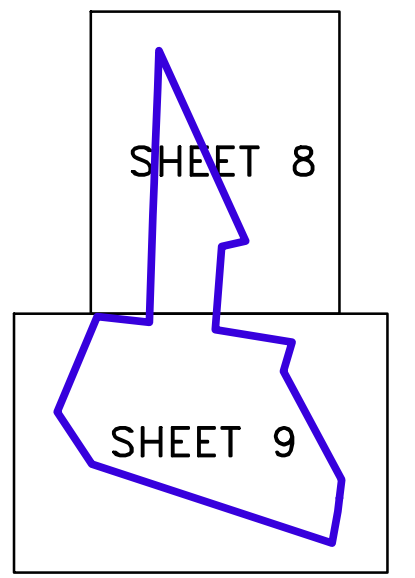
MATCH LINE SHEET 8
MATCH LINE SHEET 9

MINE LEGEND

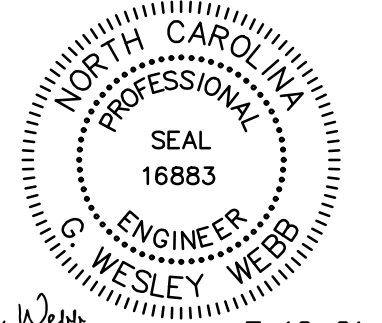
VULCAN LANDS INC PROPERTY LINE	
ADJACENT PROPERTY LINE	
100' UNDISTURBED CLEARING LIMITS	
CABARRUS CO. ZONING BUILDING SETBACK	
WATERBODY BUFFER ZONE BUFFER	
WATERBODY BUFFER ZONE NO BUILD BUFFER	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
PROPOSED 100' PERIMETER LANDSCAPE BUFFER YARD	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
AREA 5	
STREET YARD LANDSCAPED BUFFER	

MAPPING LEGEND

HORIZONTAL CONTROL POINT	
VERTICAL CONTROL POINT	
INDEX CONTOUR	
INTERMEDIATE CONTOUR	
SPOT ELEVATION	
WATER	
PAVED ROAD	
DIRT ROAD	
BUILDING	
LOCATED OBJECT	
FENCE	
TREES	
PIPE	
POLE	
TOWER	

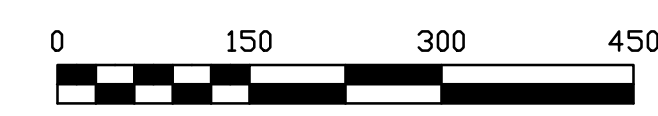


RECLAMATION PLAN SHEET LEGEND



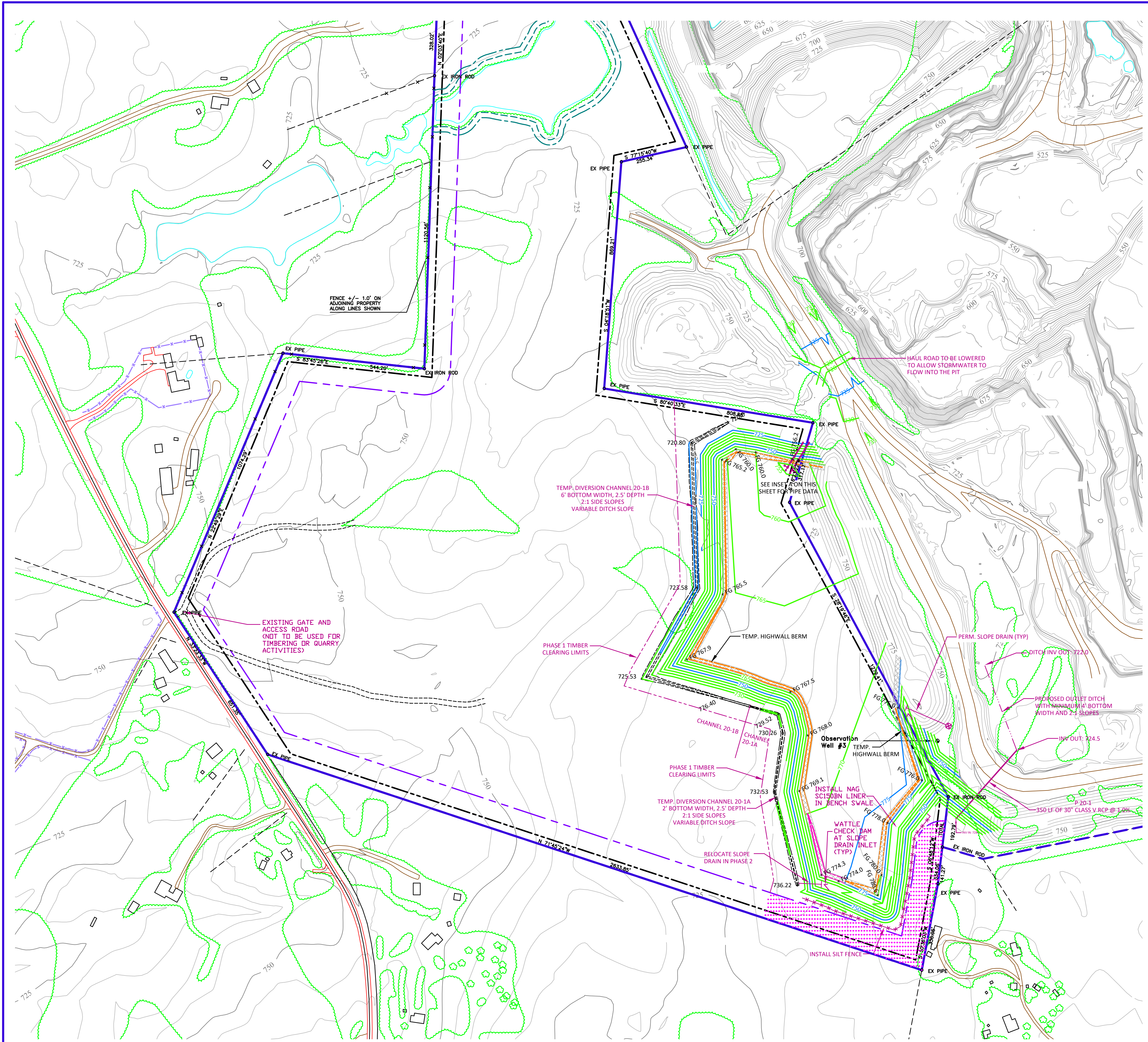
DocuSigned by:
Wesley West
3A0C0005E6B64648
5-18-21

DWG NO.: 11526 GOLD HILL QUARRY CABAR SHAFER REZONING.DWG



 alley, williams, carmen, & king, inc. CONSULTING ENGINEERS FIRM LICENSE No. F-0203 120 SOUTH MAIN STREET KANNAPOLIS, NC 28082	SCALE	DATE
	1" = 150'	12-18-20
	PROFILE	DRAWN BY: RCC
	CHECKED BY: GWV	
2020 CONDITIONAL USE REZONING REQUEST GOLD HILL QUARRY VULCAN MATERIALS COMPANY 5300 GOLD HILL RD E., GOLD HILL, NC 28071	JOB NO.	11526
	SHEET NO.	9
	OF	21

REV#1 PER CABARRUS COUNTY 3-23-21
REV#2 PER COMMUNITY MEETING 5-18-21

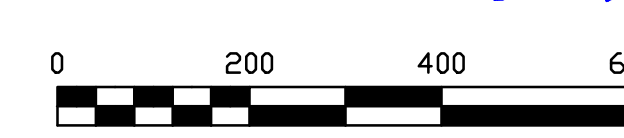


PHASED CONSTRUCTION NOTES:
 1. THE GRADING SHOWN ON THIS SHEET IS LOCATED IN PHASE 1 OF THE QUARRY MATERIAL STORAGE EXPANSION AREA. MATERIAL STORAGE IN PHASE 1 SHALL NOT OCCUR UNTIL THE APPLICABLE PERIMETER LANDSCAPE BUFFERS HAVE BEEN APPROVED BY CABARRUS COUNTY PLANNING DEPARTMENT. SEE NOTE NO. 4 ON SHEET 2 FOR BUFFER NOTES.

SCALE : 1" = 200'

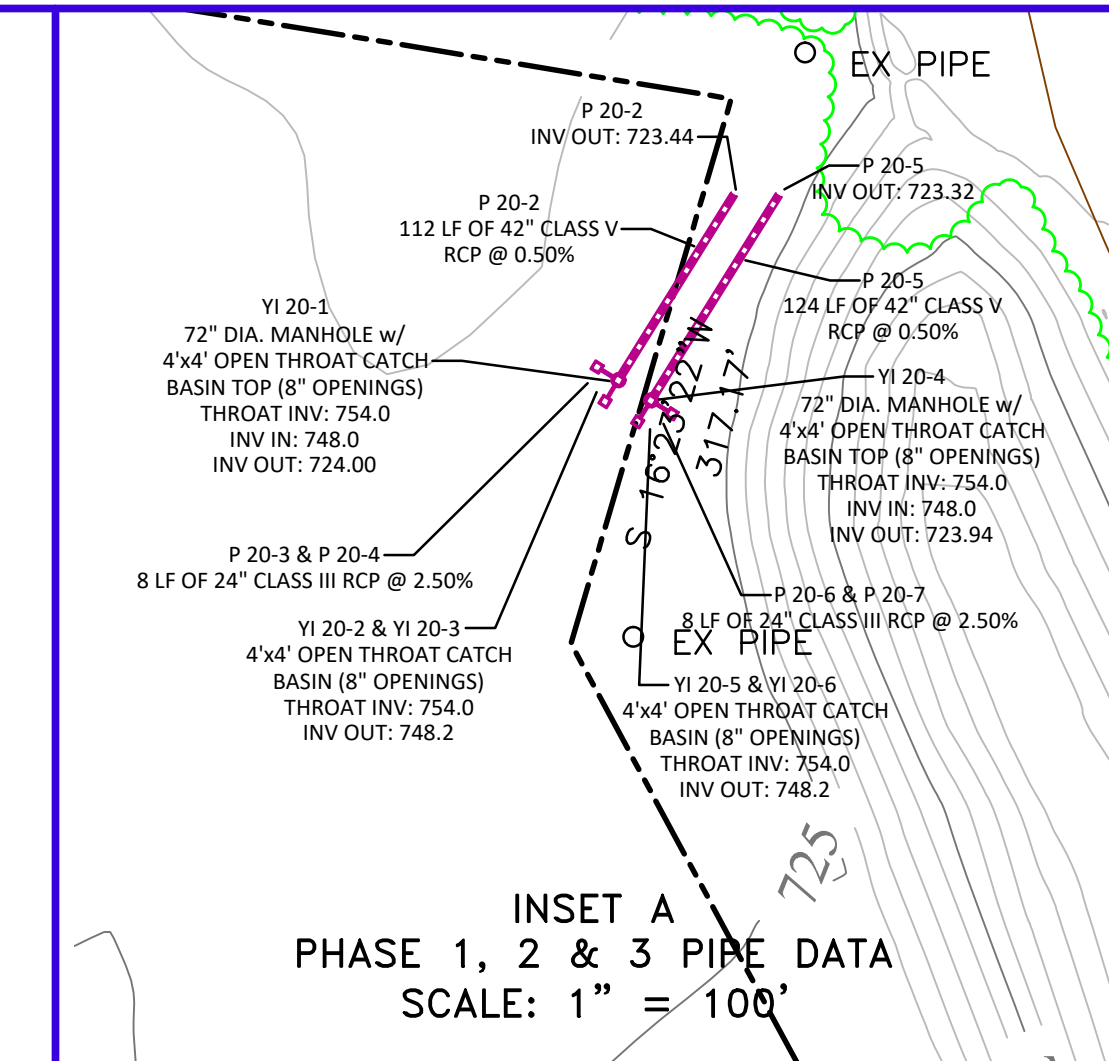
EROSION CONTROL STRUCTURE LEGEND

- SEDIMENT BASIN
 - RISER SEDIMENT BASIN
 - TEMPORARY DIVERSION DITCH
 - SILT FENCE
- NOTE: OTHER SYMBOLS MAY BE USED TO DELINEATE EROSION CONTROL MEASURES. REFER TO SITE NOTES.



REV#1 PER CABARRUS COUNTY 3-23-21
 REV#2 PER COMMUNITY MEETING 5-18-21
 REV#3 CLARIFIED CLEARING LIMITS 6-1-21

DWG NO.: 11526 GOLD HILL QUARRY CABAR SHAFER REZONING.DWG



- WESTERN MATERIAL STORAGE AREA - PHASE 1 CONSTRUCTION SEQUENCE**
- INSTALL PIPE 20-1. COMPLETE BACKFILL. SEED AND STABILIZE DISTURBED AREAS AS SOON AS THE PIPES IS INSTALLED.
 - LOWER THE HAUL ROAD TO ALLOW RUNOFF TO ENTER THE PIT.
 - BEGIN TIMBERING IN PHASE 1. ONLY REMOVE TIMBER FROM WITHIN THE PHASE 1 LIMITS. AREA 5 AND PHASES 2, 3, AND 4 WILL REMAIN WOODED. LEAVE STUMPS IN PLACE UNTIL EROSION CONTROL MEASURES ARE INSTALLED. ACCESS FOR TIMBERING EQUIPMENT AND LOGGING TRUCKS WILL BE THROUGH THE MINE SITE. THE ACCESS ROAD ON GOLD HILL ROAD EAST WILL NOT BE USED FOR THIS PHASE.
 - BEGIN CLEARING THE AREA WHERE SILT FENCE, TEMPORARY DIVERSION BERM, AND TEMPORARY DIVERSION DITCHES WILL BE INSTALLED.
 - INSTALL THE SILT FENCE, THE TEMPORARY DIVERSION BERM, DIVERSION CHANNEL 20-1A AND TEMPORARY DIVERSIONS SHOWN ON THE PLAN. THE TEMPORARY DIVERSION BERM ON THE SOUTHERN END OF THE PROJECT AREA (SEE INSET B) WILL PREVENT ANY RUNOFF FROM FLOWING SOUTH. RUNOFF WILL POND IN THE UPSTREAM BASIN AREA WILL OVERFLOW UPSTREAM OF THE BASIN AND FLOW NORTH AND WEST. STABILIZE THE DISTURBED AREAS WITH A GROUND COVER.
 - CLEAR THE REST OF THE AREA WHERE DIVERSION CHANNEL 20-1B WILL BE CONSTRUCTED.
 - INSTALL DIVERSION CHANNEL 20-1B AND STABILIZE WITH A GROUND COVER.
 - CLEAR THE REST OF THE AREA WHERE MATERIAL WILL BE PLACED DURING PHASE 1.
 - BEGIN PLACING MATERIAL IN THE STORAGE AREA. PLACE MATERIAL ALONG THE SOUTHERN EDGE TO CONSTRUCT THE EXTERIOR SLOPE AS SOON AS POSSIBLE. ENSURE THAT ALL DISTURBED AREAS DRAIN TOWARDS THE PIT. MAINTAIN A HIGHWALL BARRIER ALONG THE TOP OF SLOPES AT ALL TIMES.
 - BRING THE SOUTHERN EDGE OF THE MATERIAL STORAGE AREA TO GRADE AND INSTALL THE TERRACE AND SLOPE DRAIN. SEED AND STABILIZE THE EXTERIOR SLOPES BELOW THIS ELEVATION. WATTLE ARE TO BE INSTALLED AT THE INLET OF ALL SLOPE DRAINS AND A PLUNGE POOL WILL BE INSTALLED AT THE OUTLET OF ALL SLOPE DRAINS. INSTALL A NORTH AMERICAN GREEN S150BN CHANNEL LINER IN THE BENCH CHANNELS. THE DISTURBED AREAS IN THE STORAGE AREA ARE TO BE DIVERTED TO DRAIN AWAY FROM THE SLOPE AND TOWARDS THE PIT AT ALL TIMES.
 - ONCE THE SLOPE ABOVE THE TERRACE HAS BEEN CONSTRUCTED, COMPLETE GRADING OF THE SOUTHERN SLOPE AND PROVIDE A GROUND COVER ON THE EXTERIOR SLOPES.
 - CONTINUE TO PLACE MATERIAL IN THE STORAGE AREA. ENSURE THAT ALL DISTURBED AREAS DRAIN TOWARDS DIVERSION CHANNEL 20-1A AND 20-1B OR THE PIT. DIVERSION CHANNEL 20-1A AND 20-1B WILL NOT COLLECT RUNOFF UNTIL ENOUGH FILL HAS BEEN PLACED IN THE STORAGE AREA TO FORCE RUNOFF TO FLOW TOWARDS DIVERSION CHANNEL 20-1A AND 20-1B.
 - SEED AND STABILIZE AREAS AT THEY ARE BROUGHT TO GRADE. PROVIDE A TEMPORARY GROUND COVER ON EXTERIOR SLOPES AND INACTIVE FILL AREAS EVERY SPRING AND FALL.
 - ONCE THE MATERIAL STORAGE PLACEMENT BEGINS IN THE NORTHERN END OF PHASE ONE, INSTALL PIPES P 20-3 AND P 20-5 AND MANHOLES YI 20-3 AND YI 20-6. INSTALL THE MANHOLES IN SECTIONS AND USE THE OPEN MANHOLES FOR INLET DRAINS. INSTALL A STORAGE AREA AROUND THE INLET AND INSTALL A TEMPORARY TRASH RACK. ONCE THE AREAS SURROUNDING THE MANHOLE HAS BEEN FILLED, INSTALL ANOTHER SECTION OF THE MANHOLE RISER. SEE THE INLET SUMP DETAIL ON SHEET 8.
 - AS THE MATERIAL STORAGE AREA IS BEING BROUGHT TO GRADE, INSTALL YI 20-4, YI 20-5, YI 20-7, AND YI 20-8 AND INSTALL THE OPEN TOP CATCH BASINS INLETS ON THE MANHOLES.
 - KEEP ALL DISTURBED AREAS DRAINING INTO THE PIT AT ALL TIMES.
 - INSTALL HIGH WALL PROTECTION ALONG THE TOP OF THE FILL SLOPE AT ALL TIMES.
 - MONITOR ALL EROSION CONTROL MEASURES AFTER EACH RAINFALL. REMOVE ACCUMULATED SEDIMENT, AND REPAIR AND DAMAGE TO THE SEDIMENT BASINS, DIVERSION BERM, DITCHES, AND SILT FENCE.
 - ONCE THE MATERIAL STORAGE AREA HAS BEEN FILLED TO THE PHASE LIMITS, STABILIZE THE REMAINING SLOPES AND FILL AREA PER THE RECLAMATION DETAIL AND SEEDING SPECIFICATIONS.

- MINE LEGEND**
- VULCAN LANDS INC PROPERTY LINE
 - ADJACENT PROPERTY LINE
 - 100' UNDISTURBED CLEARING LIMITS
 - CABARRUS CO. ZONING BUILDING SETBACK
 - WATERBODY BUFFER ZONE BUFFER
 - WATERBODY BUFFER ZONE NO BUILD BUFFER
- MAPPING LEGEND**
- HORIZONTAL CONTROL POINT
 - VERTICAL CONTROL POINT
 - INDEX CONTOUR
 - INTERMEDIATE CONTOUR
 - SPOT ELEVATION
 - WATER
 - PAVED ROAD
 - DIRT ROAD
 - BUILDING
 - LOCATED OBJECT
 - FENCE
 - TREES
 - POLE
 - TOWER

COMPILED BY:

 DATE OF PHOTOGRAPHY :
 3/20/20

THIS MAP MEETS OR EXCEEDS NATIONAL MAP ACCURACY STANDARDS FOR 1"=200', WITH A 5' CONTOUR INTERVAL, EXCLUDING AREAS MAPPED OUTSIDE OF EXISTING GROUND CONTROL OR IN DENSE TREE AREAS.

THE TOPOGRAPHIC MAP WAS ORIGINALLY ISSUED AND SEALED BY ROBERT H. TUCK, L-4122, ON 4-19-20. PORTIONS OF THIS MAP HAVE BEEN COMPILED OUTSIDE THE LIMITS OF CONTROL AND THEREFORE DO NOT MEET THE NATIONAL MAP ACCURACY STANDARDS. HORIZONTAL DATUM: NORTH CAROLINA, NAD83, USFT VERTICAL DATUM: NAVD88, GEOID 1999. CONTOURS IN TREE AREAS ARE APPROXIMATE. COMBINED FACTOR: Grid to Ground = 0.9998459 Ground to Grid = 1.0001541

MINE LEGEND

- PHASE 1
- PHASE 2
- PHASE 3
- PHASE 4
- PROPOSED 100' PERIMETER LANDSCAPE BUFFER YARD
- PHASE 1
- PHASE 2
- PHASE 3
- PHASE 4
- AREA 5
- STREET YARD LANDSCAPED BUFFER

MAPPING LEGEND

- HORIZONTAL CONTROL POINT
- VERTICAL CONTROL POINT
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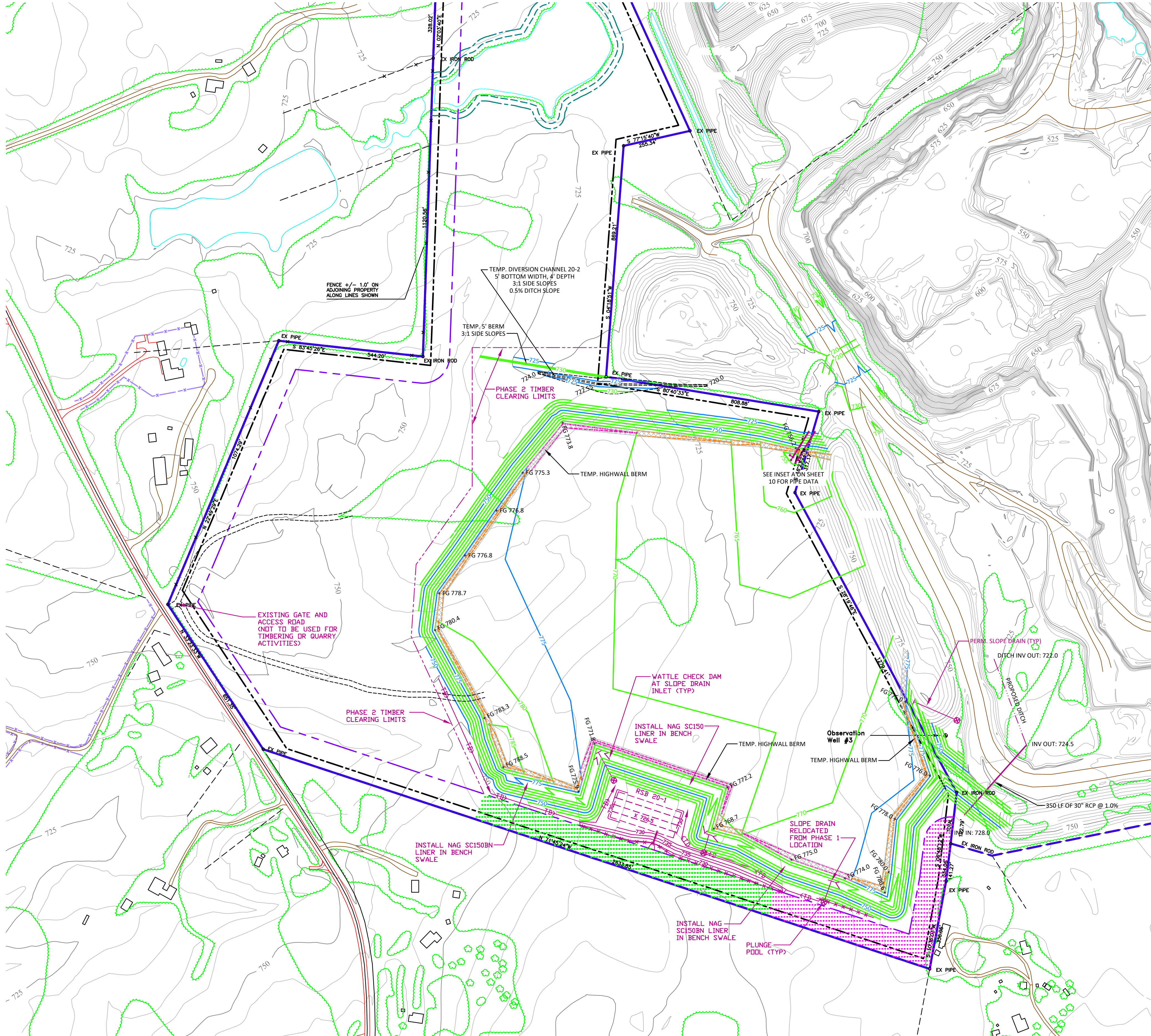
DocuSigned by:
 S. Wesley Webb
 3A2C0050E8A48E

 6-1-21

alley, williams, carmen, & king, inc.
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2020 CONDITIONAL USE REZONING REQUEST
 GOLD HILL QUARRY
 VULCAN MATERIALS COMPANY
 5300 GOLD HILL RD E., GOLD HILL, NC 28071

SCALE	DATE	12-18-20
1" = 200'	DRAWN BY:	RCC
PROFILE	CHECKED BY:	GWV
VERT.	DWG No.:	
JOB NO.		11526
SHEET NO.		10
OF:		21



PHASED CONSTRUCTION NOTES:
 1. THE GRADING SHOWN ON THIS SHEET IS LOCATED IN PHASE 1 AND PHASE 2 OF THE QUARRY MATERIAL STORAGE EXPANSION AREA. MATERIAL STORAGE IN PHASE 2 SHALL NOT OCCUR UNTIL THE APPLICABLE PERIMETER LANDSCAPE BUFFERS HAVE BEEN APPROVED BY CABARRUS COUNTY PLANNING DEPARTMENT. SEE NOTE NO. 4 ON SHEET 2 FOR BUFFER NOTES.

EROSION CONTROL STRUCTURE LEGEND

SEDIMENT BASIN	
RISER SEDIMENT BASIN	
TEMPORARY DIVERSION DITCH	
SILT FENCE	

NOTE: OTHER SYMBOLS MAY BE USED TO DELINEATE EROSION CONTROL MEASURES. REFER TO SITE NOTES.



DWG NO.: 11526 GOLD HILL QUARRY CABAR SHAFER REZONING.DWG

COMPILED BY:



DATE OF PHOTOGRAPHY :
3/20/20

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MINE LEGEND

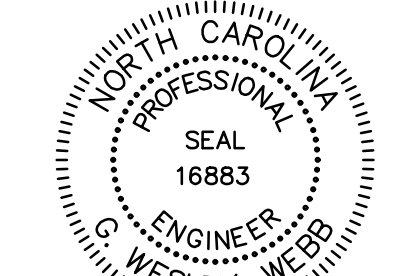
VULCAN LANDS INC PROPERTY LINE	
ADJACENT PROPERTY LINE	
100' UNDISTURBED CLEARING LIMITS	
CABARRUS CO. ZONING BUILDING SETBACK	
WATERBODY BUFFER ZONE BUFFER	
WATERBODY BUFFER ZONE NO BUILD BUFFER	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
PROPOSED 100' PERIMETER LANDSCAPE BUFFER YARD	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
AREA 5	
STREET YARD LANDSCAPED BUFFER	

MAPPING LEGEND

HORIZONTAL CONTROL POINT	
VERTICAL CONTROL POINT	
INDEX CONTOUR	
INTERMEDIATE CONTOUR	
SPOT ELEVATION	
WATER	
PAVED ROAD	
DIRT ROAD	
BUILDING	
LOCATED OBJECT	
FENCE	
TREES	
PIPE	
POLE	
TOWER	

WESTERN MATERIAL STORAGE AREA - PHASE 2 CONSTRUCTION SEQUENCE

- BEGIN TIMBERING IN PHASE 2. ONLY REMOVE TIMBER FROM THE PHASE 2 LIMITS. AREA 5 AND PHASES 3 AND 4 WILL REMAIN WOODED. LEAVE STUMPS IN PLACE UNTIL EROSION CONTROL MEASURES ARE INSTALLED. ACCESS FOR TIMBERING EQUIPMENT AND LOGGING TRUCKS WILL BE THROUGH THE MINE SITE. THE ACCESS ROAD ON GOLD HILL ROAD EAST WILL NOT BE USED FOR THIS PHASE.
- CLEAR ENOUGH AREA TO INSTALL THE EROSION CONTROL MEASURES IN PHASE 2.
- INSTALL THE SILT FENCE, RSB 20-1, TEMPORARY DIVERSION CHANNEL 20-2 AND THE ADJACENT TEMPORARY BERM, AND TEMPORARY DIVERSIONS IN THE LOCATIONS SHOWN ON THE PLAN.
- CLEAR THE REST OF THE AREA WHERE MATERIAL WILL BE PLACED DURING PHASE 2 AND THE AREA WHERE DIVERSION CHANNEL 20-2 IS LOCATED.
- INSTALL DIVERSION CHANNEL 20-2B AND STABILIZE WITH A GROUND COVER.
- BEGIN PLACING MATERIAL IN THE STORAGE AREA. PLACE MATERIAL ALONG THE SOUTHERN EDGE TO CONSTRUCT THE EXTERIOR SLOPE AS SOON AS POSSIBLE. ENSURE THAT ALL DISTURBED AREAS DRAIN TOWARDS THE PIT. MAINTAIN A HIGHWALL BARRIER ALONG THE TOP OF SLOPES AT ALL TIMES.
- BRING THE SOUTHERN EDGE OF THE MATERIAL STORAGE AREA TO GRADE AND INSTALL THE TERRACE AND SLOPE DRAIN. WATTLES ARE TO BE INSTALLED AT THE INLET OF ALL SLOPE DRAINS AND A PLUNGE POOL WILL BE INSTALLED AT THE OUTLET OF ALL SLOPE DRAINS. SEED AND STABILIZE THE EXTERIOR SLOPES BELOW THIS ELEVATION. INSTALL A NORTH AMERICAN GREEN S150BN CHANNEL LINER IN THE BENCH CHANNELS. DISTURBED AREAS IN THE STORAGE AREAS ARE TO BE DIVERTED TO DRAIN AWAY FROM THE SLOPE AND TOWARDS THE PIT AT ALL TIMES.
- ONCE THE SLOPE ABOVE THE TERRACE HAS BEEN CONSTRUCTED, COMPLETE GRADING OF THE SOUTHERN SLOPE AND PROVIDE A GROUND COVER ON THE EXTERIOR SLOPES.
- CONTINUE TO PLACE MATERIAL IN THE STORAGE AREA. ENSURE THAT ALL DISTURBED AREAS DRAIN TOWARDS DIVERSION CHANNEL 20-2 OR THE INLETS INSTALLED DURING PHASE 1.
- SEED AND STABILIZE AREAS AT THEY ARE BROUGHT TO GRADE. PROVIDE A TEMPORARY GROUND COVER ON EXTERIOR SLOPES AND INACTIVE FILL AREAS EVERY SPRING AND FALL.
- KEEP ALL DISTURBED AREAS DRAINING INTO THE PIT AT ALL TIMES.
- INSTALL HIGH WALL BARRIERS ALONG THE TOP OF THE SLOPE AS THE FILL IS BEING PLACED.
- MONITOR ALL EROSION CONTROL MEASURES AFTER EACH RAINFALL. REMOVE ACCUMULATED SEDIMENT, AND REPAIR AND DAMAGE TO THE SEDIMENT BASINS, DIVERSION BERM, DITCHES, AND SILT FENCE.
- ONCE THE MATERIAL STORAGE AREA HAS BEEN FILLED TO THE PHASE LIMITS, STABILIZE THE REMAINING SLOPES AND FILL AREA PER THE RECLAMATION DETAIL AND SEEDING SPECIFICATIONS.



DocuSign by: J. Wesley Webb
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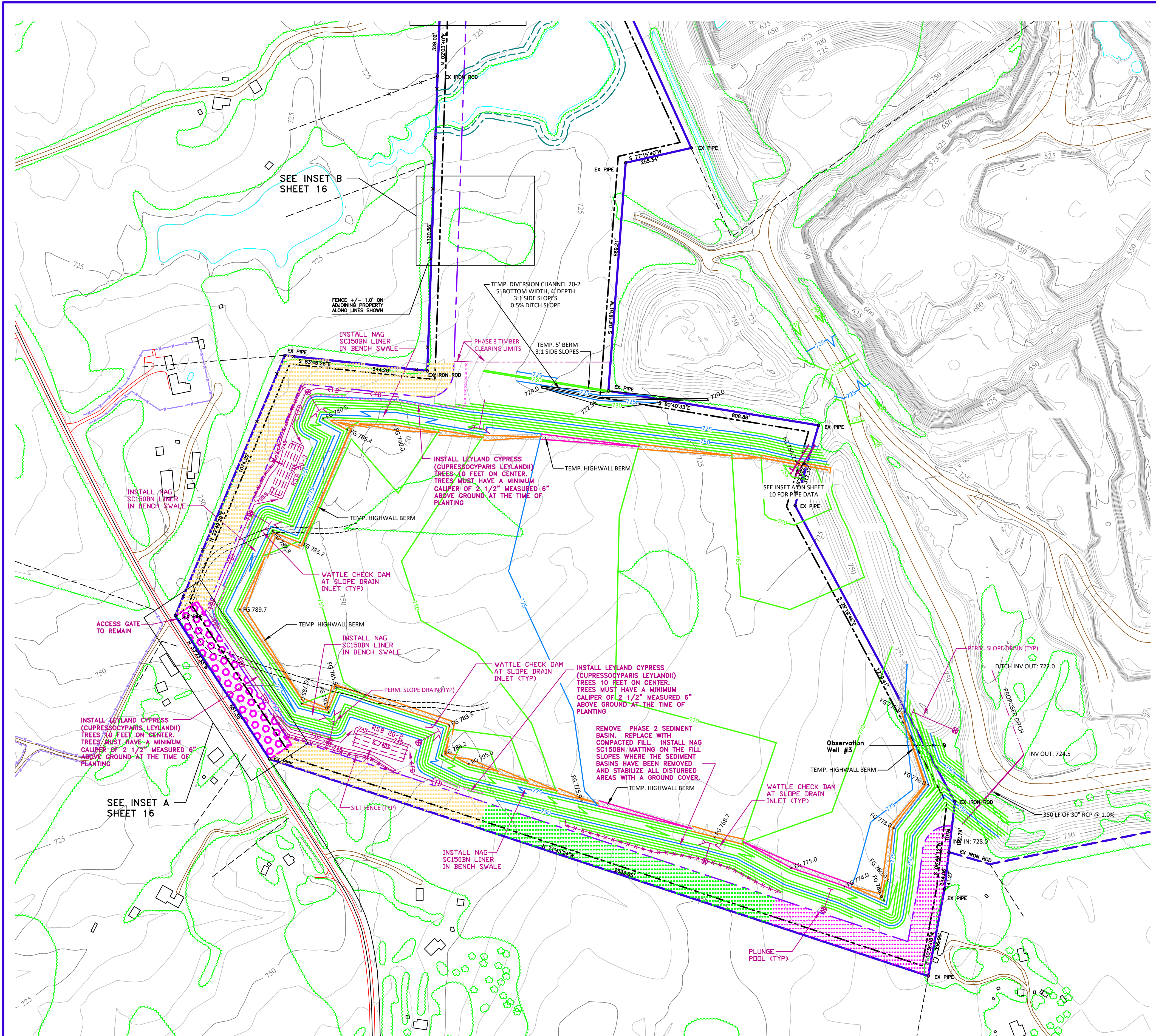


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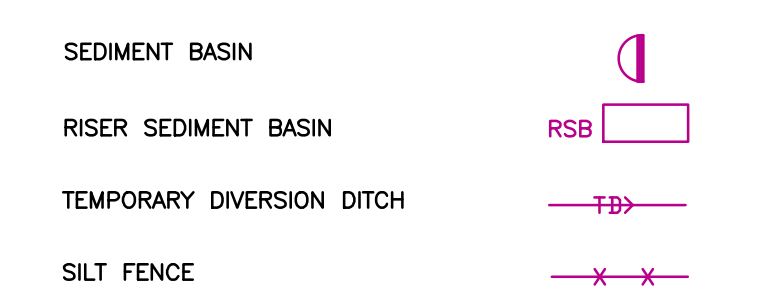
PHASE 2 GRADING PLAN
JOB NO. 11526
SHEET NO. 11
OF 21



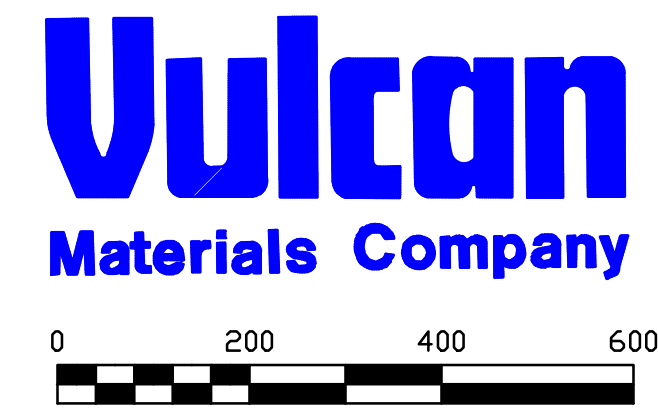
PHASED CONSTRUCTION NOTES:
 1. THE GRADING SHOWN ON THIS SHEET IS LOCATED IN PHASE 1, 2 AND 3 OF THE QUARRY MATERIAL STORAGE EXPANSION AREA. MATERIAL STORAGE IN PHASE 3 SHALL NOT OCCUR UNTIL THE APPLICABLE PERIMETER LANDSCAPE BUFFERS AND STREET YARD LANDSCAPE BUFFER HAVE BEEN APPROVED BY CABARRUS COUNTY PLANNING DEPARTMENT. SEE NOTE NO. 4 ON SHEET 2 FOR BUFFER NOTES.

REV#1 PER CABARRUS COUNTY 3-23-21
 REV#2 PER COMMUNITY MEETING 5-18-21
 REV#3 CLARIFIED CLEARING LIMITS 6-1-21

EROSION CONTROL STRUCTURE LEGEND



NOTE: OTHER SYMBOLS MAY BE USED TO DELINEATE EROSION CONTROL MEASURES. REFER TO SITE NOTES.



COMPILED BY:

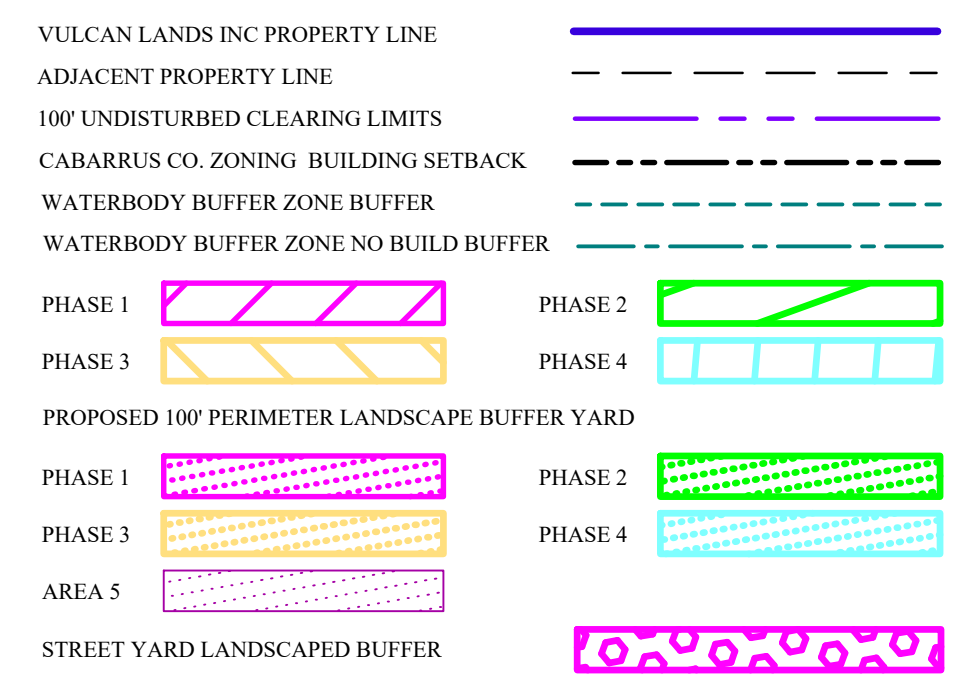


DATE OF PHOTOGRAPHY :
3/20/20

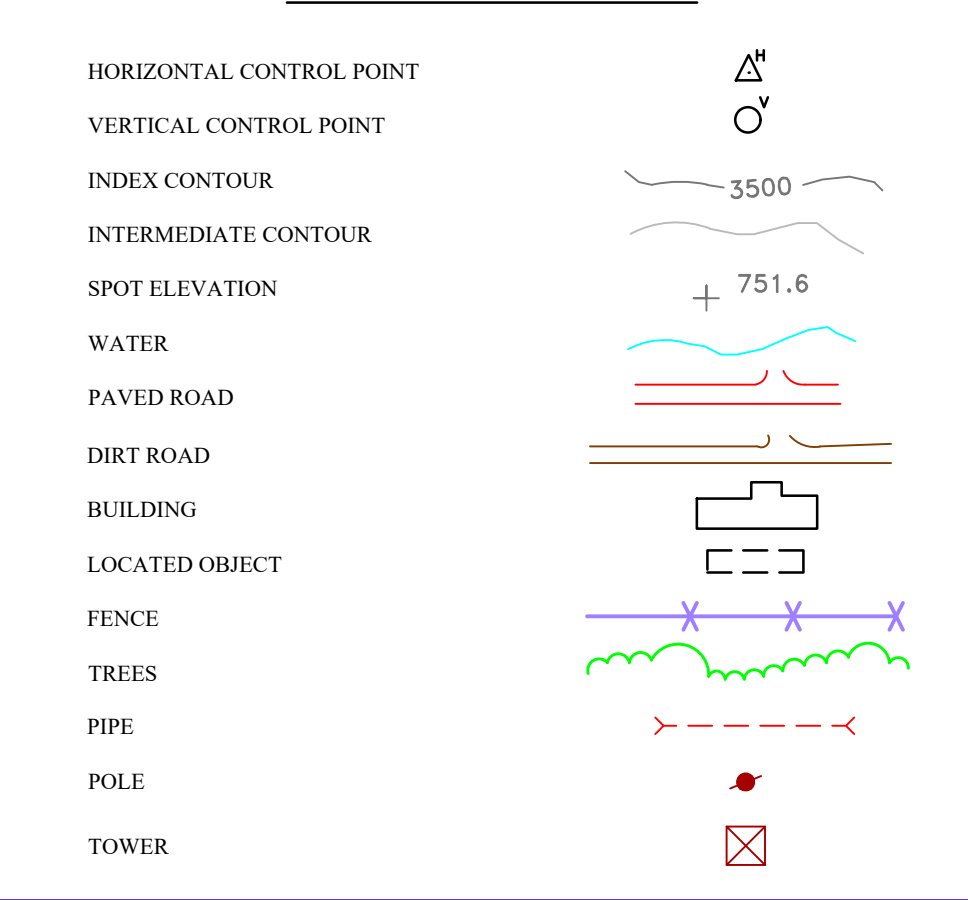
THIS MAP MEETS OR EXCEEDS NATIONAL MAP ACCURACY STANDARDS FOR 1"=200', WITH A 5' CONTOUR INTERVAL, EXCLUDING AREAS MAPPED OUTSIDE OF EXISTING GROUND CONTROL OR IN DENSE TREE AREAS.

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MINE LEGEND

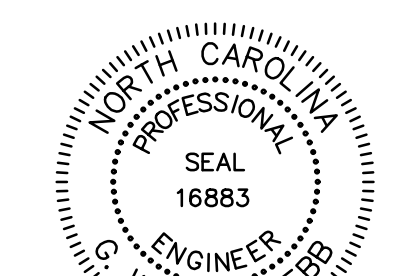


MAPPING LEGEND



WESTERN MATERIAL STORAGE AREA - PHASE 3 CONSTRUCTION SEQUENCE

- BEGIN TIMBERING IN PHASE 3. ONLY REMOVE TIMBER FROM THE PHASE 3 LIMITS. AREA 5 AND PHASE 4 WILL REMAIN WOODED. LEAVE STUMPS IN PLACE UNTIL EROSION CONTROL MEASURES ARE INSTALLED. ACCESS FOR TIMBERING EQUIPMENT AND LOGGING TRUCKS WILL BE THROUGH THE MINE SITE. THE ACCESS ROAD ON GOLD HILL ROAD EAST WILL NOT BE USED FOR THIS PHASE.
- CLEAR ENOUGH AREA TO INSTALL THE EROSION CONTROL MEASURES IN PHASE 3.
- INSTALL THE SILT FENCE, RSB 20-2, RSB 20-3, AND TEMPORARY DIVERSIONS IN THE LOCATIONS SHOWN ON THE PLAN.
- CLEAR THE REST OF THE AREA WHERE MATERIAL WILL BE PLACED DURING PHASE 3. TIMBER REMOVAL WILL BE LIMITED TO THIS PHASE. PHASE 4 AND AREA 5 WILL REMAIN WOODED.
- FILL RSB 20-2 AND REMOVE THE TEMPORARY DIVERSION CHANNELS IN THIS AREA. STABILIZE THE DISTURBED AREAS WITH A GROUND COVER.
- BEGIN PLACING MATERIAL IN THE STORAGE AREA. PLACE MATERIAL ALONG THE SOUTHERN AND WESTERN EDGES TO CONSTRUCT THE EXTERIOR SLOPES AS SOON AS POSSIBLE. ENSURE THAT ALL DISTURBED AREAS DRAIN TOWARDS THE PIT OR RISER BASINS. MAINTAIN A HIGHWALL BARRIER ALONG THE TOP OF SLOPES AT ALL TIMES.
- BRING THE SOUTHERN AND WESTERN EDGES OF THE MATERIAL STORAGE AREA TO GRADE AND INSTALL THE TERRACE AND SLOPE DRAINS. WATTLES ARE TO BE INSTALLED AT THE INLET OF ALL SLOPE DRAINS AND A PLUNGE POOL WILL BE INSTALLED AT THE OUTLET OF ALL SLOPE DRAINS. SEED AND STABILIZE THE EXTERIOR SLOPES BELOW THIS ELEVATION. INSTALL A NORTH AMERICAN GREEN S1508H CHANNEL LINER IN THE BENCH CHANNELS. DISTURBED AREAS IN THE STORAGE AREAS ARE TO BE DIVERTED TO DRAIN AWAY FROM THE SLOPE AND TOWARDS THE PIT AT ALL TIMES.
- ONCE THE SLOPE ABOVE THE TERRACE HAS BEEN CONSTRUCTED, COMPLETE GRADING OF THE SOUTHERN AND WESTERN SLOPES AND PROVIDE A GROUND COVER ON THE EXTERIOR SLOPES. INSTALL LEYLAND CYPRESS TREES ON THE TOE OF THE FILL SLOPE FOR THE LENGTH OF THE EMBANKMENT IN PHASE 3 (EXCLUDING THE TEMPORARY SLOPES UPSTREAM OF THE SEDIMENT BASINS).
- CONTINUE TO PLACE MATERIAL IN THE STORAGE AREA. ENSURE THAT ALL DISTURBED AREAS DRAIN TOWARDS DIVERSION CHANNEL 20-2 OR THE INLETS INSTALLED DURING PHASE 1.
- SEED AND STABILIZE AREAS AT THEY ARE BROUGHT TO GRADE. PROVIDE A TEMPORARY GROUND COVER ON EXTERIOR SLOPES AND INACTIVE FILL AREAS EVERY SPRING AND FALL.
- KEEP ALL DISTURBED AREAS DRAINING INTO THE PIT AT ALL TIMES.
- INSTALL HIGH WALL BARRIERS ALONG THE TOP OF THE SLOPE AS THE FILL IS BEING PLACED.
- MONITOR ALL EROSION CONTROL MEASURES AFTER EACH RAINFALL. REMOVE ACCUMULATED SEDIMENT AND REPAIR AND DAMAGE TO THE SEDIMENT BASINS, DIVERSION BERM, DITCHES, AND SILT FENCE.
- ONCE THE MATERIAL STORAGE AREA HAS BEEN FILLED TO THE PHASE LIMITS, STABILIZE THE REMAINING SLOPES AND FILL AREA PER THE RECLAMATION DETAIL AND SEEDING



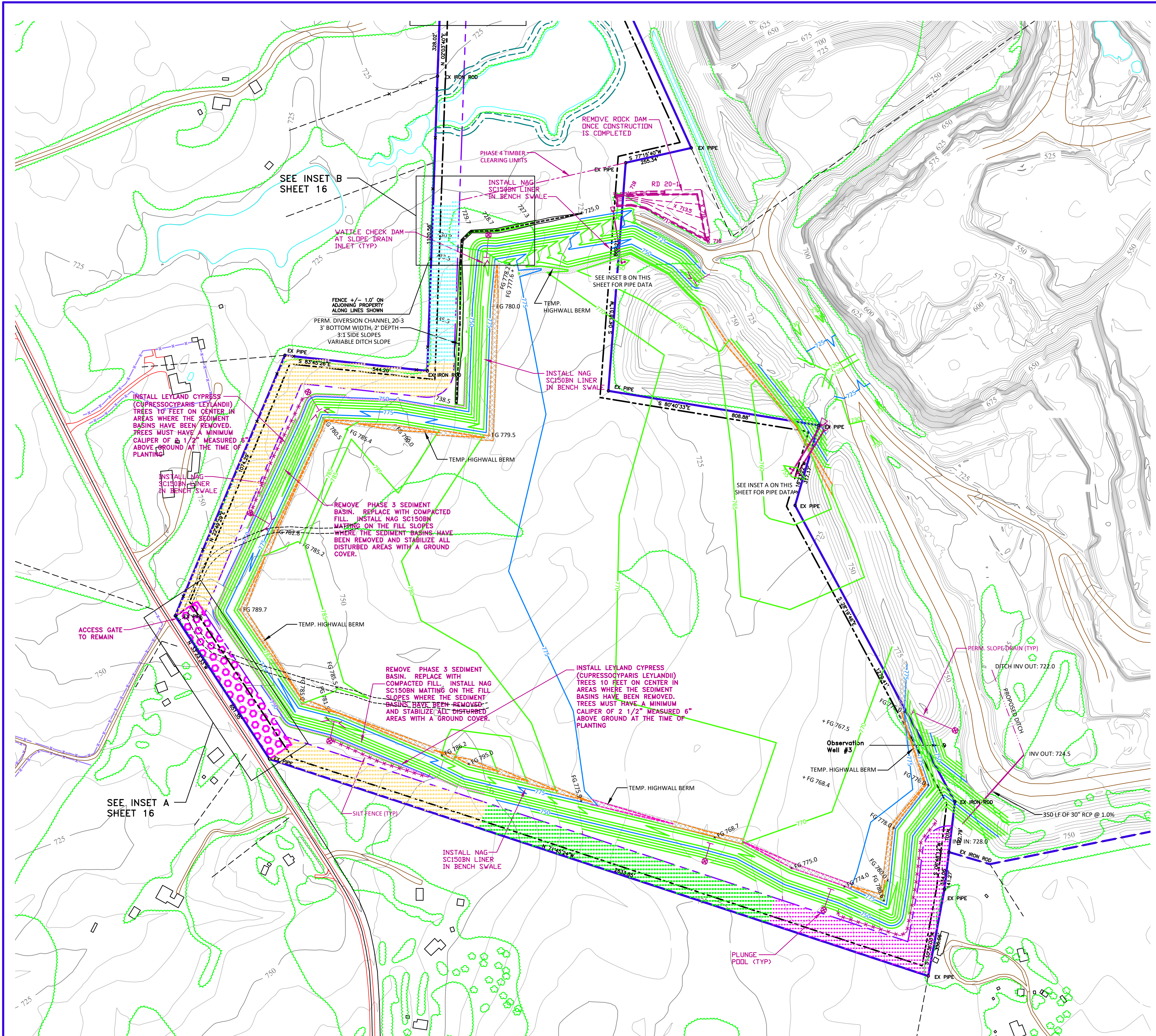
DocuSigned by:
Wesley Webb
3A0C005E6A408B 6-1-21

alley, williams, carmen, & king, inc.
CONSULTING ENGINEERS
 FIRM LICENSE No. F-0203
 120 SOUTH MAIN STREET P.O. BOX 1248
 KANNAPOLIS, NC 28082 704/938-1515

2020 CONDITIONAL USE REZONING REQUEST
 GOLD HILL QUARRY
 VULCAN MATERIALS COMPANY
 5300 GOLD HILL RD E., GOLD HILL, NC 28071

SCALE	DATE
1" = 200'	12-18-20
PROFILE	DRAWN BY: RCC
VERT.	CHECKED BY: GWV
	DWG No.:

JOB NO.	11526
SHEET NO.	12
OF	21



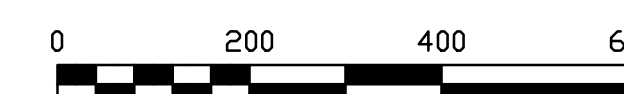
PHASED CONSTRUCTION NOTES:
 1. THE GRADING SHOWN ON THIS SHEET IS LOCATED IN PHASE 1, 2, 3 AND 4 OF THE QUARRY MATERIAL STORAGE EXPANSION AREA. MATERIAL STORAGE IN PHASE 4 SHALL NOT OCCUR UNTIL THE APPLICABLE PERIMETER LANDSCAPE BUFFERS HAVE BEEN APPROVED BY CABARRUS COUNTY PLANNING DEPARTMENT. SEE SHEET 2 FOR NOTES CONCERNING THE PROPOSED PLANTINGS. SEE NOTE NO. 4 ON SHEET 2 FOR BUFFER NOTES.

REV#1 PER CABARRUS COUNTY 3-23-21
 REV#2 PER COMMUNITY MEETING 5-18-21
 REV#3 CLARIFIED CLEARING LIMITS 6-1-21

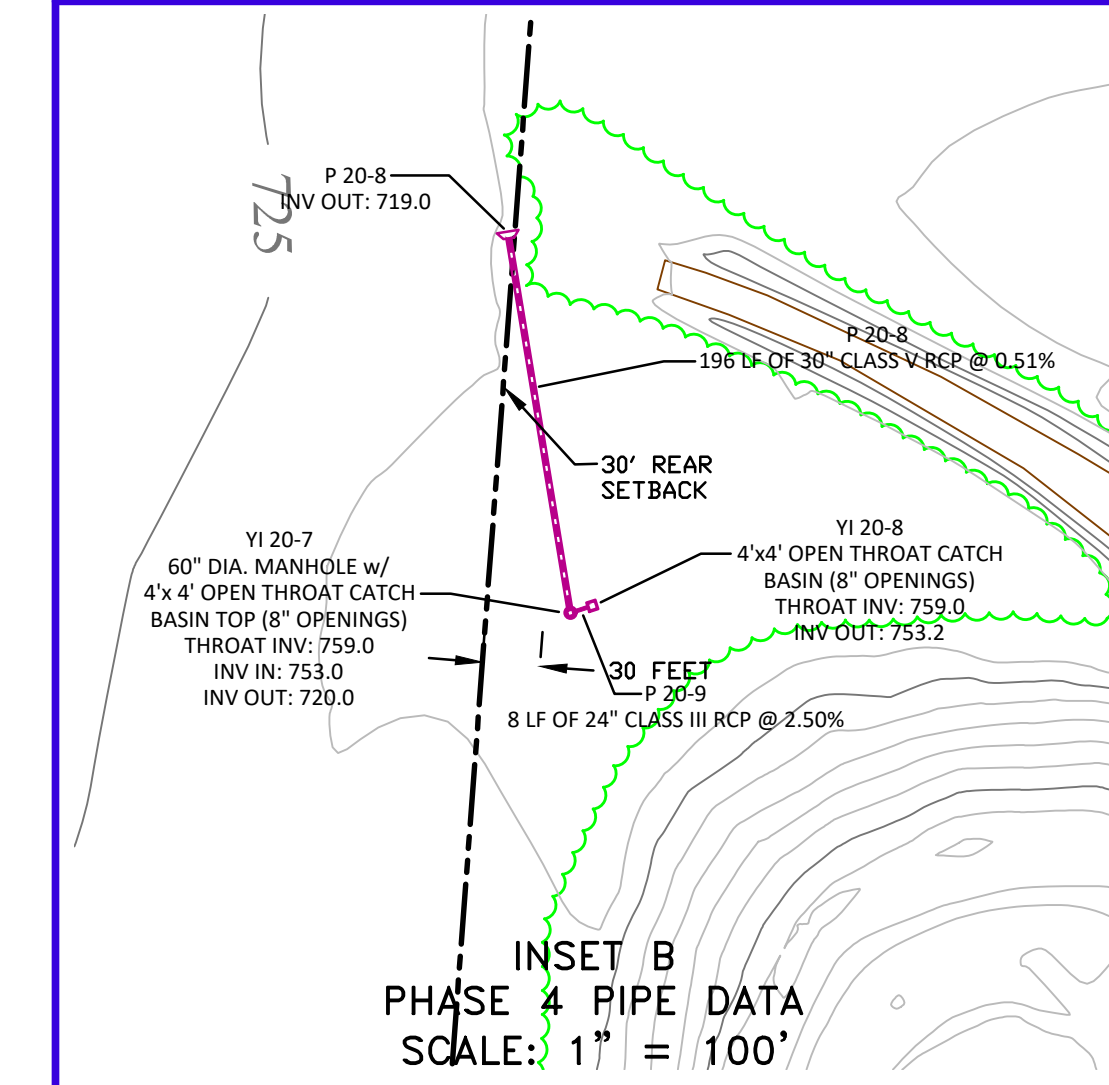
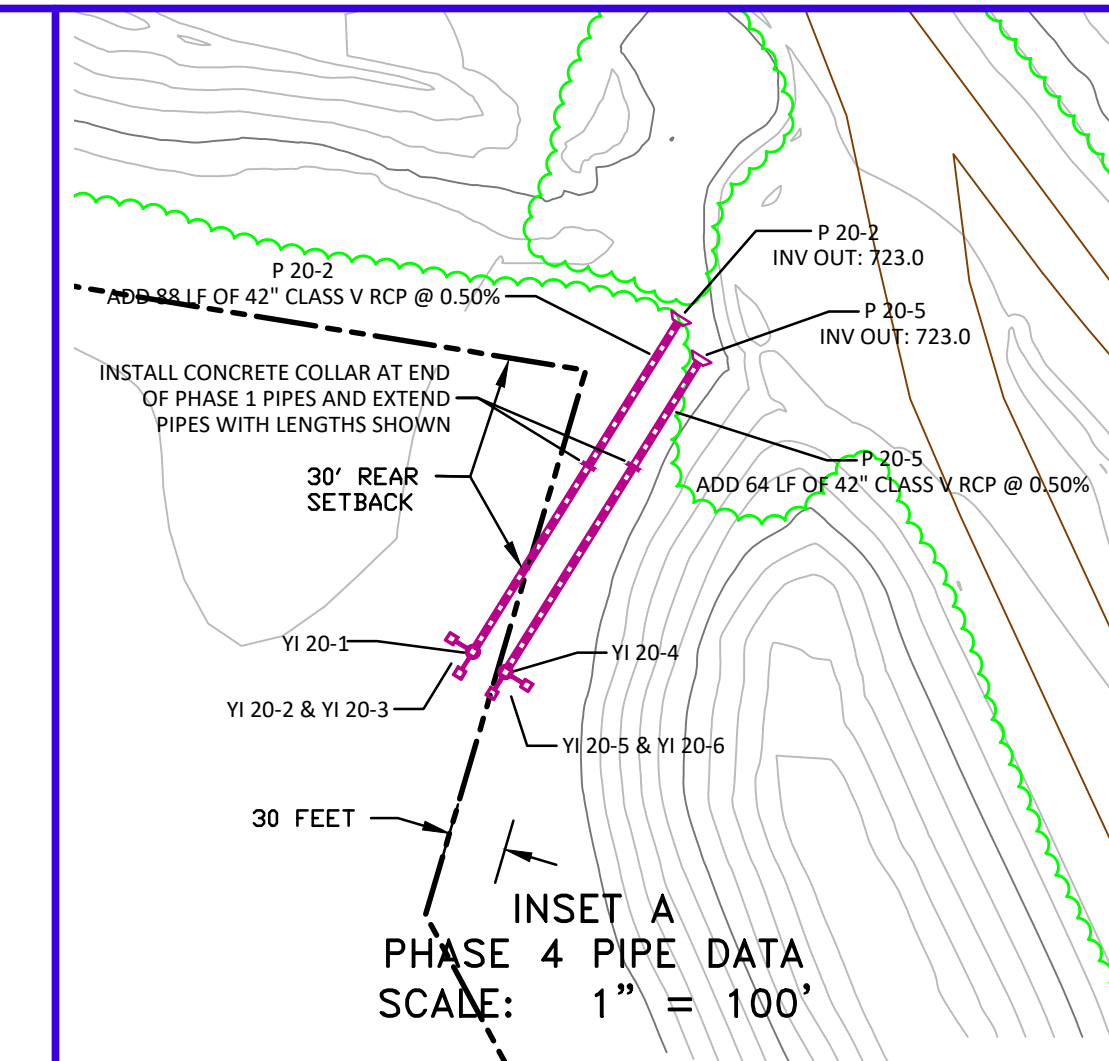
SCALE : 1" = 200'

EROSION CONTROL STRUCTURE LEGEND

- SEDIMENT BASIN
 - RISER SEDIMENT BASIN
 - TEMPORARY DIVERSION DITCH
 - SILT FENCE
- NOTE: OTHER SYMBOLS MAY BE USED TO DELINEATE EROSION CONTROL MEASURES. REFER TO SITE NOTES.



DWG NO.: 11526 GOLD HILL QUARRY CABAR SHAFER REZONING.DWG



WESTERN MATERIAL STORAGE AREA - PHASE 4 CONSTRUCTION SEQUENCE

1. BEGIN TIMBERING IN PHASE 3. ONLY REMOVE TIMBER FROM THE PHASE 3 LIMITS. AREA 5 WILL REMAIN WOODED. LEAVE STUMPS IN PLACE UNTIL EROSION CONTROL MEASURES ARE INSTALLED. ACCESS FOR TIMBERING EQUIPMENT AND LOGGING TRUCKS WILL BE THROUGH THE MINE SITE. THE ACCESS ROAD ON GOLD HILL ROAD EAST WILL NOT BE USED FOR THIS PHASE.
2. CLEAR ENOUGH AREA TO INSTALL THE EROSION CONTROL MEASURES IN PHASE 4.
3. INSTALL ROCK DAM RD-20 AND DIVERSION CHANNEL 20-3. INSTALL A PERMANENT GROUND COVER IN DIVERSION CHANNEL 20-3.
4. CLEAR THE REST OF THE AREA WHERE MATERIAL WILL BE PLACED DURING PHASE 4. TIMBER REMOVAL WILL BE LIMITED TO THIS PHASE. AREA 5 WILL REMAIN WOODED.
5. INSTALL SILT FENCE BELOW THE SEDIMENT BASINS IN PHASE 3. FILL RSB 20-3 AND RSB 20-4 AND REMOVE THE TEMPORARY DIVERSION CHANNELS IN THIS AREA. STABILIZE THE DISTURBED AREAS WITH A GROUND COVER. INSTALL LEYLAND CYPRESS TREES ON THE TOP OF THE FILL SLOPE FOR THE LENGTH OF THE NEWLY CONSTRUCTED EMBANKMENT IN PHASE 3.
6. BEGIN PLACING MATERIAL IN THE STORAGE AREA. PLACE MATERIAL ALONG THE WESTERN EDGE TO CONSTRUCT THE EXTERIOR SLOPES AS SOON AS POSSIBLE. ENSURE THAT ALL DISTURBED AREAS DRAIN TOWARDS THE PIT. MAINTAIN A HIGHWALL BARRIER ALONG THE TOP OF SLOPES AT ALL TIMES.
7. BRING THE WESTERN EDGE OF THE MATERIAL STORAGE AREA TO GRADE AND INSTALL THE TERRACE AND SLOPE DRAINS. WATTLES ARE TO BE INSTALLED AT THE INLET OF ALL SLOPE DRAINS AND A PLUNGE POOL WILL BE INSTALLED AT THE OUTLET OF ALL SLOPE DRAINS. SEED AND STABILIZE THE EXTERIOR SLOPES BELOW THIS ELEVATION. INSTALL A NORTH AMERICAN GREEN S150BN CHANNEL LINER IN THE BENCH CHANNELS. DISTURBED AREAS IN THE STORAGE AREAS ARE TO BE DIVERTED TO DRAIN AWAY FROM THE SLOPE AND TOWARDS THE PIT AT ALL TIMES.
8. ONCE THE SLOPE ABOVE THE TERRACE HAS BEEN CONSTRUCTED, COMPLETE GRADING OF THE WESTERN SLOPE AND PROVIDE A GROUND COVER ON THE EXTERIOR SLOPES.
9. EXTEND PIPES 20-2 AND 20-5 AND BACKFILL WHILE STORAGE MATERIAL IS BEING PLACED IN THIS AREA. BRING THE AREA BETWEEN THE EXISTING STORAGE BERM AND YI 20-3 (INSTALLED IN PHASE 1) TO GRADE.
10. ONCE THE MATERIAL STORAGE PLACEMENT BEGINS IN THE NORTHERN END OF PHASE FOUR, INSTALL PIPE 20-8 AND MANHOLE YI 20-1. INSTALL THE MANHOLE IN SECTIONS AND USE THE OPEN MANHOLES FOR INLET DRAINS. INSTALL A STORAGE AREA AROUND THE INLET AND INSTALL A TEMPORARY TRASH RACK. ONCE THE AREAS SURROUNDING THE MANHOLE HAS BEEN FILLED, INSTALL ANOTHER SECTION OF THE MANHOLE RISER. SEE THE INLET SUMP DETAIL ON SHEET 8.
11. CONTINUE TO PLACE MATERIAL IN THE STORAGE AREA. ENSURE THAT ALL DISTURBED AREAS DRAIN TOWARDS DIVERSION CHANNEL 20-3, ROCK DAM RD 20-1, INLET YI 20-1 OR THE INLETS INSTALLED DURING PHASE 1.
12. AS THE MATERIAL STORAGE AREA IS BEING BROUGHT TO GRADE, INSTALL YI 20-2 AND PIPE P-9. INSTALL THE OPEN TOP CATCH BASINS INLETS ON THE MANHOLES.
13. SEED AND STABILIZE AREAS AS THEY ARE BROUGHT TO GRADE. PROVIDE A TEMPORARY GROUND COVER ON EXTERIOR SLOPES AND INACTIVE HILL AREAS EVERY SPRING AND FALL.
14. KEEP ALL DISTURBED AREAS DRAINING INTO THE PIT AT ALL TIMES.
15. INSTALL HIGH WALL BARRIERS ALONG THE TOP OF THE SLOPE AS THE FILL IS BEING PLACED.
16. MONITOR ALL EROSION CONTROL MEASURES AFTER EACH RAINFALL. REMOVE ACCUMULATED SEDIMENT, AND REPAIR AND DAMAGE TO THE SEDIMENT BASINS, DIVERSION BERM, DITCHES, AND SILT FENCE.
17. ONCE THE MATERIAL STORAGE AREA HAS BEEN FILLED TO THE PHASE LIMITS, STABILIZE THE REMAINING SLOPES AND FILL AREA PER THE RECLAMATION DETAIL AND SEEDING SPECIFICATIONS.
18. ONCE STABILIZATION OF THE MATERIAL STORAGE AREA IS COMPLETED, ROCK DAM RD 20-1 MAY BE REMOVED. STABILIZE ANY DISTURBED AREAS.

COMPILED BY:

 www.tuckmapping.com
 DATE OF PHOTOGRAPHY :
 3/20/20
 THIS MAP MEETS OR EXCEEDS NATIONAL MAP ACCURACY STANDARDS FOR 1"=200', WITH A 5' CONTOUR INTERVAL, EXCLUDING AREAS MAPPED OUTSIDE OF EXISTING GROUND CONTROL OR IN DENSE TREE AREAS.
 THE TOPOGRAPHIC MAP WAS ORIGINALLY ISSUED AND SEALED BY ROBERT H. TUCK, L-4122, ON 4-19-20.
 PORTIONS OF THIS MAP HAVE BEEN COMPILED OUTSIDE THE LIMITS OF CONTROL AND THEREFORE DO NOT MEET THE NATIONAL MAP ACCURACY STANDARDS.
 HORIZONTAL DATUM: NORTH CAROLINA, NAD83, USFT
 VERTICAL DATUM: NAVD88, GEOID 1999
 CONTOURS IN TREE AREAS ARE APPROXIMATE
 COMBINED FACTOR:
 Grid to Ground = 0.9998459
 Ground to Grid = 1.0001541

MINE LEGEND

VULCAN LANDS INC PROPERTY LINE	
ADJACENT PROPERTY LINE	
100' UNDISTURBED CLEARING LIMITS	
CABARRUS CO. ZONING BUILDING SETBACK	
WATERBODY BUFFER ZONE BUFFER	
WATERBODY BUFFER ZONE NO BUILD BUFFER	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
PROPOSED 100' PERIMETER LANDSCAPE BUFFER YARD	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
AREA 5	
STREET YARD LANDSCAPED BUFFER	

MAPPING LEGEND

HORIZONTAL CONTROL POINT	
VERTICAL CONTROL POINT	
INDEX CONTOUR	
INTERMEDIATE CONTOUR	
SPOT ELEVATION	
WATER	
PAVED ROAD	
DIRT ROAD	
BUILDING	
LOCATED OBJECT	
FENCE	
TREES	
PIPE	
POLE	
TOWER	

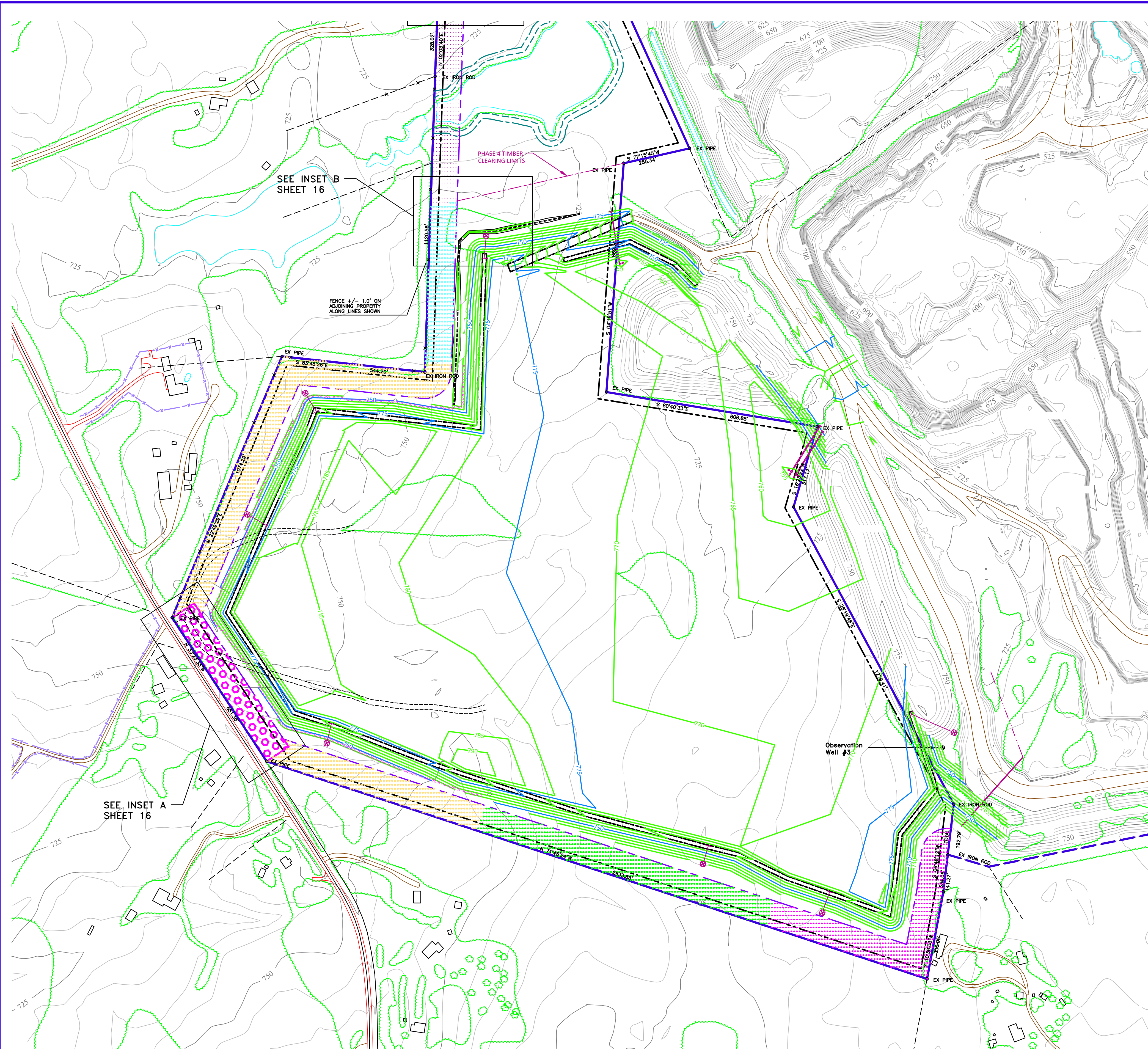
Documented by:
 W. Wesley Webb
 3A00050684648
 6-1-21

alley, williams, carmen, & king, inc.
 CONSULTING ENGINEERS
 FIRM LICENSE No. F-0203
 120 SOUTH MAIN STREET P.O. BOX 1248
 KANNAPOLIS, NC 28082 704/938-1515

2020 CONDITIONAL USE REZONING REQUEST
 GOLD HILL QUARRY
 VULCAN MATERIALS COMPANY
 5300 GOLD HILL RD E., GOLD HILL, NC 28071

SCALE	DATE
VARIABLES	12-18-20
PROFILE	DRAWN BY: RCC
VERT.	CHECKED BY: GWV
	DWG No.:

JOB NO. 11526
 SHEET NO. 13
 OF 21

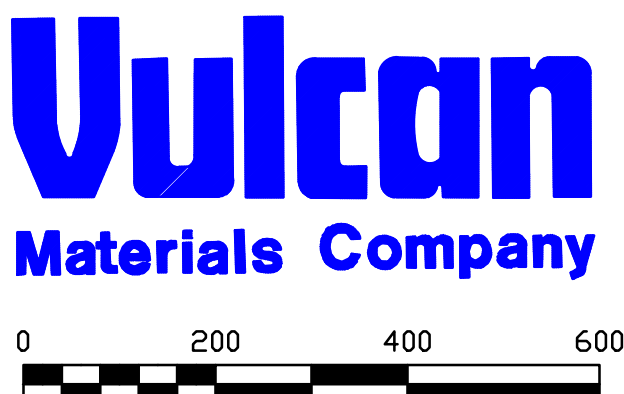


PHASED CONSTRUCTION NOTES:
 1. THE GRADING SHOWN ON THIS SHEET REFLECTS THE FINAL SITE DEVELOPMENT OF PHASES 1, 2, 3 AND 4 OF THE QUARRY MATERIAL STORAGE EXPANSION AREA. SEE NOTE NO. 4 ON SHEET 2 FOR BUFFER NOTES.

EROSION CONTROL STRUCTURE LEGEND

SEDIMENT BASIN	
RISER SEDIMENT BASIN	
TEMPORARY DIVERSION DITCH	
SILT FENCE	

NOTE: OTHER SYMBOLS MAY BE USED TO DELINEATE EROSION CONTROL MEASURES. REFER TO SITE NOTES.



COMPILED BY:



DATE OF PHOTOGRAPHY :
3/20/20

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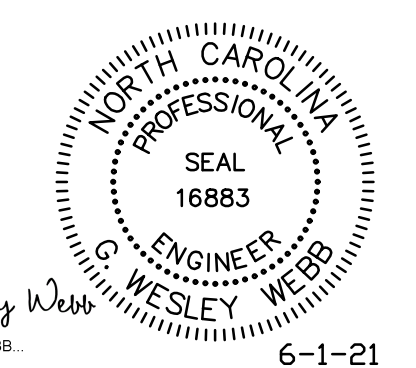
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 HORIZONTAL DATUM: NORTH CAROLINA, NAD83, USFT
 VERTICAL DATUM: NAVD88, GEOID 1999
 CONTOURS IN TREET AREAS ARE APPROXIMATE
 COMBINED FACTOR:
 Grid to Ground = 0.9998459
 Ground to Grid = 1.0001541

MINE LEGEND

VULCAN LANDS INC PROPERTY LINE	
ADJACENT PROPERTY LINE	
100' UNDISTURBED CLEARING LIMITS	
CABARRUS CO. ZONING BUILDING SETBACK	
WATERBODY BUFFER ZONE BUFFER	
WATERBODY BUFFER ZONE NO BUILD BUFFER	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
PROPOSED 100' PERIMETER LANDSCAPE BUFFER YARD	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
AREA 5	
STREET YARD LANDSCAPED BUFFER	

MAPPING LEGEND

HORIZONTAL CONTROL POINT	
VERTICAL CONTROL POINT	
INDEX CONTOUR	
INTERMEDIATE CONTOUR	
SPOT ELEVATION	
WATER	
PAVED ROAD	
DIRT ROAD	
BUILDING	
LOCATED OBJECT	
FENCE	
TREES	
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TOWER	



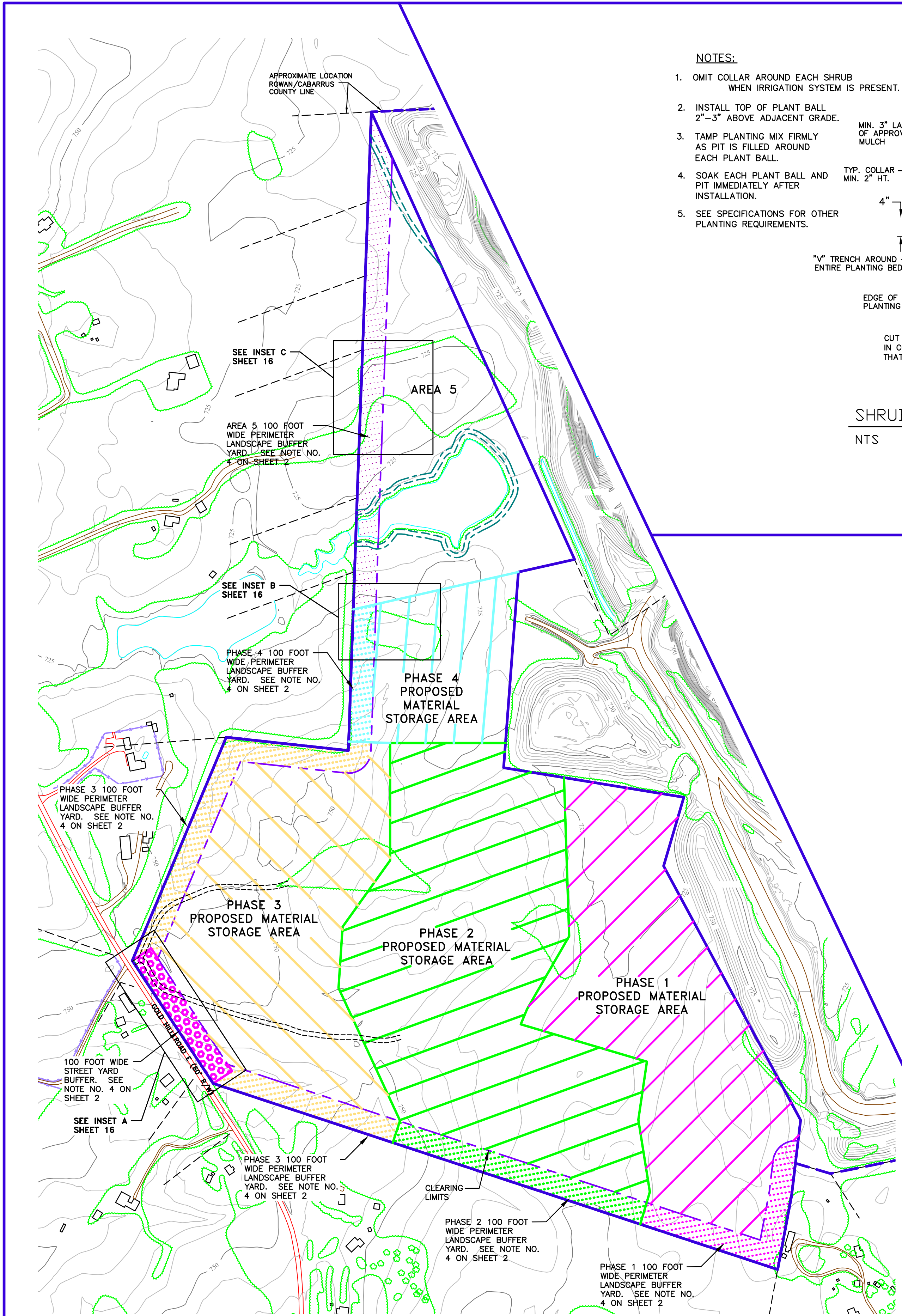
REV#1 PER CABARRUS COUNTY 3-23-21
 REV#2 PER COMMUNITY MEETING 5-18-21
 REV#3 CLARIFIED CLEARING LIMITS 6-1-21

awck alley, williams, carmen, & king, inc.
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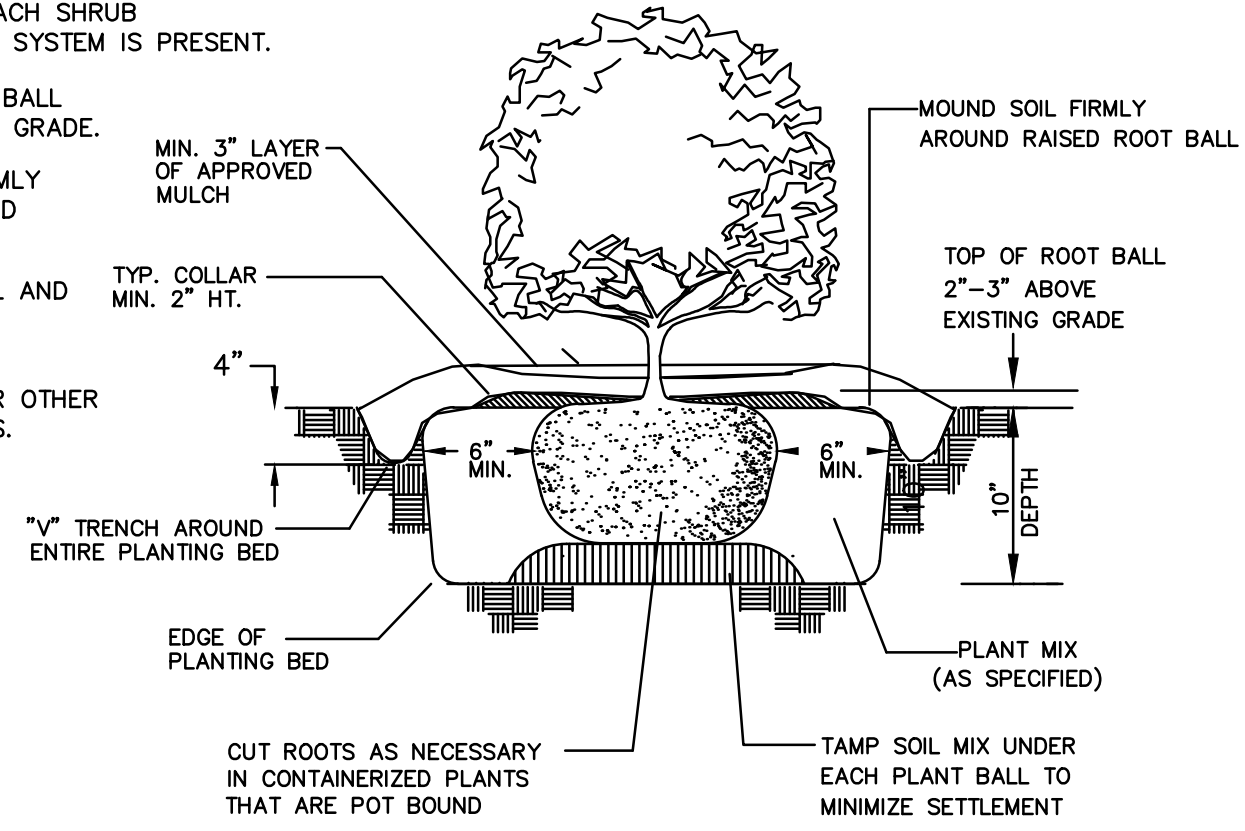
2020 CONDITIONAL USE REZONING REQUEST
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 5300 GOLD HILL RD E., GOLD HILL, NC 28071

SCALE	DATE
1" = 200'	12-18-20
PROFILE	DRAWN BY: RCC
VERT.	CHECKED BY: GWV
	DWG No.:

JOB NO. 11526
 SHEET NO. 14
 OF 21

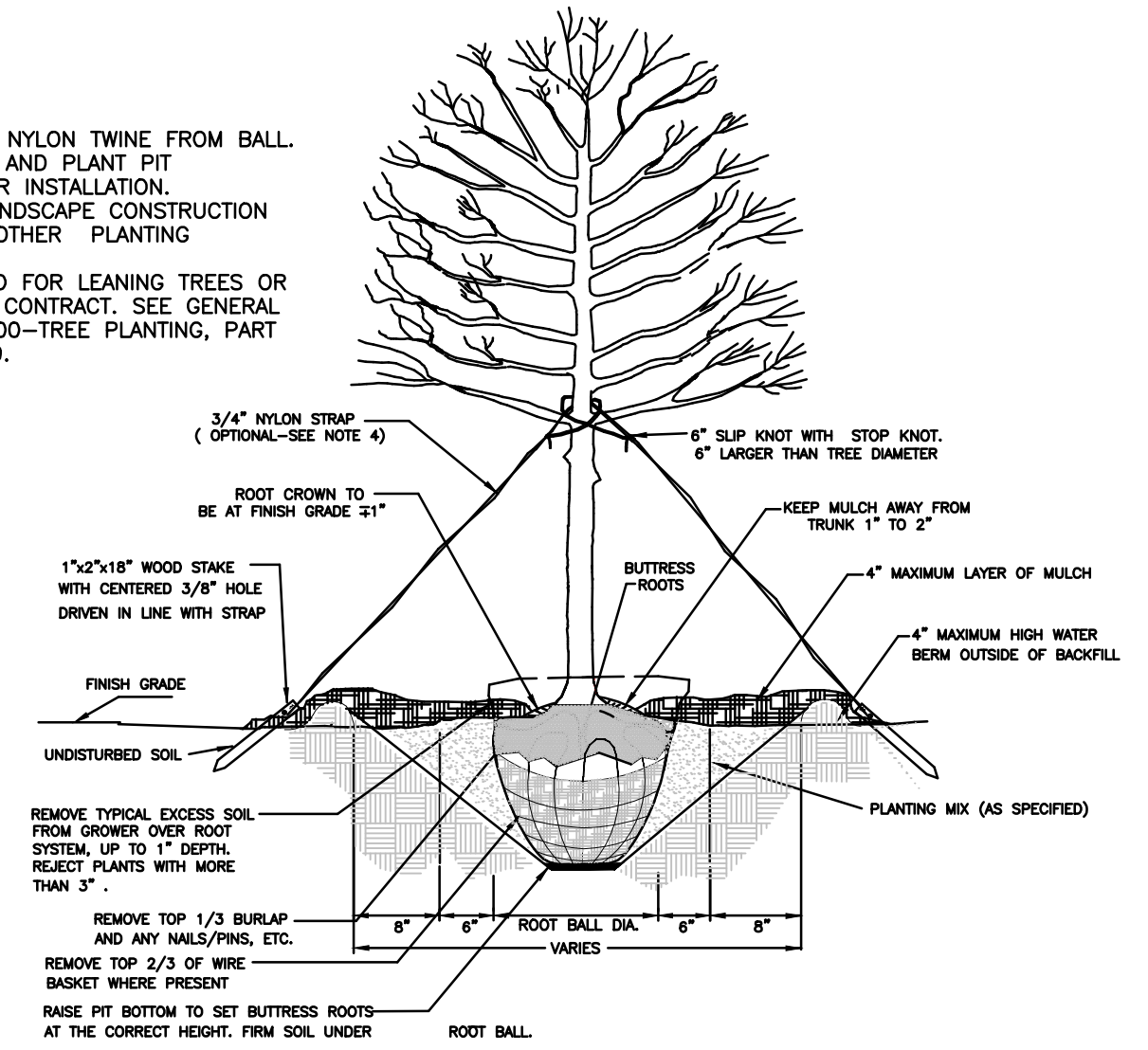


- NOTES:**
1. OMIT COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
 2. INSTALL TOP OF PLANT BALL 2"-3" ABOVE ADJACENT GRADE.
 3. TAMP PLANTING MIX FIRMLY AS PIT IS FILLED AROUND EACH PLANT BALL.
 4. SOAK EACH PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.
 5. SEE SPECIFICATIONS FOR OTHER PLANTING REQUIREMENTS.



SHRUB PLANTING DETAIL
NTS

- NOTES:**
1. REMOVE WIRE OR NYLON TWINE FROM BALL.
 2. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
 3. SEE ATTACHED LANDSCAPE CONSTRUCTION STANDARDS FOR OTHER PLANTING REQUIREMENTS.
 4. STAKING REQUIRED FOR LEANING TREES OR AS REQUIRED BY CONTRACT. SEE GENERAL NOTES: SEC. 04100-TREE PLANTING, PART 3 PARAGRAPH B.9.



TREE PLANTING
NTS

GOLD HILL QUARRY
CABARRUS COUNTY

REVEGETATION PLAN
SPRING - FALL - WINTER SEED MIXES

SPRING RATE MARCH - JUNE

Rye Grain	15 - 20 lbs. per acre
Tall Fescue	40 - 80 lbs. per acre
Switchgrass	8 lbs. per acre
Va 70 Shrub Lespedeza	20 lbs. per acre
Secicea Lespedeza	15 - 20 lbs. per acre
Dr Red Clover	8 - 14 lbs. per acre
Hulled Common Bermuda Grass	4 lbs. per acre
Dr Weeping Love Grass	2 - 4 lbs. per acre

FALL RATE (MID) AUGUST - OCTOBER

Rye Grain	40 lbs. per acre
Tall Fescue	80 lbs. per acre
Secicea Lespedeza (Unscarified)	40 lbs. per acre
Drchard Grass	30 lbs. per acre
White Clover	5 lbs. per acre

WINTER RATE NOVEMBER - FEBRUARY

Rye Grain	40 lbs. per acre
Unhulled Bermuda Grass	10 lbs. per acre
Unscarified Secicea Lespedeza	30 lbs. per acre
Tall Fescue	80 lbs. per acre

FERTILIZER ALL SEASONS

10 - 20 - 20	1500 lbs. per acre
Lime	4000 lbs. per acre
Mulch	70 bales per acre

Mulch to be anchored by one of the following methods:

1. Crimping with mulch anchoring tool; or
2. Tack with asphalt emulsion - 400 gal. per acre or
3. 1500 pounds/acre fiber mulch

PLAN MATERIAL SPECIFICATIONS

11.8.1. SIZE STANDARDS
THE MINIMUM ALLOWABLE PLANT FOR NEW INSTALLATIONS SHALL BE AS SET FORTH HEREIN. DUE TO THE VARIATIONS BETWEEN GENUS AND SPECIES, THE CALIPER OR HEIGHT NECESSARY FOR NEWLY INSTALLED PLANT MATERIALS MAY VARY. AS A GENERAL RULE, THE CALIPER OR DIAMETER OF TREES SHALL BE MEASURED 6 INCHES FROM THE GROUND LEVEL UP TO A 4 INCH CALIPER DIAMETER AND AT 12 INCHES FOR A 4 INCH CALIPER DIAMETER OR GREATER. THE HEIGHT OF SHRUBS SHALL BE A MINIMUM OF 24 INCHES AS MEASURED AT GROUND LEVEL TO THE TOP OF THE DENSEST PORTION OF THE TOP OF THE SHRUB OR HEDGE.

A. SHADE TREES
SHADE TREES SHALL MEASURE A MINIMUM 2 TO 2.5 INCH IN CALIPER AND 10 TO 12 FEET IN HEIGHT AT THE TIME OF PLANTING.

B. ORNAMENTAL TREES
ORNAMENTAL TREES SHALL MEASURE A MINIMUM 1.5 TO 2 INCHES IN CALIPER FOR SINGLE-STEM TREES OR 1 TO 1.5 INCHES IN CALIPER FOR MULTI-STEM TREES, AND 6 TO 8 FEET IN HEIGHT.

C. LARGE SHRUBS
LARGE SHRUBS, NORMALLY PLANTED FOR SCREENING, SHALL MEASURE A MINIMUM OF 3 TO 3 1/2 FEET IN HEIGHT AT THE TIME OF PLANTING.

D. SMALL SHRUBS
SMALL SHRUBS SHALL MEASURE A MINIMUM OF 18 TO 24 INCHES IN SPREAD AND/OR HEIGHT AT THE TIME OF PLANTING. A MIX OF DECIDUOUS AND EVERGREEN SHRUBS IS ENCOURAGED IN ORDER TO OBTAIN A VARIETY OF COLOR AND TEXTURE THROUGHOUT THE YEAR.

E. GROUND COVER (ORGANIC)
ORGANIC GROUND COVERS SHALL PROVIDE 100% COVERAGE ON THE GROUND WITHIN THREE (3) YEARS FROM THE DATE OF INSTALLATION. EXCEPT FOR SEEDING, GRASS OR TURF SHALL PROVIDE 100% COVERAGE UPON INSTALLATION. ORGANIC MULCH MAY BE USED AROUND PLANTINGS TO MAINTAIN SOIL MOISTURE AND PREVENT THE GROWTH OF WEEDS.

F. GROUND COVER (INORGANIC)
INORGANIC GROUND COVERS CONSISTING OF RIVER ROCK OR SIMILAR MATERIALS MAY BE USED PROVIDED THEY DO NOT EXCEED 20% COVERAGE OF THE REQUIRED LANDSCAPE PLANTING AREA.

11.8.2. SELECTION OF PLANT MATERIALS
ALL PLANT MATERIAL EXCEPT GROUND COVERS SHALL BE SELECTED FROM TABLE 9.1-1.- ACCEPTABLE PLANT SPECIES. CONSIDERATION SHALL BE GIVEN TO THE ENVIRONMENTAL CONDITIONS OF THE SITE, SUCH AS SOIL, TOPOGRAPHY, CLIMATE, MICROCLIMATE, PATTERN OF SUN MOVEMENT, PREVAILING WINDS AND PRECIPITATION, AND AIR MOVEMENT TO ENSURE THAT PLANT MATERIALS WILL BE ESTABLISHED SUCCESSFULLY. TREE SELECTION FOR STREET YARDS OR OTHER LOCATIONS WITHIN UTILITY RIGHTS-OF-WAYS SHALL CONSIDER THE PRESENCE OR PLANNED ADDITION OF OVERHEAD UTILITY LINES. SUCH TREES SHALL BE SMALL AND MEDIUM TREES THAT ARE PEST- AND DISEASE-RESISTANT AND ARE SLOW GROWING.

A. SUBSTITUTION OF PLANT MATERIALS
THE ADMINISTRATOR SHALL HAVE THE AUTHORITY TO APPROVE THE INSTALLATION OF COMPARABLE SUBSTITUTION MATERIALS TO SATISFY THE REQUIREMENTS OF THE APPROVED LANDSCAPE PLAN WHEN THE APPROVED PLANTS AND LANDSCAPE MATERIALS ARE NOT AVAILABLE AT THE TIME THAT INSTALLATIONS ARE TO OCCUR, OR WHEN OTHER UNFORESEEN CONDITIONS PREVENT THE USE OF THE EXACT MATERIALS SHOWN ON THE APPROVED LANDSCAPE PLAN.

B. MIX OF GENUS AND SPECIES ENCOURAGED
EXCEPT FOR THE STREET YARDS (11.7), A MIX OF GENUS AND SPECIES OF TREES, SHRUBS, GROUND COVERING, PERENNIALS AND ANNUALS IS ENCOURAGED IN ORDER TO AVOID POTENTIAL LOSS DUE TO INFECTIOUS DISEASES, BLIGHT OR INSECT INFESTATION. STREET YARD TREES SHOULD RETAIN A REASONABLY UNIFORM PATTERN ALONG BOTH SIDES OF A STREET WITHIN THE SAME BLOCK OR CORRIDOR.

COMPILED BY:



DATE OF PHOTOGRAPHY :
3/20/20

THIS MAP MEETS OR EXCEEDS NATIONAL MAP ACCURACY STANDARDS FOR 1"=200', WITH A 5' CONTOUR INTERVAL, EXCLUDING AREAS MAPPED OUTSIDE OF EXISTING GROUND CONTROL OR IN DENSE TREE AREAS.

THE TOPOGRAPHIC MAP WAS ORIGINALLY ISSUED AND SEALED BY ROBERT H. TUCK, L-4122, ON 4-19-20. PORTIONS OF THIS MAP HAVE BEEN COMPILED OUTSIDE THE LIMITS OF CONTROL AND THEREFORE DO NOT MEET THE NATIONAL MAP ACCURACY STANDARDS

HORIZONTAL DATUM: NORTH CAROLINA, NAD83, USFT
VERTICAL DATUM: NAVD88, GEOID 1999

CONTOURS IN TREE AREAS ARE APPROXIMATE

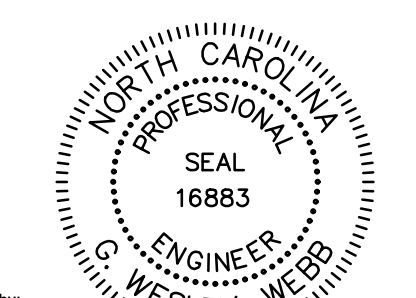
COMBINED FACTOR:
Grid to Ground = 0.9998459
Ground to Grid = 1.0001541

MINE LEGEND

VULCAN LANDS INC PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
100' UNDISTURBED CLEARING LIMITS	---
CABARRUS CO. ZONING BUILDING SETBACK	---
WATERBODY BUFFER ZONE BUFFER	---
WATERBODY BUFFER ZONE NO BUILD BUFFER	---
PHASE 1	---
PHASE 2	---
PHASE 3	---
PHASE 4	---
PROPOSED 100' PERIMETER LANDSCAPE BUFFER YARD	---
PHASE 1	---
PHASE 2	---
PHASE 3	---
PHASE 4	---
AREA 5	---
STREET YARD LANDSCAPED BUFFER	---

MAPPING LEGEND

HORIZONTAL CONTROL POINT	△
VERTICAL CONTROL POINT	○
INDEX CONTOUR	--- 3500 ---
INTERMEDIATE CONTOUR	--- 751.6 ---
SPOT ELEVATION	+ 751.6
WATER	---
PAVED ROAD	---
DIRT ROAD	---
BUILDING	---
LOCATED OBJECT	---
FENCE	---
TREES	---
PIPE	---
POLE	---
TOWER	---



Designed by: Wesley Webb
340000686488 3-23-21

BUFFER YARD NOTES:

1. PERIMETER LANDSCAPE BUFFER YARDS AND THE STREET YARD BUFFER ARE TO BE 100 FEET WIDE AND REMAIN UNDISTURBED, EXCEPT FOR THE PLANTING OF ANY TREES OR SHRUBS REQUIRED FOR SCREENING
2. SEE NOTE NO. 4 ON SHEET TWO FOR A DESCRIPTION OF THE BUFFER REQUIREMENTS.
3. LANDSCAPE PLANTINGS AND LAYOUT DESIGNED BY JEFF YOUNG, RLA

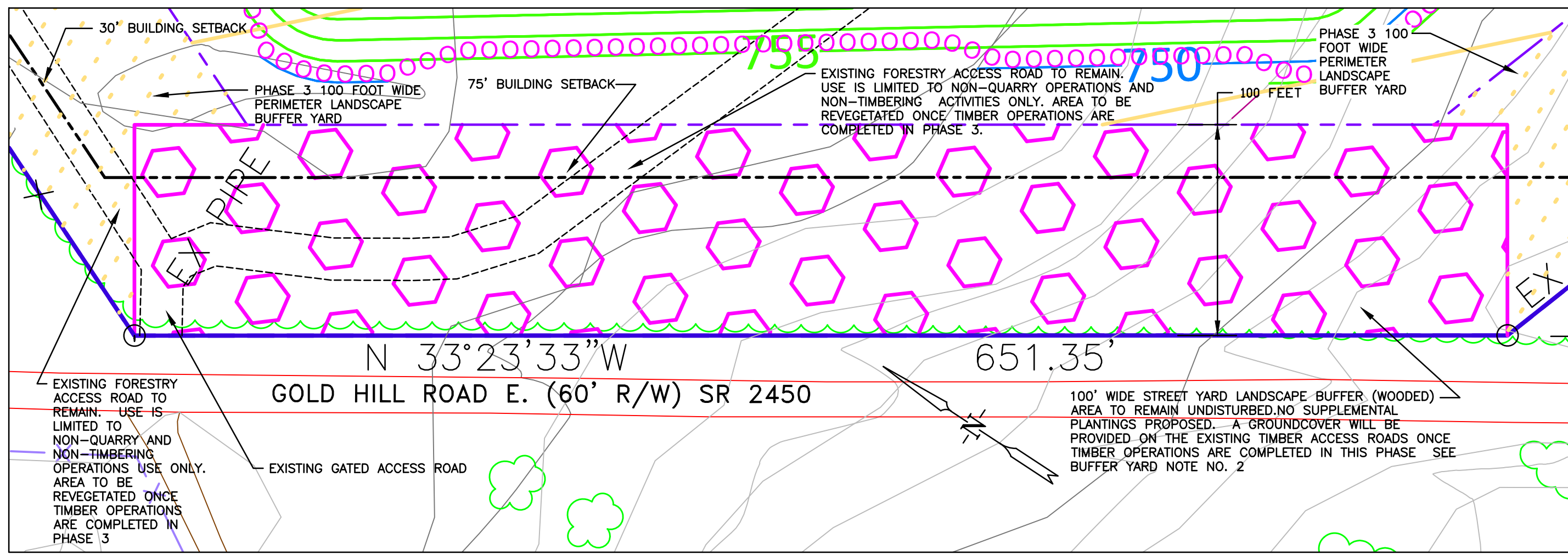


alley, williams, carmen, & king, inc.
CONSULTING ENGINEERS
FIRM LICENSE No. F-0203
120 SOUTH MAIN STREET KANNAPOLIS, NC 28082 P.O. BOX 1248 704/938-1515

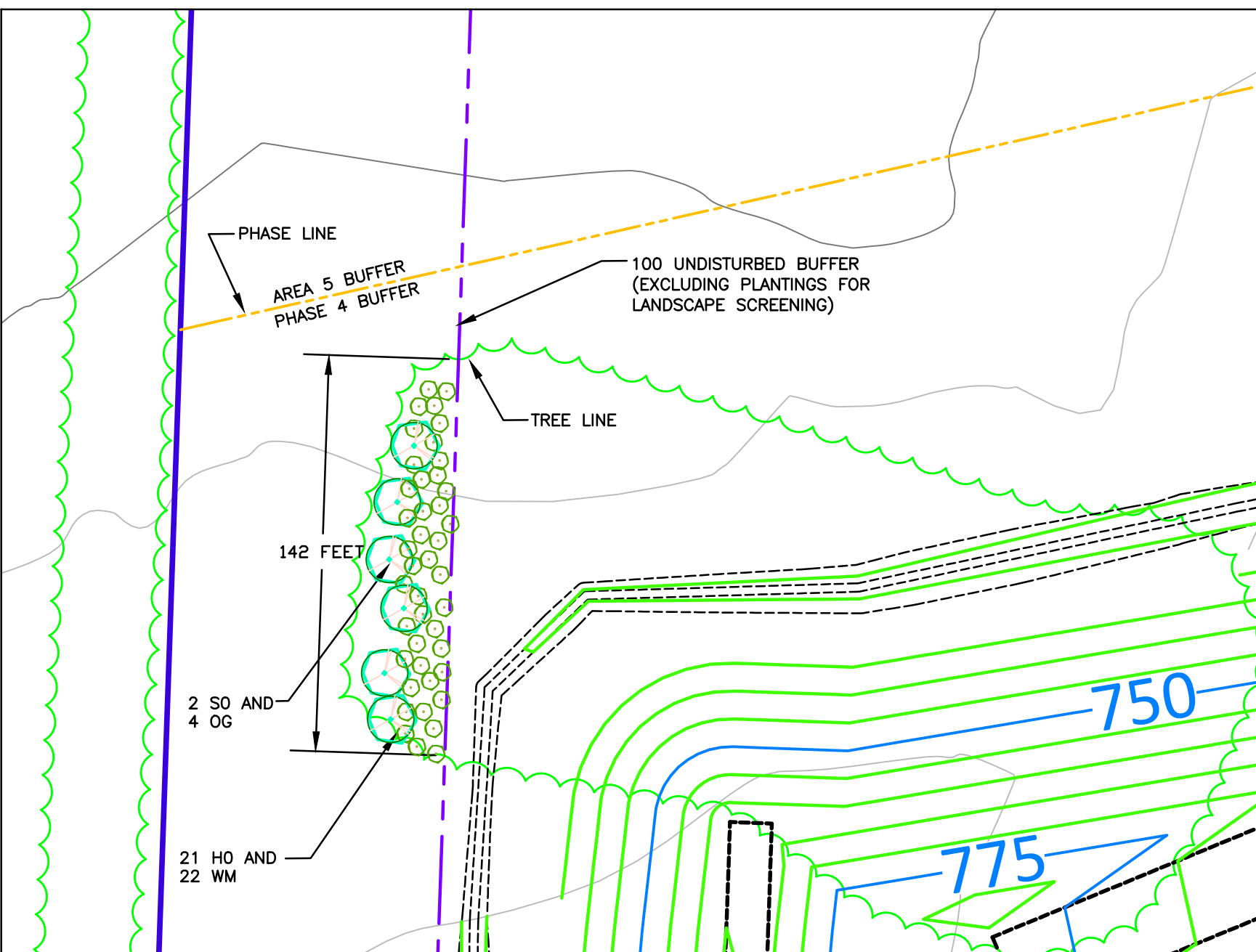
2020 CONDITIONAL USE REZONING REQUEST
GOLD HILL QUARRY
VULCAN MATERIALS COMPANY
5300 GOLD HILL RD E., GOLD HILL, NC 28071

SCALE	DATE	12-18-20
VARIABLES	DRAWN BY:	RCC
PROFILE	CHECKED BY:	GWV
HORZ.	DWG No.:	
VERT.		

JOB NO.	11526
SHEET NO.	15
OF	21

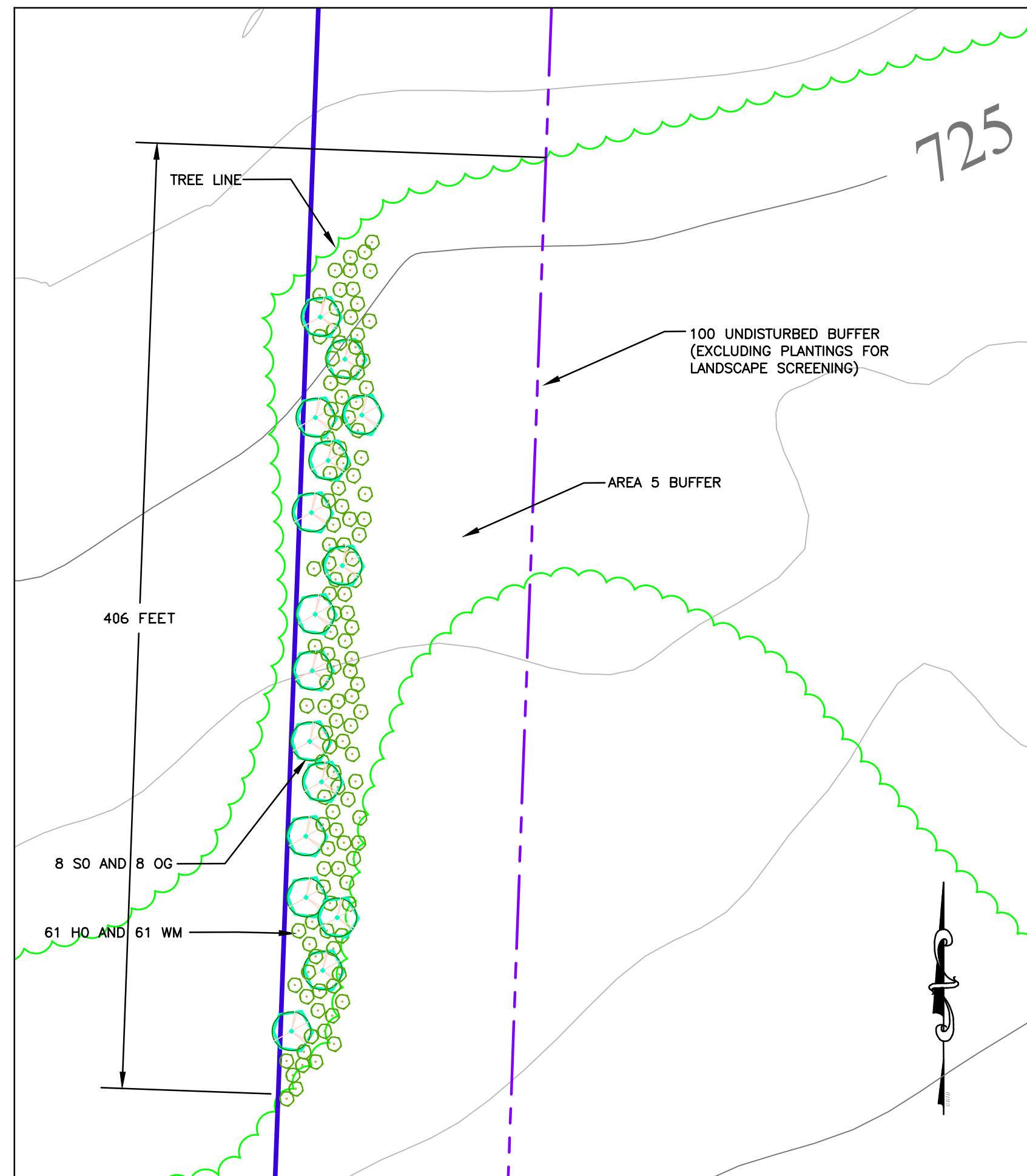


INSET A
PHASE 3 STREETYARD
1' = 50'



INSET B BUFFER YARD PLANTINGS. BUFFER YARD IS 100' WIDE AND 142' LONG
SUPPLEMENTAL PLANTINGS PROPOSED
ADD 2 SHADE TREES PER 50' FOR A TOTAL OF 6 SHADE TREES
ADD 15 SHRUBS PER 50' FOR A TOTAL OF 43 SHRUBS

INSET B
PHASE 4 PLANTINGS
1' = 50'



INSET C BUFFER YARD PLANTINGS. BUFFER YARD IS 100' WIDE AND 406' LONG
SUPPLEMENTAL PLANTINGS PROPOSED
ADD 2 SHADE TREES PER 50' FOR A TOTAL OF 16 SHADE TREES
ADD 15 SHRUBS PER 50' FOR A TOTAL OF 122 SHRUBS

INSET C
AREA 5 PLANTINGS
1' = 50'

Vulcan Lands, Inc. - Gold Hill - Plant List

Key Common Name(Botanical Name)	Min. Size	Quantity
SO Shumard Oak (Quercus shumardii)	3" cal. / 12'-14' ht. / 4'-5' spread	5
OG October Glory Red Maple (Acer rubrum 'October Glory')	3" cal. / 14'-15' ht. / 4'-5' spread	6
HO Holly Osmanthus (Osmanthus heterophyllus)	3 gal. container	82
WM Southern Wax Myrtle (Myrica cerifera)	3 gal. container	83

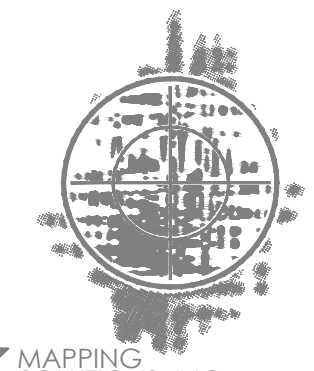
General Notes:

- Mulch all plant beds with pine needles, or small size pine bark to a depth of 2 to 3 inches. Mulch beds around trees in lawn areas extending to a minimum radius of 4 feet from the tree trunk. Plant beds around shrubs shall extend a minimum of 1 foot beyond the spread of the shrubs.
- Irrigate regularly, but do not overwater.
- Conduct soil tests to determine soil amendment needs.
- Till all plant beds incorporating compost 6 to 8 inches deep into. Dig tree and shrub pits 2x as wide root ball.
- Adjustment of pH may be necessary to get soil pH to around 6.5.
- Plant beds should be built up 6" to 8" above grade.
- Shrubs shall be 2'-6" to 3' height at planting.
- Space, mix and arrange shrubs in a naturalistic manner to grow into a visual screen. minimum spacing between shrubs should be no less than 5'. Maximum spacing of shrubs to the next nearest shrub should be no more than 7'.

PLANT MATERIAL SPECIFICATIONS

- 11.8.1. SIZE STANDARDS
THE MINIMUM ALLOWABLE PLANT FOR NEW INSTALLATIONS SHALL BE AS SET FORTH HEREIN. DUE TO THE VARIATIONS BETWEEN GENUS AND SPECIES, THE CALIPER OR HEIGHT NECESSARY FOR NEWLY INSTALLED PLANT MATERIALS MAY VARY. AS A GENERAL RULE, THE CALIPER OR DIAMETER OF TREES SHALL BE MEASURED 6 INCHES FROM THE GROUND LEVEL UP TO A 4 INCH CALIPER DIAMETER AND AT 12 INCHES FOR A 4 INCH CALIPER DIAMETER OR GREATER. THE HEIGHT OF SHRUBS SHALL BE A MINIMUM OF 24 INCHES AS MEASURED AT GROUND LEVEL TO THE TOP OF THE DENSEST PORTION OF THE TOP OF THE SHRUB OR HEDGE.
- A. SHADE TREES
SHADE TREES SHALL MEASURE A MINIMUM 2 TO 2.5 INCH IN CALIPER AND 10 TO 12 FEET IN HEIGHT AT THE TIME OF PLANTING.
- B. ORNAMENTAL TREES
ORNAMENTAL TREES SHALL MEASURE A MINIMUM 1.5 TO 2 INCHES IN CALIPER FOR SINGLE-STEM TREES OR 1 TO 1.5 INCHES IN CALIPER FOR MULTI-STEM TREES, AND 6 TO 8 FEET IN HEIGHT.
- C. LARGE SHRUBS
LARGE SHRUBS, NORMALLY PLANTED FOR SCREENING, SHALL MEASURE A MINIMUM OF 3 TO 3 1/2 FEET IN HEIGHT AT THE TIME OF PLANTING.
- D. SMALL SHRUBS
SMALL SHRUBS SHALL MEASURE A MINIMUM OF 18 TO 24 INCHES IN SPREAD AND/OR HEIGHT AT THE TIME OF PLANTING. A MIX OF DECIDUOUS AND EVERGREEN SHRUBS IS ENCOURAGED IN ORDER TO OBTAIN A VARIETY OF COLOR AND TEXTURE THROUGHOUT THE YEAR.
- E. GROUND COVER (ORGANIC)
ORGANIC GROUND COVERS SHALL PROVIDE 100% COVERAGE ON THE GROUND WITHIN THREE (3) YEARS FROM THE DATE OF INSTALLATION. EXCEPT FOR SEEDING, GRASS OR TURF SHALL PROVIDE 100% COVERAGE UPON INSTALLATION. ORGANIC MULCH MAY BE USED AROUND PLANTINGS TO MAINTAIN SOIL MOISTURE AND PREVENT THE GROWTH OF WEEDS.
- F. GROUND COVER (INORGANIC)
INORGANIC GROUND COVERS CONSISTING OF RIVER ROCK OR SIMILAR MATERIALS MAY BE USED PROVIDED THEY DO NOT EXCEED 20% COVERAGE OF THE REQUIRED LANDSCAPE PLANTING AREA.
- 11.8.2. SELECTION OF PLANT MATERIALS
ALL PLANT MATERIAL EXCEPT GROUND COVERS SHALL BE SELECTED FROM TABLE 9.1-1 - ACCEPTABLE PLANT SPECIES. CONSIDERATION SHALL BE GIVEN TO THE ENVIRONMENTAL CONDITIONS OF THE SITE, SUCH AS SOIL, TOPOGRAPHY, CLIMATE, MICROCLIMATE, PATTERN OF SUN MOVEMENT, PREVAILING WINDS AND PRECIPITATION, AND AIR MOVEMENT TO ENSURE THAT PLANT MATERIALS WILL BE ESTABLISHED SUCCESSFULLY. TREE SELECTION FOR STREET YARDS OR OTHER LOCATIONS WITHIN UTILITY RIGHTS-OF-WAYS SHALL CONSIDER THE PRESENCE OR PLANNED ADDITION OF OVERHEAD UTILITY LINES. SUCH TREES SHALL BE SMALL AND MEDIUM TREES THAT ARE PEST- AND DISEASE-RESISTANT AND ARE SLOW GROWING.
- A. SUBSTITUTION OF PLANT MATERIALS
THE ADMINISTRATOR SHALL HAVE THE AUTHORITY TO APPROVE THE INSTALLATION OF COMPARABLE SUBSTITUTION PLANTS MATERIALS TO SATISFY THE REQUIREMENTS OF THE APPROVED LANDSCAPE PLAN WHEN THE APPROVED PLANTS AND LANDSCAPE MATERIALS ARE NOT AVAILABLE AT THE TIME THAT INSTALLATIONS ARE TO OCCUR, OR WHEN OTHER UNFORESEEN CONDITIONS PREVENT THE USE OF THE EXACT MATERIALS SHOWN ON THE APPROVED LANDSCAPE PLAN.
- B. MIX OF GENUS AND SPECIES ENCOURAGED
EXCEPT FOR THE STREET YARDS (11.7), A MIX OF GENUS AND SPECIES OF TREES, SHRUBS, GROUND COVERING, PERENNIALS AND ANNUALS IS ENCOURAGED IN ORDER TO AVOID POTENTIAL LOSS DUE TO INFECTIOUS DISEASES, BLIGHT OR INSECT INFESTATION. STREET YARD TREES SHOULD RETAIN A REASONABLY UNIFORM PATTERN ALONG BOTH SIDES OF A STREET WITHIN THE SAME BLOCK OR CORRIDOR.

COMPILED BY:



tuck MAPPING SOLUTIONS, INC.
www.tuckmapping.com

DATE OF PHOTOGRAPHY :

3/20/20

THIS MAP MEETS OR EXCEEDS NATIONAL MAP ACCURACY STANDARDS FOR 1"=200', WITH A 5' CONTOUR INTERVAL, EXCLUDING AREAS MAPPED OUTSIDE OF EXISTING GROUND CONTROL OR IN DENSE TREE AREAS.

THE TOPOGRAPHIC MAP WAS ORIGINALLY ISSUED AND SEALED BY ROBERT H. TUCK, L-4122, ON 4-19-20. PORTIONS OF THIS MAP HAVE BEEN COMPILED OUTSIDE THE LIMITS OF CONTROL AND THEREFORE DO NOT MEET THE NATIONAL MAP ACCURACY STANDARDS

HORIZONTAL DATUM: NORTH CAROLINA, NAD83, USFT
VERTICAL DATUM: NAVD88, GEOID 1999

CONTOURS IN TREE AREAS ARE APPROXIMATE

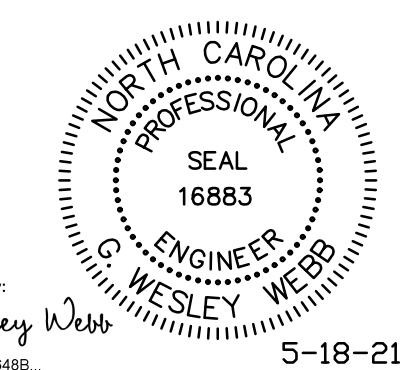
COMBINED FACTOR:
Grid to Ground = 0.9998459
Ground to Grid = 1.0001541

MINE LEGEND

VULCAN LANDS INC PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
100' UNDISTURBED CLEARING LIMITS	---
CABARRUS CO. ZONING BUILDING SETBACK	---
WATERBODY BUFFER ZONE BUFFER	---
WATERBODY BUFFER ZONE NO BUILD BUFFER	---
PHASE 1	---
PHASE 2	---
PHASE 3	---
PHASE 4	---
PROPOSED 100' PERIMETER LANDSCAPE BUFFER YARD	---
PHASE 1	---
PHASE 2	---
PHASE 3	---
PHASE 4	---
AREA 5	---
STREET YARD LANDSCAPED BUFFER	---

MAPPING LEGEND

HORIZONTAL CONTROL POINT	△
VERTICAL CONTROL POINT	○
INDEX CONTOUR	3500
INTERMEDIATE CONTOUR	751.6
SPOT ELEVATION	+
WATER	---
PAVED ROAD	---
DIRT ROAD	---
BUILDING	---
LOCATED OBJECT	---
FENCE	---
TREES	---
PIPE	---
POLE	---
TOWER	---



DocuSigned by:
B. Wesley Webb
3AC0005E68468

5-18-21

- BUFFER YARD NOTES:
- PERIMETER LANDSCAPE BUFFER YARDS AND THE STREET YARD BUFFER ARE TO BE 100 FEET WIDE AND REMAIN UNDISTURBED, EXCEPT FOR THE PLANTING OF ANY TREES OR SHRUBS REQUIRED FOR SCREENING
 - SEE NOTE NO. 4 ON SHEET TWO FOR A DESCRIPTION OF THE BUFFER REQUIREMENTS.
 - LANDSCAPE PLANTINGS AND LAYOUT DESIGNED BY JEFF YOUNG, RLA

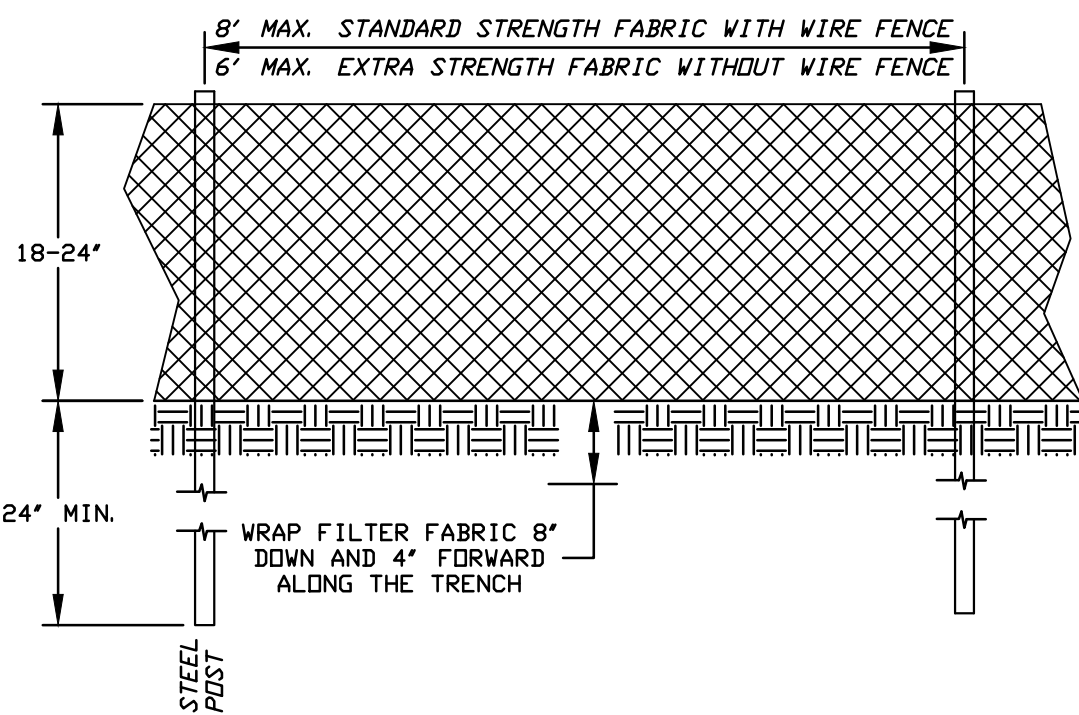


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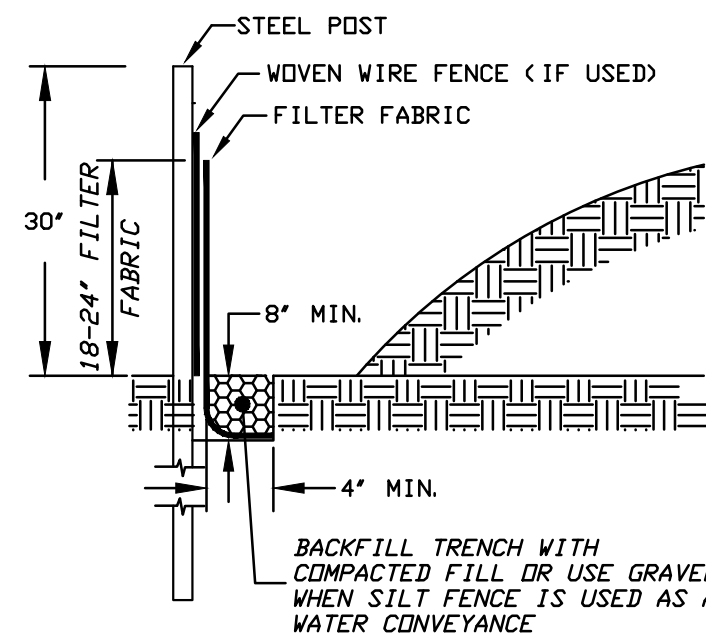
2020 CONDITIONAL USE REZONING REQUEST
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SCALE	DATE	3-23-21
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PROFILE	CHECKED BY	GWV
VERT.	DWG No.	

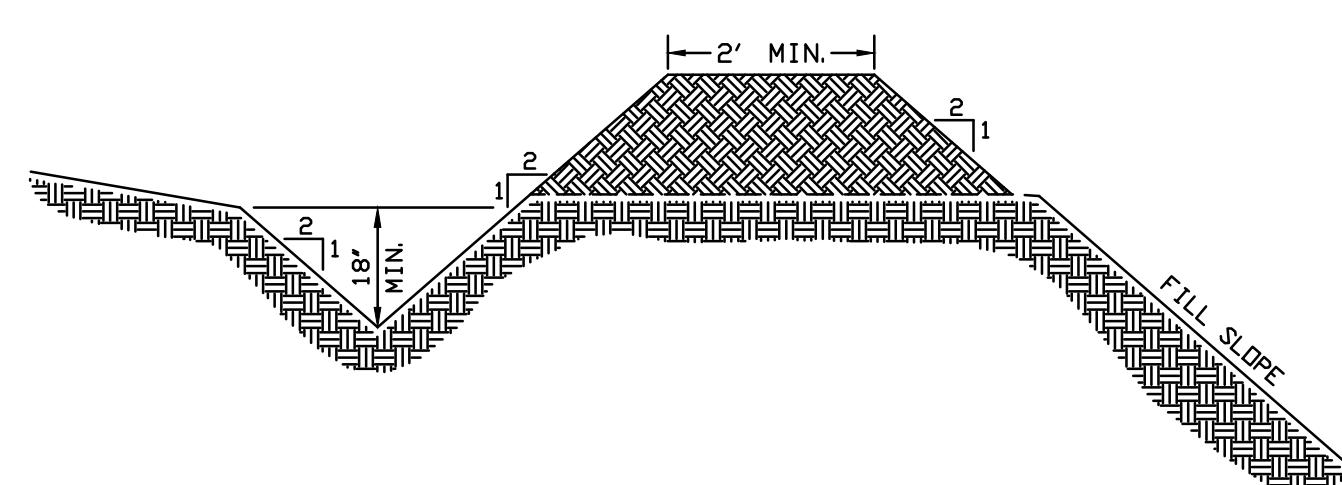
JOB NO.	11526
SHEET NO.	16
OF	21



- GENERAL NOTES:**
1. WOVEN WIRE FENCE SHALL BE A MINIMUM OF 32" HIGH AND SHALL HAVE A MINIMUM OF 5 HORIZONTAL WIRES, VERTICAL WIRES WITH 12" SPACING, MINIMUM 10 GAUGE TOP AND BOTTOM WIRES, MINIMUM 12 1/2 GAUGE ALL OTHER WIRES.
 2. FILTER FABRIC SHALL BE MIRAFIX 100X FABRIC OR EQUIVALENT.
 3. STEEL POSTS SHALL BE 5'-0" IN HEIGHT AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE.
 4. WASHED STONE SHALL BE USED TO BURY SKIRT WHEN SILT FENCE IS USED ADJACENT TO A CHANNEL, CREEK OR POND.
 5. TURN SILT FENCE UP SLOPE AT ENDS.
 6. REMOVE SEDIMENT WHEN 12 INCHES DEPTH OF SEDIMENT HAS ACCUMULATED.
 7. PROVIDE 4" BETWEEN EACH RUN OF DOUBLE ROW SILT FENCE IN AREAS WHERE DOUBLE ROWS OF SILT FENCE WILL BE INSTALLED.



TEMPORARY SILT FENCE



TEMPORARY DIVERSION DITCH

NTS

DEFINITION

A sediment control barrier formed around a storm drain inlet by the use of standard concrete block & gravel.

PURPOSE

To help prevent sediment from entering storm drains before stabilizing the contributing watershed. This practice allows early use of the storm drain system.

CONSTRUCTION SPECIFICATIONS

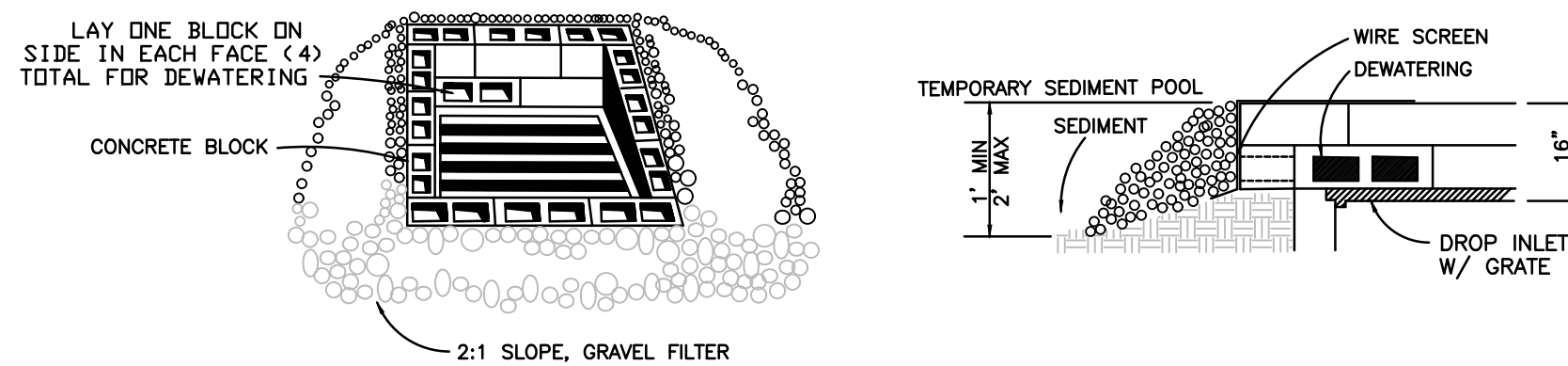
1. Lay one block on each side of the structure on its side in the bottom row to allow pool drainage. The foundation should be excavated at least 2 inches below the crest of the storm drain. Place the bottom row of blocks against the edge of the storm drain for lateral support and to avoid washouts when overflow occurs. If needed, give lateral support to subsequent rows by placing 2x4 wood studs through block openings.
2. Carefully fit hardware cloth or comparable wire mesh with 1/2 inch openings over all block openings to hold gravel in place.
3. Use clean gravel, 3/4 to 1/2 inch in diameter, placed 2 inches below the top of the block on a 2:1 slope or flatter and smooth it to an even grade. dot #57 washed stone is recommended.
4. If only stone and gravel are used, keep the slope toward the inlet no steeper than 3:1. Leave a minimum 1 ft. wide level stone area between the structure and around the inlet to prevent gravel from entering inlet. On the slope toward the inlet, use stone 3 inches in diameter or larger. On the slope away from the inlet use 1/2 - 3/4 inch gravel (nodot #57 washed stone) at a minimum thickness of 1 ft.

MAINTENANCE

Inspect the barrier after each rain and make repairs as needed.

Remove sediment as necessary to provide adequate storage volume for subsequent rains. When the contributing drainage area has been adequately stabilized, remove all materials and any unstable soil, and either salvage or dispose of it properly.

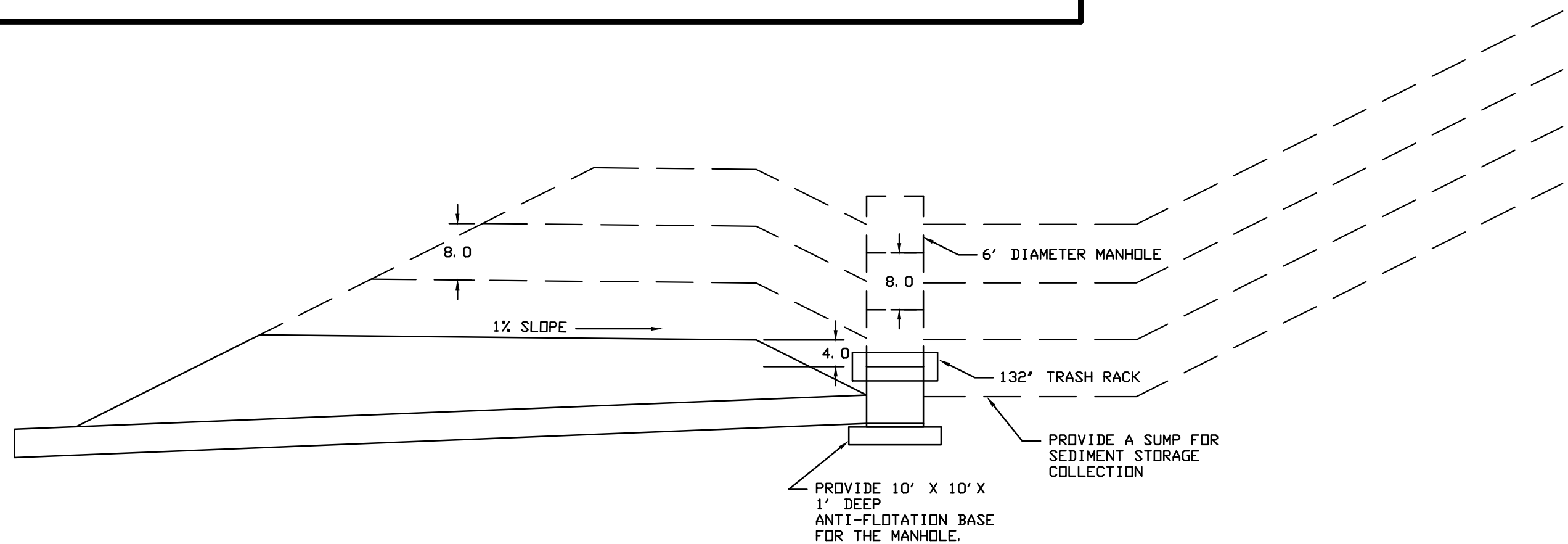
Bring disturbed area to proper grade, then smooth and compact it. Appropriately stabilize all bare areas around the inlet.



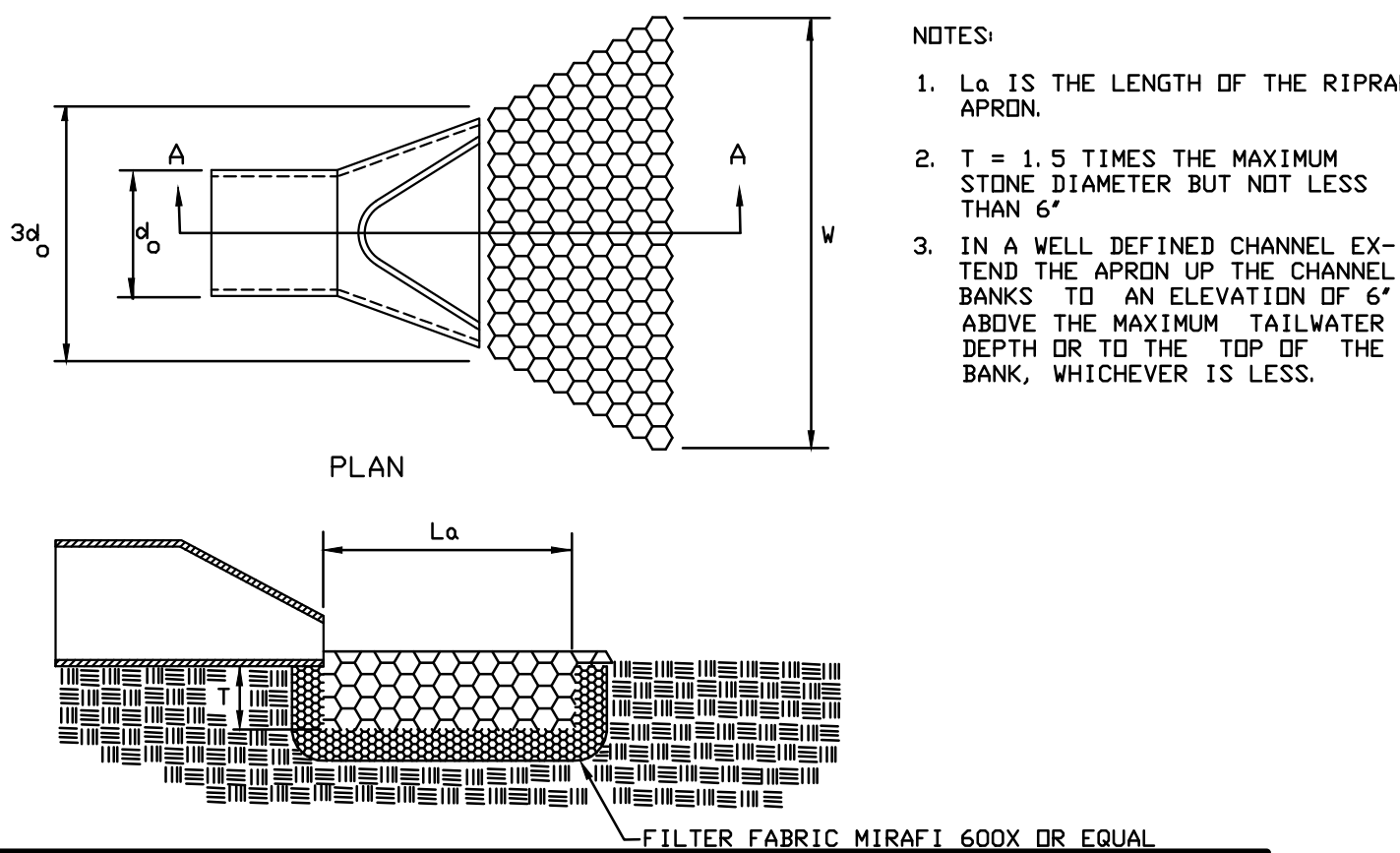
BLOCK & GRAVEL INLET PROTECTION

NOTE: THE PURPOSE OF THIS DETAIL IS TO PROVIDE A DRAINAGE COLLECTION SYSTEM IN FILL AREAS THAT EXCEED 15 FEET OF HEIGHT.

1. INSTALL THE DISCHARGE BARREL, ANTI-FLOTATION BASE, OUTLET PROTECTION, TRASH RACK AND THE FIRST MANHOLE SECTION.
2. INSTALL BACKFILL OVER THE STORM DRAINAGE PIPE. THE HEIGHT OF THE FIRST LIFT IS A MINIMUM OF 10 FEET. THE TOP OF MANHOLE SHOULD ALWAYS BE A MINIMUM OF 4 FEET BELOW THE EDGE OF THE EXTERIOR FILL SLOPE.
3. MAINTAIN A SUMP AROUND THE TOP OF THE MANHOLE TO HELP COLLECT SEDIMENT.
4. USE TEMPORARY DIVERSIONS TO DIVERT RUNOFF TOWARDS THE MANHOLE ONCE THE PLACEMENT OF FILL MAKES CONSTRUCTION OF TEMPORARY DIVERSIONS WITH A 1:1 MINIMUM SLOPE DIFFICULT, RAISE THE FILL OVER THE DISCHARGE PIPE IN 8 FOOT HIGH LIFTS.
5. REMOVE THE TRASH RACK AND INSTALL ANOTHER MANHOLE SECTION. MANHOLE JOINTS SHOULD BE WRAPPED WITH A SEALANT PRIOR TO BACKFILLING AGAINST THE STRUCTURE.
6. REINSTALL THE TRASH RACK AND PLACE COMPACTED FILL IN THE OLD SUMP.
7. CONTINUE TO PLACE FILL UPSTREAM OF THE RISER AND INSTALLING ADDITIONAL MANHOLE SECTIONS AS THE FILL HEIGHT INCREASES.
8. ONCE THE FILL HEIGHT HAS REACHED TO PROPOSED GRADE, REMOVE THE TRASH RACK AND INSTALL A MANHOLE TOP DESIGNED FOR A YARD INLET. CONSTRUCT THE YARD INLETS AND ANY ADDITIONAL DRAINAGE CONNECTIONS SHOWN ON THE PLANS.



STAGED FILL FOR MANHOLE STRUCTURES IN HIGH FILL AREAS



- NOTES:**
1. L_a IS THE LENGTH OF THE RIPRAP APRON.
 2. $T = 1.5$ TIMES THE MAXIMUM STONE DIAMETER BUT NOT LESS THAN 6'.
 3. IN A WELL DEFINED CHANNEL EXTEND THE APRON UP THE CHANNEL BANKS TO AN ELEVATION OF 6' ABOVE THE MAXIMUM TAILWATER DEPTH OR TO THE TOP OF THE BANK, WHICHEVER IS LESS.

SECTION A-A

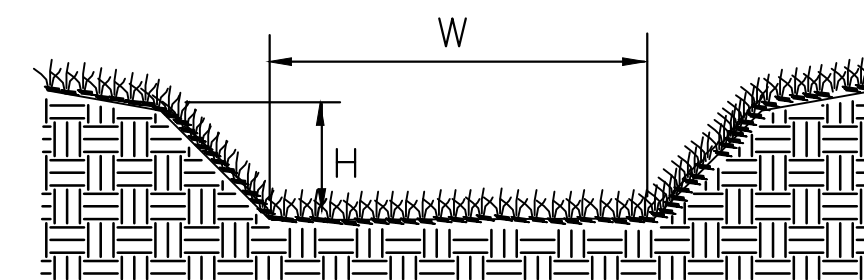
OUTLET PROTECTION

CONSTRUCTION SPECIFICATIONS

1. ENSURE THAT THE SUBGRADE FOR THE FILTER AND RIPRAP FOLLOWS THE REQUIRED LINES AND GRADES SHOWN IN THE PLAN. COMPACT ANY FILL REQUIRED IN THE SUBGRADE TO THE DENSITY OF THE SURROUNDING UNDISTURBED MATERIAL. LOW AREAS IN THE SUBGRADE ON UNDISTURBED SOIL MAY ALSO BE FILLED BY INCREASING THE RIPRAP THICKNESS.
2. THE RIPRAP AND GRAVEL FILTER MUST CONFORM TO THE SPECIFIED GRADING LIMITS SHOWN ON THE PLANS.
3. FILTER FABRIC MUST MEET DESIGN REQUIREMENTS AND BE PROPERLY PROTECTED FROM PUNCHING OR TEARING DURING INSTALLATION. REPAIR ANY DAMAGE BY REMOVING THE RIPRAP AND PLACING ANOTHER PIECE OF FILTER CLOTH OVER THE DAMAGED AREA. ALL CONNECTING JOINTS SHOULD OVERLAP A MINIMUM OF 1 FT. IF THE DAMAGE IS EXTENSIVE, REPLACE THE ENTIRE FILTER CLOTH.
4. RIPRAP MAY BE PLACED BY EQUIPMENT, BUT TAKE CARE TO AVOID DAMAGING THE FILTER.
5. THE MINIMUM THICKNESS OF THE RIPRAP SHOULD BE 1.5 TIMES THE MAXIMUM STONE DIAMETER.
6. RIPRAP MAY BE FIELD STONE OR ROUGH QUARRY STONE. IT SHOULD BE HARD, ANGULAR, HIGHLY WEATHER-RESISTANT AND WELL GRADED.
7. CONSTRUCT THE APRON ON ZERO GRADE WITH NO OVERFALL AT THE END. MAKE THE TOP OF THE RIPRAP AT THE DOWNSTREAM END LEVEL WITH THE RECEIVING AREA OR SLIGHTLY BELOW IT.
8. ENSURE THAT THE APRON IS PROPERLY ALIGNED WITH THE RECEIVING STREAM AND PREFERABLY STRAIGHT THROUGHOUT ITS LENGTH. IF A CURVE IS NEEDED TO FIT SITE CONDITIONS, PLACE IT IN THE UPPER SECTION OF THE APRON.
9. IMMEDIATELY AFTER CONSTRUCTION, STABILIZE ALL DISTURBED AREAS WITH VEGETATION.

MAINTENANCE
INSPECT RIPRAP OUTLET STRUCTURES AFTER HEAVY RAINS TO SEE IF ANY EROSION AROUND OR BELOW THE RIPRAP HAS TAKEN PLACE OR IF STONES HAVE BEEN DISLODGED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.

Location	Pipe Size (in)	Length (ft)	Width (ft)	Use
RSB 20-1	48	21	25	18" OF CLASS I RIPRAP
RSB 20-2	30	16	18.5	18" OF CLASS I RIPRAP
RSB 20-3	30	15	17.5	18" OF CLASS I RIPRAP
P 20-2	42	23	26.5	18" OF CLASS I RIPRAP
P 20-5	42	23	26.5	18" OF CLASS I RIPRAP
P 20-8	30	14	16.5	18" OF CLASS I RIPRAP



GRASS LINED CHANNELS

CONSTRUCTION SPECIFICATIONS

1. REMOVE ALL TREES, BRUSH, STUMPS, AND OTHER OBJECTIONABLE MATERIAL FROM THE FOUNDATION AREA AND DISPOSE OF PROPERLY.
2. EXCAVATE THE CHANNEL AND SHAPE IT TO NEAT LINES AND DIMENSIONS SHOWN ON THE PLANS PLUS A 0.2-FT OVERCUT AROUND THE CHANNEL PERIMETER TO ALLOW FOR BULKING DURING SEEDBED PREPARATIONS AND SOIL BUILDUP.
3. REMOVE AND PROPERLY DISPOSE OF ALL EXCESS SOIL SO THAT SURFACE WATER MAY ENTER THE CHANNEL FREELY.
4. THE PROCEDURE USED TO ESTABLISH GRASS IN THE CHANNEL WILL DEPEND UPON THE SEVERITY OF THE CONDITIONS AND SELECTION OF SPECIES. PROTECT THE CHANNEL WITH MULCH OR A TEMPORARY LINER AS NOTED ON THE PLANS TO WITHSTAND ANTICIPATED VELOCITIES DURING THE ESTABLISHMENT PERIOD.

MAINTENANCE

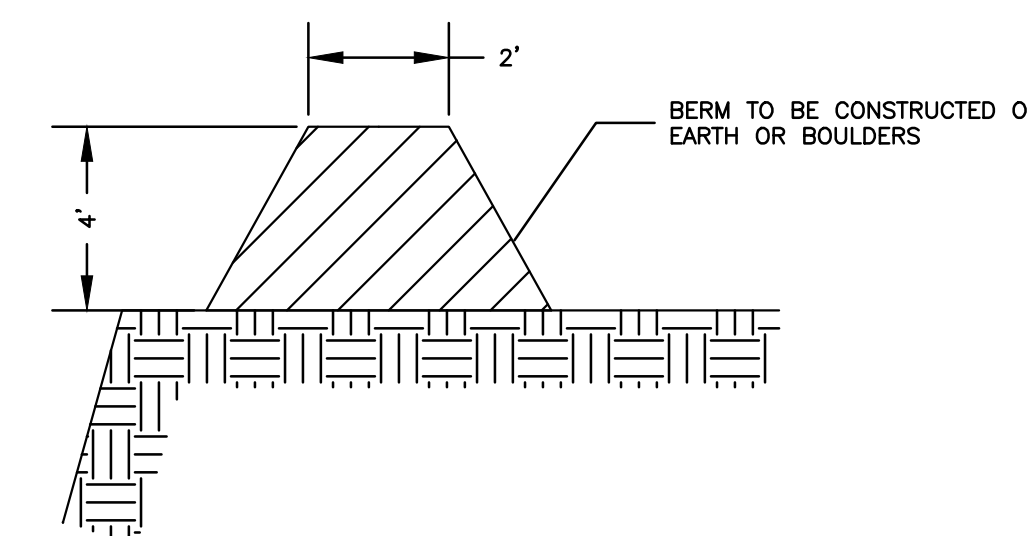
DURING THE ESTABLISHMENT PERIOD, CHECK GRASS-LINED CHANNELS AFTER EVERY RAINFALL. AFTER GRASS IS ESTABLISHED, PERIODICALLY CHECK THE CHANNEL. CHECK IT AFTER EVERY HEAVY RAINFALL EVENT. IMMEDIATELY MAKE REPAIRS. IT IS PARTICULARLY IMPORTANT TO CHECK THE CHANNEL OUTLET FOR BANK STABILITY AND EVIDENCE OF PIPING OR SCOUR HOLES. REMOVE ALL SIGNIFICANT SEDIMENT ACCUMULATIONS TO MAINTAIN THE DESIGNED CARRYING CAPACITY.

CHANNEL	W (ft)	H (ft)	SIDE SLOPE	TEMPORARY LINING
20-1A	2.0	2.5	2:1	NONE
20-1B	6.0	2.5	2:1	NONE
20-2	5.0	4.0	3:1	NONE
20-3	3.0	2.0	3:1	NORTH AMERICAN GREEN SC150BN

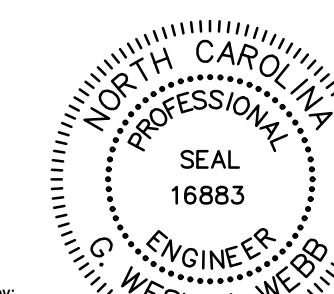
DIVERSION CHANNEL

SITE NOTES:

1. THIS PLAN DOES NOT PURPORT TO SHOW ALL EXISTING UTILITIES, LINES, APPURTENANCES, ETC., AND THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES, PIPES, VALVES, ETC., AS SHOWN ARE IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES, LINES, PIPES, ETC., BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, PIPES AND VALVES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS WITH EXISTING OR PROPOSED FACILITIES TO DETERMINE IF AN ITEM WILL NEED TO BE RELOCATED.
2. THE ENGINEER HAS MADE NO EXAMINATION TO DETERMINE WHETHER ANY HAZARDOUS OR TOXIC MATERIALS ARE PRESENT OR CONTAINED IN, UNDER OR ON THE SUBJECT PROPERTY OR ITS WATERS, OR IF ANY HAZARDOUS OR TOXIC MATERIALS HAVE CONTAMINATED THIS OR OTHER PROPERTIES OR ITS WATERS IN ANY WAY WHATSOEVER, NO SUBSURFACE EXAMINATION OF ANY TYPE HAS BEEN MADE BY THE ENGINEER, AND ACCORDINGLY, NO OPINION IS RENDERED AS TO ANY VIOLATION OF ANY ENVIRONMENTAL LAWS OR REGULATIONS, EITHER FEDERAL, STATE, OR LOCAL RELATED TO THE INFORMATION SHOWN ON THIS PLAN AND THE ENGINEER IS IN NO WAY LIABLE FOR ANY VIOLATION OF SUCH ENVIRONMENTAL LAWS SHOULD SUCH EXIST.
3. TO ENSURE PROPER LOCATION OF EXISTING UTILITIES, THE CONTRACTOR SHALL CONTACT NORTH CAROLINA 811 (1-800-632-4949), AT LEAST 48-HOURS PRIOR TO THE START OF ANY SITE EXCAVATION.
4. THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THE CONTRACTOR SHALL DEFEND, INDEMNIFY THE OWNER, HIS AGENTS, THE OWNER'S REPRESENTATIVES AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FROM LIABILITY ARISING FROM THE SOLE NEGLIGENCE ON THE OWNER'S REPRESENTATIVE OR THE ENGINEER.
5. THE CONTRACTOR SHALL VERIFY ALL SITE ELEVATIONS, CONDITIONS AND SOIL CONDITIONS PRIOR TO CONSTRUCTION. ANY SIGNIFICANT VARIATIONS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.



TEMPORARY HIGHWALL BERM

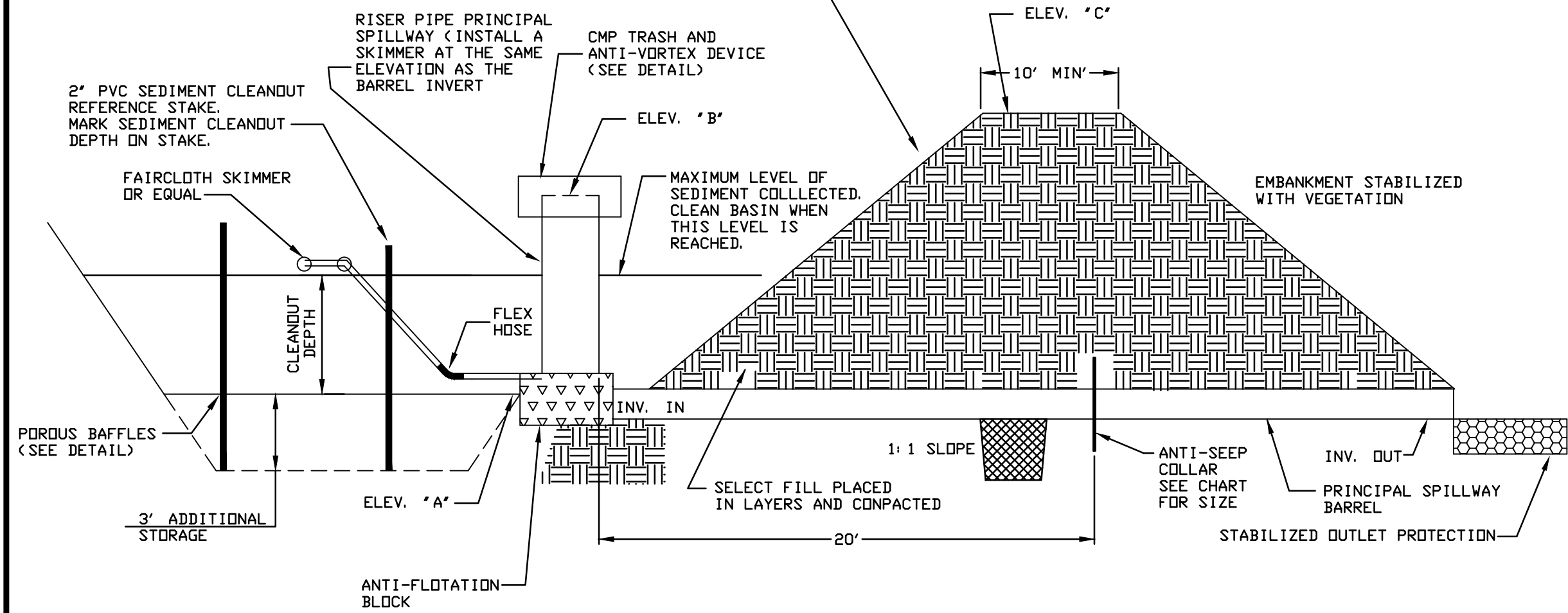


DocuSign by: G. Wesley West
3-23-21

DWG NO.: 11526 GOLD HILL QUARRY REZONING DETAILS.DWG

REVISION No.	DESCRIPTION	DATE	INITIAL	SCALE	DATE
1	PER CABARRUS CNTY REVIEW	3-23-21	GWV	PLAN	12-18-20
				PROFILE	
				HORIZ.	
				VERT.	

NOTE: CONSTRUCT AN ACCESS PIER WITH HANDRAILS TO PROVIDE ACCESS TO THE RISER FOR SAMPLING. DESIGN TO BE PROVIDED BY OTHERS.



THE BASIN MAY ALSO BE DEWATERED BY PERFORATING THE RISER WITH 1/2-INCH HOLES WITH A SPACING OF APPROXIMATELY 3 INCHES IN EACH OUTSIDE VALLEY.
TRASH GUARD - INSTALL A TRASH GUARD ON THE TOP OF THE RISER TO PREVENT TRASH AND OTHER DEBRIS FROM CLOGGING THE CONDUIT.

CONSTRUCTION SPECIFICATIONS

- SITE PREPARATIONS** - CLEAR, GRUB, AND STRIP TOPSOIL FROM AREAS UNDER THE EMBANKMENT TO REMOVE TREES, VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. TO FACILITATE SEDIMENT CLEANOUT AND RESTORATION, CLEAR THE POOL AREA OF ALL BRUSH, TREES, AND OTHER OBJECTIONABLE MATERIALS. STOCKPILE ALL TOPSOIL OR SOIL CONTAINING ORGANIC MATTER FOR USE ON THE OUTER SHELL OF THE EMBANKMENT TO FACILITATE VEGETATIVE ESTABLISHMENT.
- CUT-OFF TRENCH** - EXCAVATE A CUT-OFF TRENCH ALONG THE CENTERLINE OF THE EARTH FILL EMBANKMENT. CUT THE TRENCH TO STABLE SOIL MATERIAL, BUT IN NO CASE MAKE IT LESS THAN 2 FT DEEP. THE CUT-OFF TRENCH MUST EXTEND INTO BOTH ABUTMENTS TO AT LEAST THE ELEVATION OF THE RISER CREST. MAKE THE MINIMUM BOTTOM WIDTH WIDE ENOUGH TO PERMIT OPERATION OF EXCAVATION AND COMPACTION EQUIPMENT BUT IN NO CASE LESS THAN 2 FT. MAKE SIDE SLOPES OF THE TRENCH NO STEEPER THAN 1:1. COMPACTION REQUIREMENTS ARE THE SAME AS THOSE FOR THE EMBANKMENT. KEEP THE TRENCH DRY DURING BACKFILLING AND COMPACTION OPERATIONS.
- EMBANKMENT** - THE EMBANKMENT SHOULD BE CLEAN MINERAL SOIL, FREE OF ROOTS, WOODY VEGETATION, ROCKS, AND OTHER OBJECTIONABLE MATERIAL. SCARIFY AREAS ON WHICH FILL IS TO BE PLACED BEFORE PLACING FILL. THE FILL MATERIAL MUST CONTAIN SUFFICIENT MOISTURE SO IT CAN BE FORMED BY HAND INTO A BALL WITHOUT CRUMBLING. IF WATER CAN BE SQUEEZED OUT OF THE BALL, IT IS TOO WET FOR PROPER COMPACTION. PLACE FILL MATERIAL IN 6 TO 8-INCH CONTINUOUS LAYERS OVER THE ENTIRE LENGTH OF THE FILL AREA AND THEN COMPACT IT. COMPACTION MAY BE OBTAINED BY ROUTING THE CONSTRUCTION HAULING EQUIPMENT OVER THE FILL SO THAT THE ENTIRE SURFACE OF EACH LAYER IS TRAVERSED BY AT LEAST ONE WHEEL OR TREAD TRACK OF THE HEAVY EQUIPMENT. OR A COMPACTOR MAY BE USED. CONSTRUCT THE EMBANKMENT TO AN ELEVATION 10% HIGHER THAN THE DESIGN HEIGHT TO ALLOW FOR SETTLING.
- CONDUIT SPILLWAYS** - SECURELY ATTACH THE RISER TO THE BARREL OR BARREL STUB TO MAKE A WATERTIGHT STRUCTURAL CONNECTION. SECURE ALL CONNECTIONS BETWEEN BARREL SECTIONS BY APPROVED WATERTIGHT ASSEMBLIES. PLACE THE BARREL AND RISER ON A FIRM, SMOOTH FOUNDATION OF IMPERVIOUS SOIL. DO NOT USE PERVIOUS MATERIAL SUCH AS SAND, GRAVEL, OR CRUSHED STONE AS BACKFILL AROUND THE PIPE OR ANTI-SEEP COLLARS. PLACE THE FILL MATERIAL AROUND THE PIPE SPILLWAY IN 4-INCH LAYERS AND COMPACT IT UNDER AND AROUND THE PIPE TO AT LEAST THE SAME DENSITY AS THE ADJACENT EMBANKMENT. CARE MUST BE TAKEN NOT TO RAISE THE PIPE FROM FIRM CONTACT WITH ITS FOUNDATION WHEN COMPACTION UNDER THE PIPE HAUNCHES. PLACE A MINIMUM DEPTH OF 2 FT OF HAND-COMPACTED BACKFILL OVER THE PIPE SPILLWAY BEFORE CROSSING IT WITH CONSTRUCTION EQUIPMENT. ANCHOR THE RISER IN PLACE BY CONCRETE OR OTHER SATISFACTORY MEANS TO PREVENT FLOTATION. IN NO CASE SHOULD THE PIPE CONDUIT BE INSTALLED BY CUTTING A TRENCH THROUGH THE DAM AFTER THE EMBANKMENT IS COMPLETE.
- SKIMMER** - SHAPE THE BASIN TO THE SPECIFIED DIMENSIONS. PREVENT THE SKIMMING DEVICE FROM SETTLING INTO THE MUD BY EXCAVATING A SHALLOW PIT UNDER THE SKIMMER OR PROVIDING A LIM SUPPORT UNDER THE SKIMMER OF STONE OR TIMBER. SKIMMER HORIZONTAL MOVEMENT IS TO BE LIMITED BY METAL STAKES OR 2x4'S. INSTALL SKIMMER PER MANUFACTURER'S RECOMMENDATIONS. ASSEMBLE THE SKIMMER FOLLOWING THE MANUFACTURER'S INSTRUCTIONS, OR AS DESIGNED. 6. LAY THE ASSEMBLED SKIMMER ON THE BOTTOM OF THE BASIN WITH THE FLEXIBLE JOINT AT THE INLET OF THE BARREL PIPE. ATTACH THE FLEXIBLE JOINT TO THE BARREL PIPE AND POSITION THE SKIMMER OVER THE EXCAVATED PIT OR SUPPORT. BE SURE TO ATTACH A ROPE TO THE SKIMMER AND ANCHOR IT TO THE SIDE OF THE BASIN. THIS WILL BE USED TO PULL THE SKIMMER TO THE SIDE FOR MAINTENANCE.

MAINTENANCE

INSPECT SKIMMER SEDIMENT BASINS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (ONE-HALF INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY.

REMOVE SEDIMENT AND RESTORE THE BASIN TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT ACCUMULATES TO ONE-HALF THE HEIGHT OF THE FIRST BAFFLE. PULL THE SKIMMER TO ONE SIDE SO THAT THE SEDIMENT UNDERNEATH IT CAN BE EXCAVATED. EXCAVATE THE SEDIMENT FROM THE ENTIRE BASIN, NOT JUST AROUND THE SKIMMER OR THE FIRST CELL. MAKE SURE VEGETATION GROWING IN THE BOTTOM OF THE BASIN DOES NOT HOLD DOWN THE SKIMMER.

CHECK THE EMBANKMENT, SPILLWAYS, AND OUTLET FOR EROSION DAMAGE, AND INSPECT THE EMBANKMENT FOR PIPING AND SETTLEMENT. MAKE ALL NECESSARY REPAIRS IMMEDIATELY. REMOVE ALL TRASH AND OTHER DEBRIS FROM THE RISER AND POOL AREA.

IF THE SKIMMER IS CLOGGED WITH TRASH AND THERE IS WATER IN THE BASIN, USUALLY JERKING ON THE ROPE WILL MAKE THE SKIMMER BOB UP AND DISLodge THE DEBRIS AND RESTORE FLOW. IF THIS DOES NOT WORK, PULL THE SKIMMER OVER TO THE SIDE OF THE BASIN AND REMOVE THE DEBRIS. ALSO CHECK THE ORIFICE INSIDE THE SKIMMER TO SEE IF IT IS CLOGGED; IF SO REMOVE THE DEBRIS. IF THE SKIMMER ARM OR BARREL PIPE IS CLOGGED, THE ORIFICE CAN BE REMOVED AND THE OBSTRUCTION CLEARED WITH A PLUMBER'S SNAKE OR BY FLUSHING WITH WATER. BE SURE AND REPLACE THE ORIFICE BEFORE REPOSITIONING THE SKIMMER.

FREEZING WEATHER CAN RESULT IN ICE FORMING IN THE BASIN. SOME SPECIAL PRECAUTIONS SHOULD BE TAKEN IN THE WINTER TO PREVENT THE SKIMMER FROM PLUGGING WITH ICE.

BASIN NO.	FAIRCLOTH SKIMMER		
	SIZE (IN)	ORIFICE DIA. (IN)	ARM SIZE
RSB 20-1	4.0	3.5	8" x 3.0" dia.
RSB 20-2	2.5	2.5	6" x 1.5" dia.
RSB 20-3	2.5	2.0	6" x 1.5" dia.

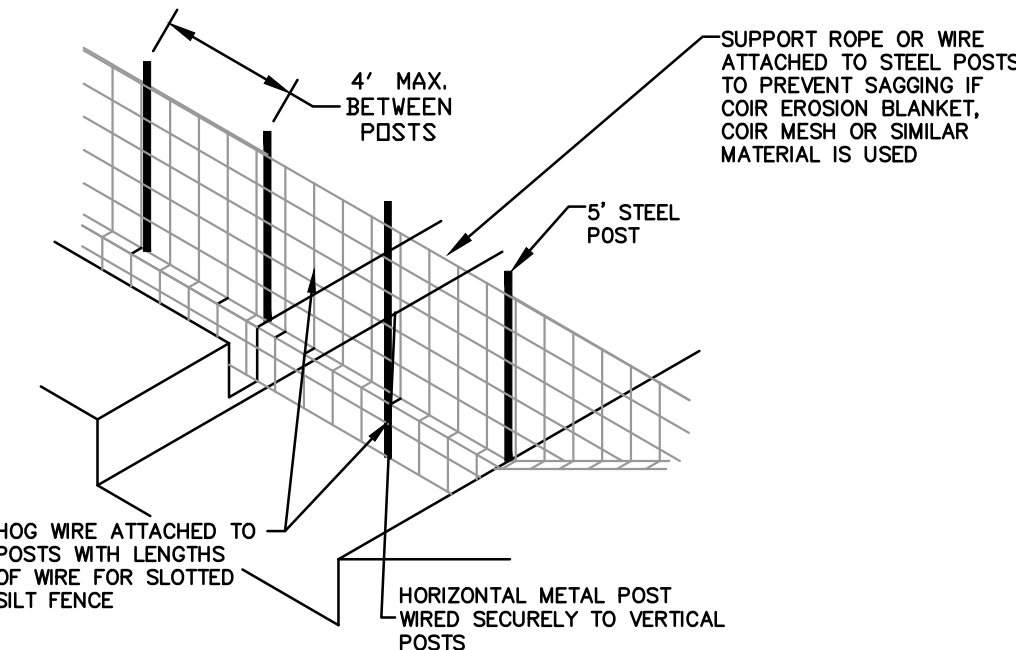
BASIN NO.	STORAGE AREA						CLEANOUT DEPTH	SEDIMENT STORAGE (CFT3)	SURFACE AREA SQ. FT.
	W1	L1	D1	W2	L2	D2			
RSB 20-1	100.0	250.0	2.0	109.0	258.0	9.5	VARIES	52,864.0	27,864.0
RSB 20-2	60.0	200.0	1.5	66.0	206.0	5.0	VARIES	19,197.0	13,596.0
RSB 20-3	45.0	200.0	1.5	51.0	206.0	5.5	VARIES	14,629.5	10,506.0

BASIN NO.	RISER DIA. (IN)	BARREL DIA. (IN)	BARREL LENGTH (FT)	BARREL INV. IN	BARREL INV. OUT	ANTI-FLOTATION BLOCK WIDTH (FT)	ANTI-FLOTATION BLOCK LENGTH (FT)	ANTI-FLOTATION BLOCK DEPTH (FT)	ELEV. "A"	ELEV. "B"	ELEV. "C"	
												L1
RSB 20-1	72	(CMP)	48	(CMP)	45	726.5	726.0	10.0	2.50	726.5	732.0	735.0
RSB 20-2	42	(CMP)	30	(CMP)	32	739.5	739.0	6.0	6.0	740.0	743.0	745.0
RSB 20-3	42	(CMP)	30	(CMP)	33	735.5	735.0	6.0	6.0	735.5	739.0	741.0

- L1 = BASIN LENGTH AT THE BOTTOM OF THE BASIN
- W1 = BASIN WIDTH AT THE BOTTOM OF THE BASIN
- L2 = BASIN LENGTH AT THE TOP OF THE SEDIMENT STORAGE
- W2 = BASIN WIDTH AT TOP OF THE SEDIMENT STORAGE
- L3 = BASIN LENGTH AT THE TOP OF THE EMBANKMENT
- W3 = BASIN WIDTH AT THE TOP OF THE EMBANKMENT
- D1 = THE DEPTH OF SEDIMENT STORAGE
- D2 = THE OVERALL DEPTH OF THE SEDIMENT BASIN
- D3 = THE CLEANOUT DEPTH OF THE SEDIMENT BASIN
- A2 = SURFACE AREA AT THE TOP OF THE SEDIMENT STORAGE

- DESIGN NOTES:**
- SEDIMENT STORAGE = 1800 CUBIC FEET PER DISTURBED ACRE
 - REQUIRED SURFACE AREA = 0.01*Q10*43560
 - CLEANOUT DEPTH = 60% OF THE DESIGN STORAGE
 - SEDIMENT VOLUME CALCULATIONS ASSUME 2:1 SLOPES IN THE BASIN
 - DESIGN STORM IS 50 YEAR TO PASS THROUGH RISER/BARREL (NO EMERGENCY SPILLWAY)

RISER PIPE SEDIMENT BASIN



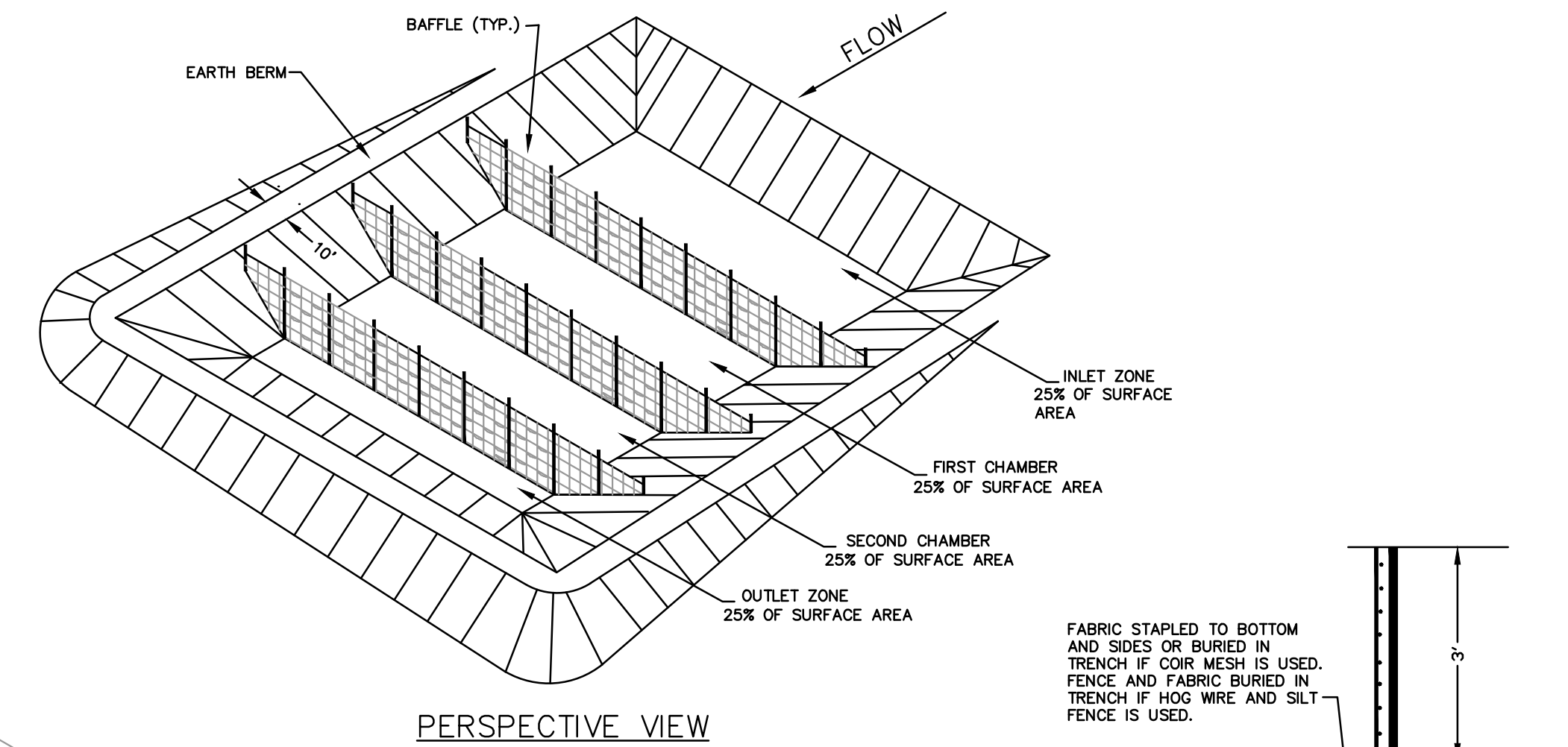
BAFFLE INSTALLATION - STEP 1

- NOTES:**
- DRIVE 5" STEEL POST AT LEAST 24" INTO SOLID GROUND.
 - USE STAPLES 1" APART HORIZONTALLY AND VERTICALLY TO ATTACH THE FABRIC TO THE HOG WIRE.
 - THE FLOOR OF THE BASIN IN THE OUTLET ZONE AND BERMS SHOULD BE SEEDS IMMEDIATELY AFTER THE BASIN IS CONSTRUCTED.

FASTEN COIR EROSION BLANKET, COIR MESH OR SILT FENCE TO THE SUPPORTS. IF SILT FENCE IS USED, CUT 6" SLITS IN THE FENCE FABRIC WITH A KIFE ALONG THE BOTTOM WIRE IN EVERY OTHER SQUARE OF THE HOG WIRE VERTICALLY AND HORIZONTALLY.

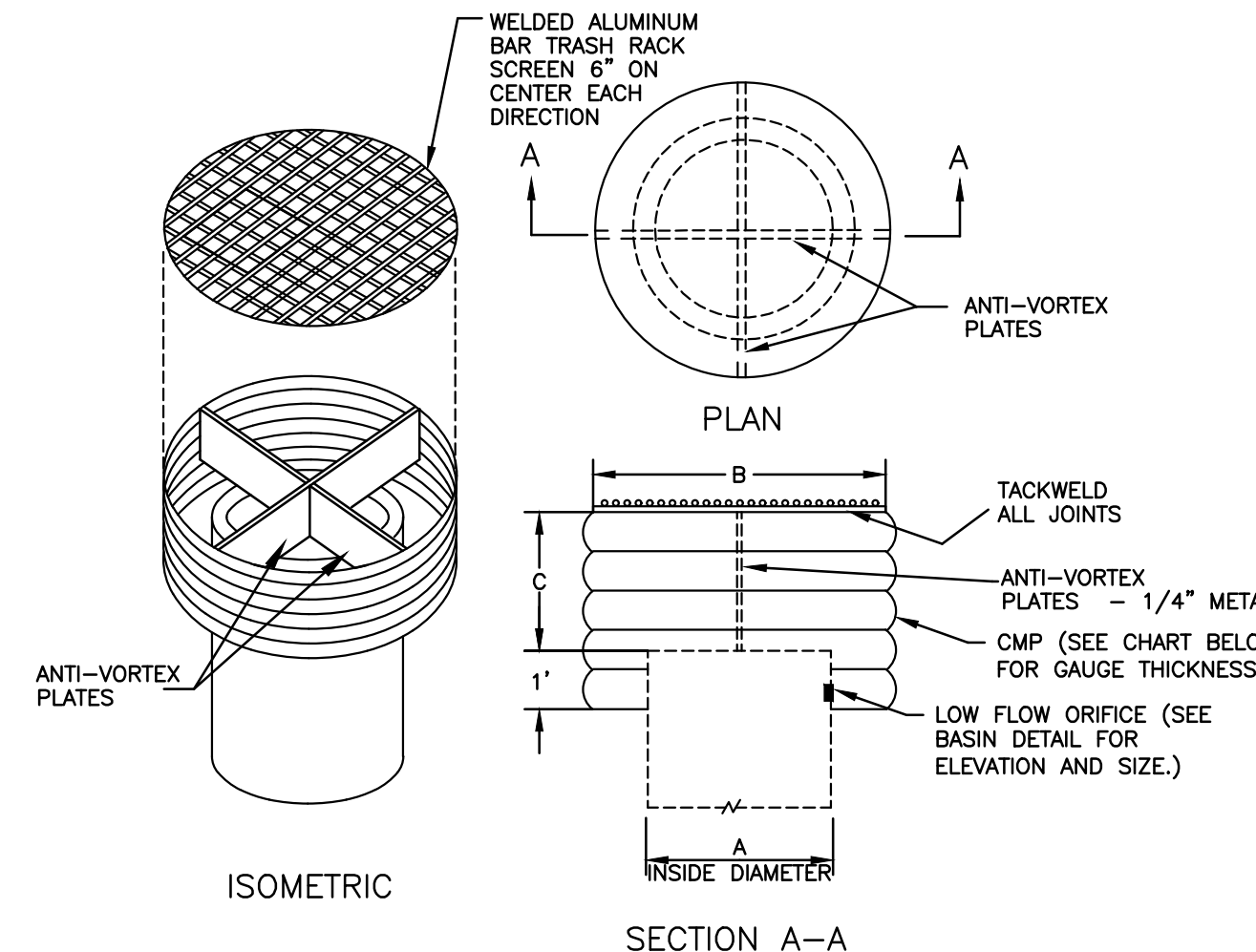
BAFFLE INSTALLATION - STEP 2

POROUS BAFFLES



PERSPECTIVE VIEW

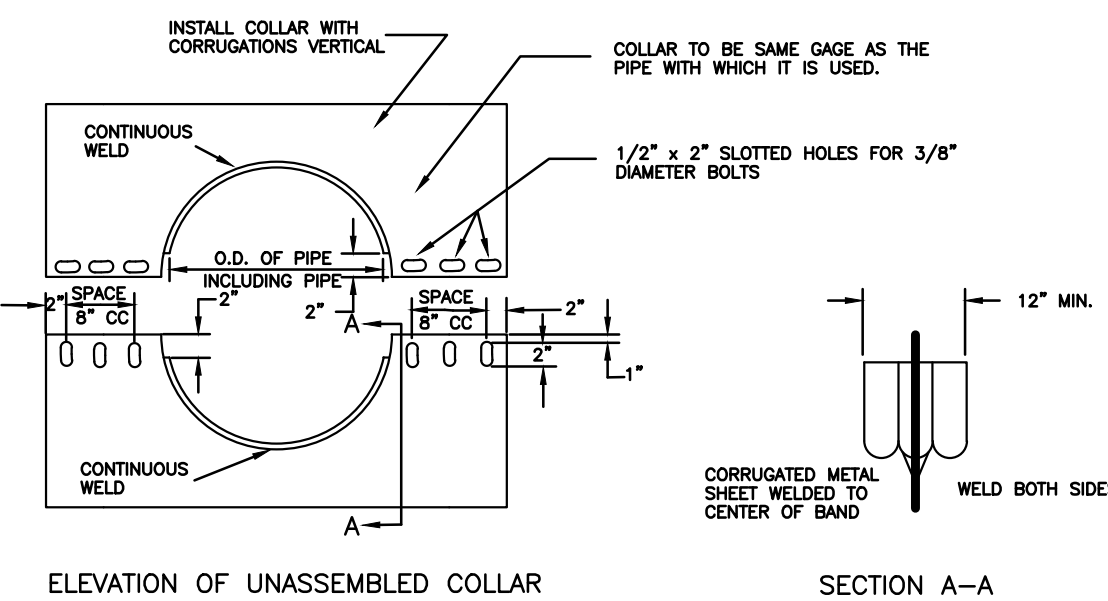
TOP OF BAFFLES SHOULD BE 6" HIGHER THAN THE SPILLWAY INVERT AND 2" LOWER THAN THE TOP OF THE BERM



A	B	C	GAUGE	MIN. SIZE SUPPORT BAR
72"	102"	36"	14	2" x 2" x 3/8" ANGLE
48"	72"	21"	21	1.25" x 1.25" x .25" ANGLE
42"	60"	19"	19	1.25" x 1.25" x .25" ANGLE

- NOTES:**
- COORDINATE THE SIZE OF THE SAMPLING GATE WITH THE OWNER.
 - PROVIDE AN ACCESS WALKWAY WITH HANDRAILS FROM THE TOP OF DAM TO THE TOP OF THE TRASH RACK.
 - MANUFACTURER TO DESIGN AND SUBMIT SHOP DRAWINGS FOR ALL COMPONENTS OF THE ANTI-VORTEX DEVICE.

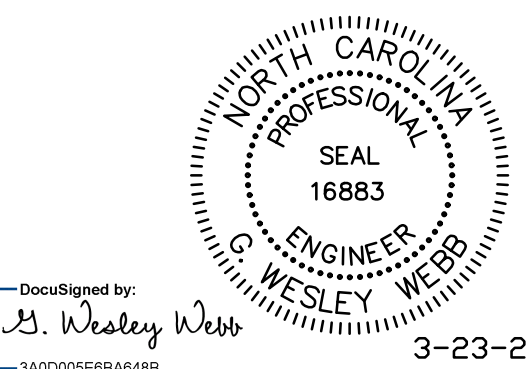
ANTI - VORTEX DEVICE



BASIN NO.	LENGTH	WIDTH
RSB 12-3	9.5 FEET	9.5 FEET
RSB 12-4	6.0 FEET	6.0 FEET
RSB 12-5	6.0 FEET	6.0 FEET

- NOTES FOR COLLARS:**
- ALL MATERIAL TO BE IN ACCORDANCE WITH CONSTRUCTION AND CONSTRUCTION MATERIAL SPECIFICATIONS.
 - WHEN SPECIFIED ON THE PLANS, COATING OF COLLARS SHALL BE IN ACCORDANCE WITH CONSTRUCTION AND CONSTRUCTION MATERIAL SPECIFICATIONS.
 - UNASSEMBLED COLLARS SHALL BE MARKED BY PAINTING OR TAGGING TO IDENTIFY MATCHED PAIRS.
 - THE LAP BETWEEN THE TWO HALF SECTIONS AND BETWEEN THE PIPE AND THE CONNECTING BAND SHALL BE CAULKED WITH ASPHALT MASTIC AT TIME OF INSTALLATION.
 - EACH COLLAR SHALL BE FURNISHED WITH TWO 1/2" DIAMETER RODS WITH STANDARD TANK LUGS FOR CONNECTING COLLARS TO PIPE.

DETAILS OF CORRUGATED METAL ANTI-SEEP COLLARS



Designed by: G. Wesley Webb
3400000606468
3-23-21

DWG NO.: 11526 GOLD HILL QUARRY REZONING DETAILS.DWG

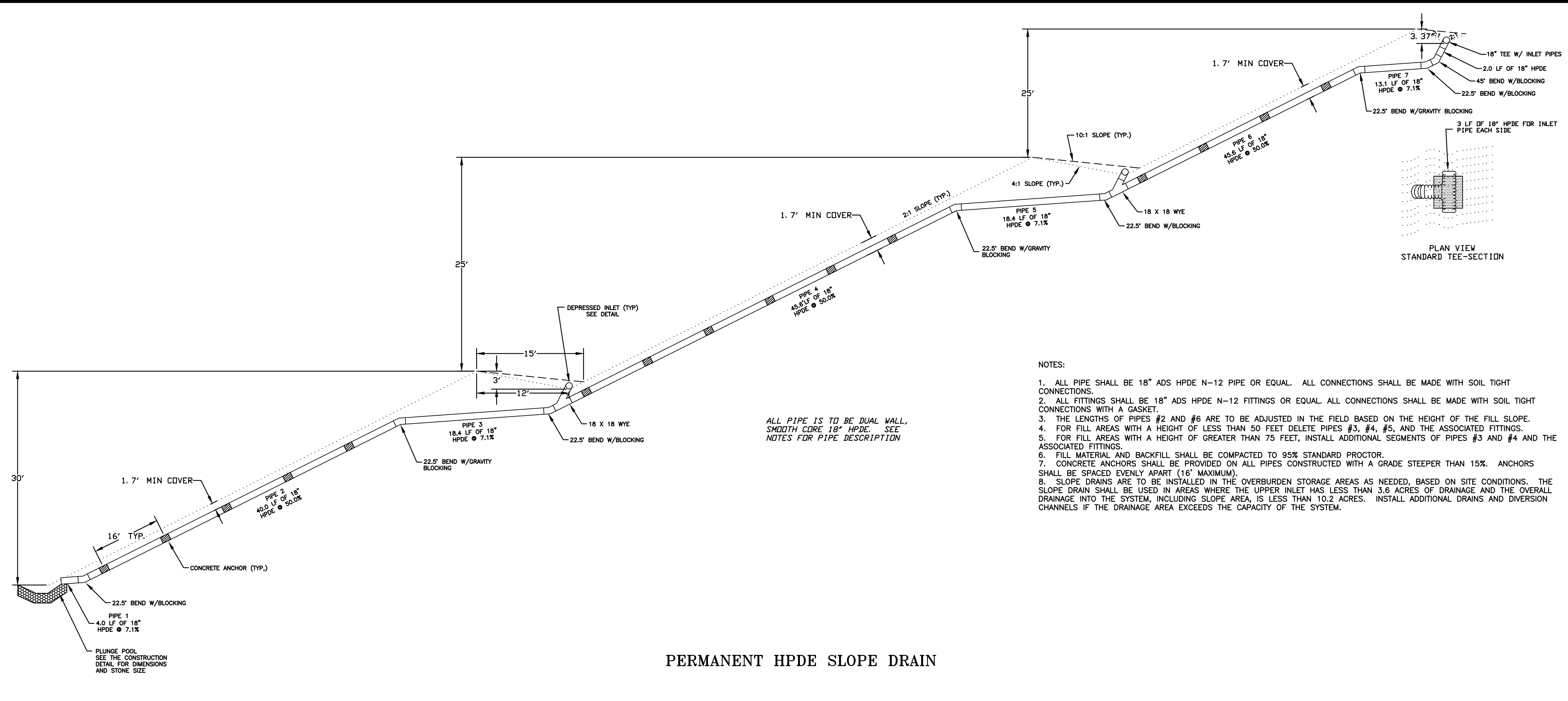
alley, williams, carmen, & king, inc.
CONSULTING ENGINEERS
FIRM LICENSE # F-0203
120 SOUTH MAIN STREET
KANNAPOLIS, NC 28082

2020 CONDITIONAL USE REZONING REQUEST
GOLD HILL QUARRY
VULCAN MATERIALS COMPANY
5300 GOLD HILL RD E., GOLD HILL, NC 28071

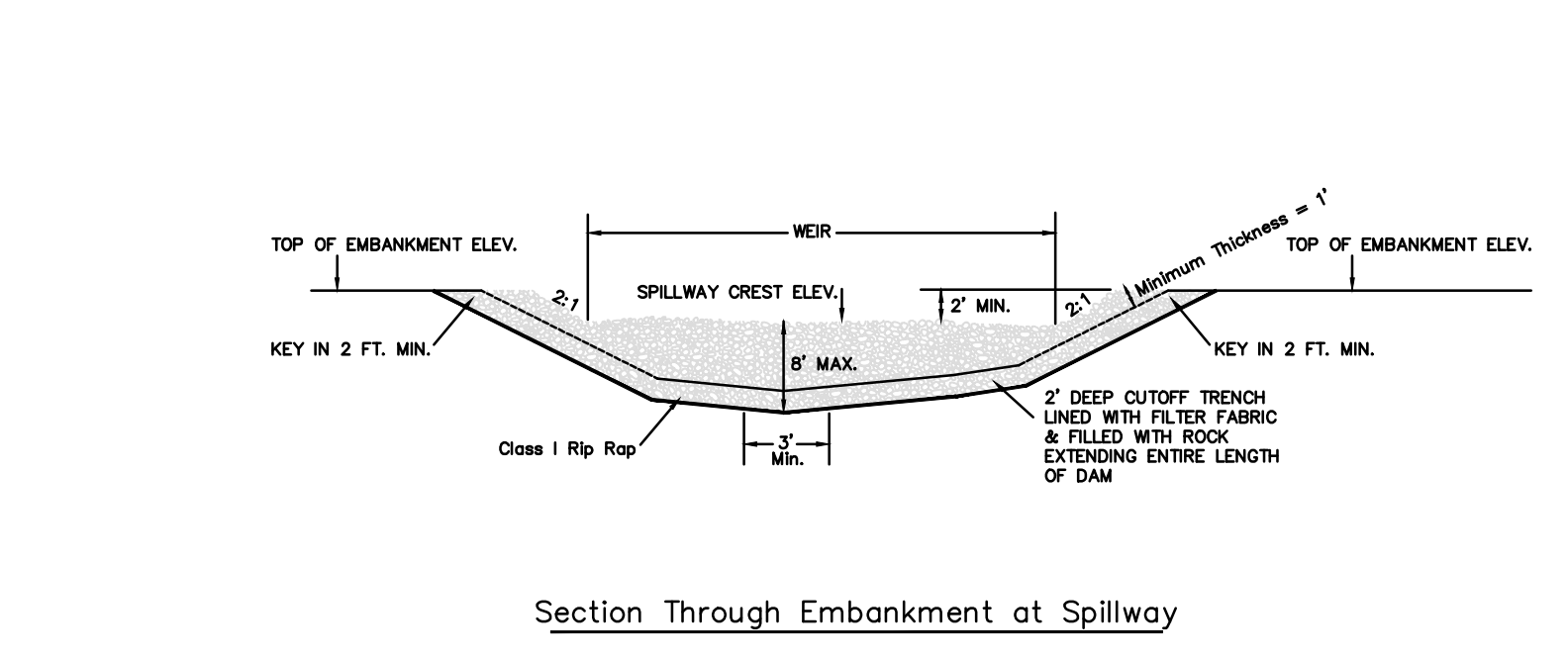
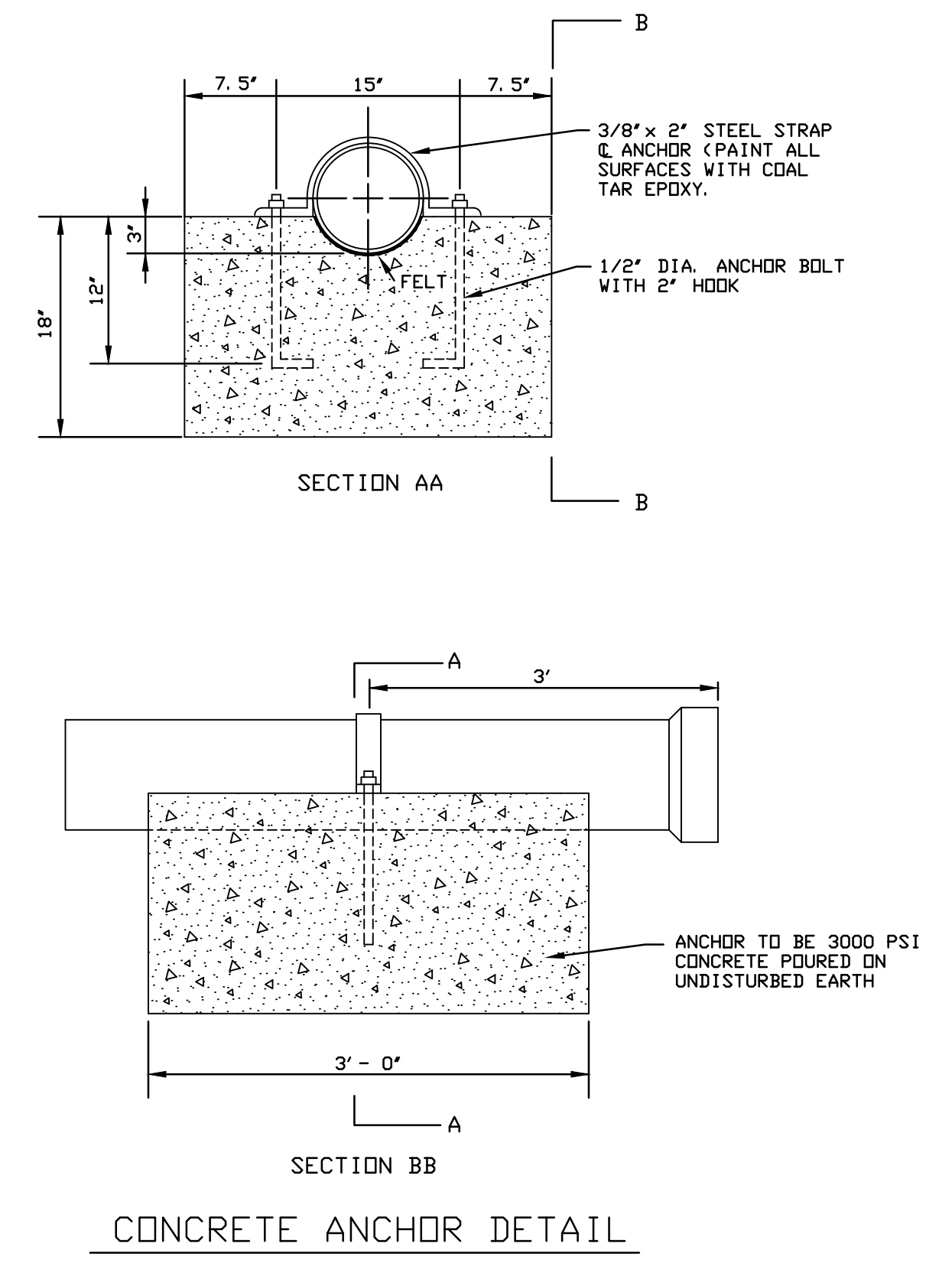
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1	PER CABARRUS CNTY REVIEW	3-23-21	GWV	PLAN	12-18-20
				PROFILE	
				HORIZ.	
				VERT.	

CONSTRUCTION DETAILS

JOB NO. 11526
SHEET NO. 18
OF 21



- NOTES:
1. ALL PIPE SHALL BE 18" ADS HPDE N-12 PIPE OR EQUAL. ALL CONNECTIONS SHALL BE MADE WITH SOIL TIGHT CONNECTIONS.
 2. ALL FITTINGS SHALL BE 18" ADS HPDE N-12 FITTINGS OR EQUAL. ALL CONNECTIONS SHALL BE MADE WITH SOIL TIGHT CONNECTIONS WITH A GASKET.
 3. THE LENGTHS OF PIPES #2 AND #6 ARE TO BE ADJUSTED IN THE FIELD BASED ON THE HEIGHT OF THE FILL SLOPE.
 4. FOR FILL AREAS WITH A HEIGHT OF LESS THAN 50 FEET DELETE PIPES #3, #4, #5, AND THE ASSOCIATED FITTINGS.
 5. FOR FILL AREAS WITH A HEIGHT OF GREATER THAN 75 FEET, INSTALL ADDITIONAL SEGMENTS OF PIPES #3 AND #4 AND THE ASSOCIATED FITTINGS.
 6. FILL MATERIAL AND BACKFILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR.
 7. CONCRETE ANCHORS SHALL BE PROVIDED ON ALL PIPES CONSTRUCTED WITH A GRADE STEEPER THAN 15%. ANCHORS SHALL BE SPACED EVENLY APART (16' MAXIMUM).
 8. SLOPE DRAINS ARE TO BE INSTALLED IN THE OVERBURDEN STORAGE AREAS AS NEEDED, BASED ON SITE CONDITIONS. THE SLOPE DRAIN SHALL BE USED IN AREAS WHERE THE UPPER INLET HAS LESS THAN 3.6 ACRES OF DRAINAGE AND THE OVERALL DRAINAGE INTO THE SYSTEM, INCLUDING SLOPE AREA, IS LESS THAN 10.2 ACRES. INSTALL ADDITIONAL DRAINS AND DIVERSION CHANNELS IF THE DRAINAGE AREA EXCEEDS THE CAPACITY OF THE SYSTEM.



BASIN	MIN WEIR LENGTH FT	DEPTH FT
RD 12-5	40.0	3.0

NOTE THE SPILLWAY LENGTH SHOULD BE INSTALLED WITH A WIDTH AS LARGE AS POSSIBLE.

ROCK DAM RD 20-1	ELEVATION (FT)	SURFACE AREA (SF)	VOLUME (FT ³)	STORAGE VOLUME (FT ³)	NOTES
	713.50	24,624	0.00	0.00	BASIN FLOOR
	714.00	25,349	12,618	12,618	TOP OF SEDIMENT STORAGE / SPILLWAY ELEVATION
	716.00	29,042	54,891	67,509	TOP OF ROCK DAM
	718.00				

Construction Specifications

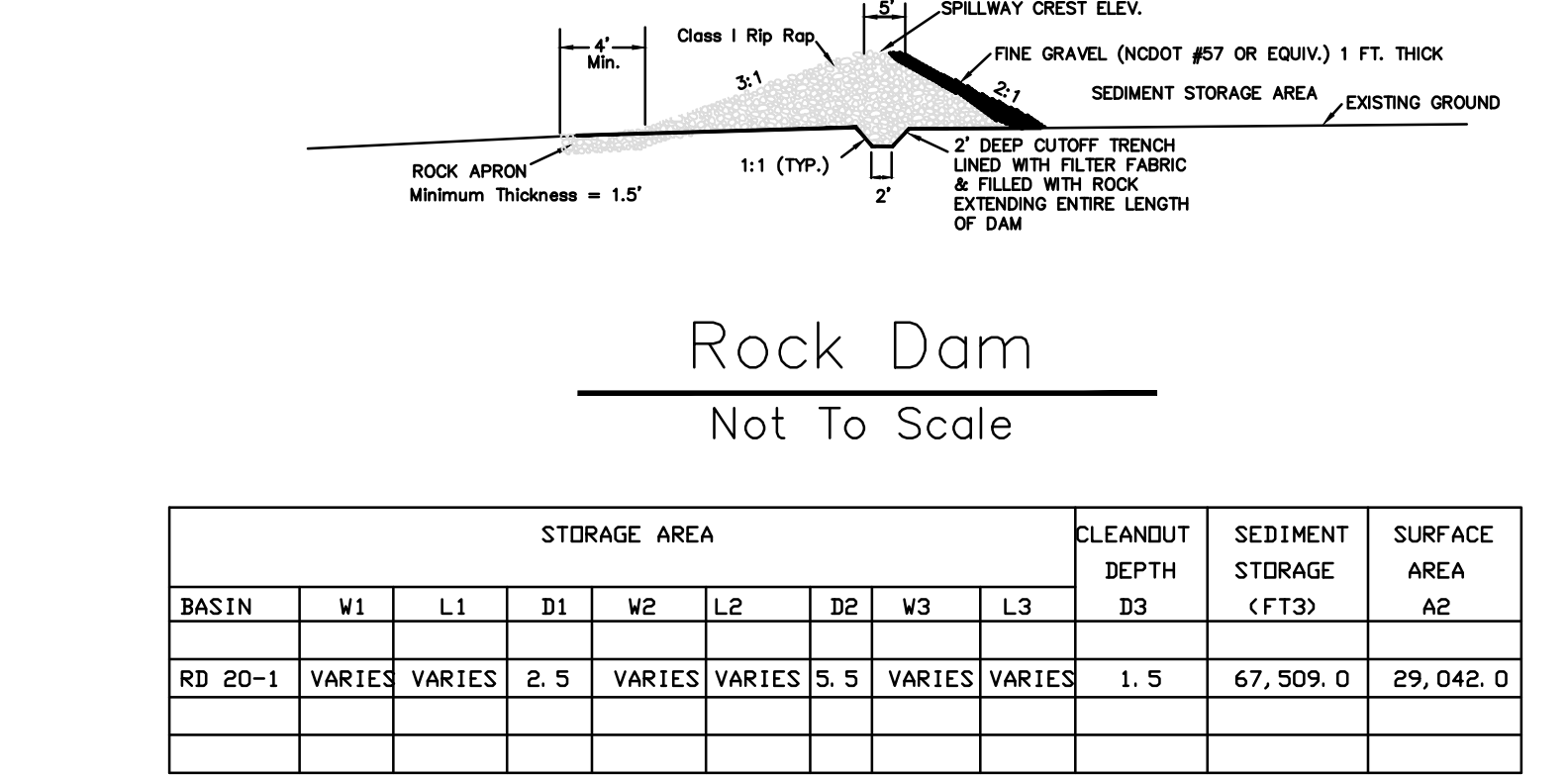
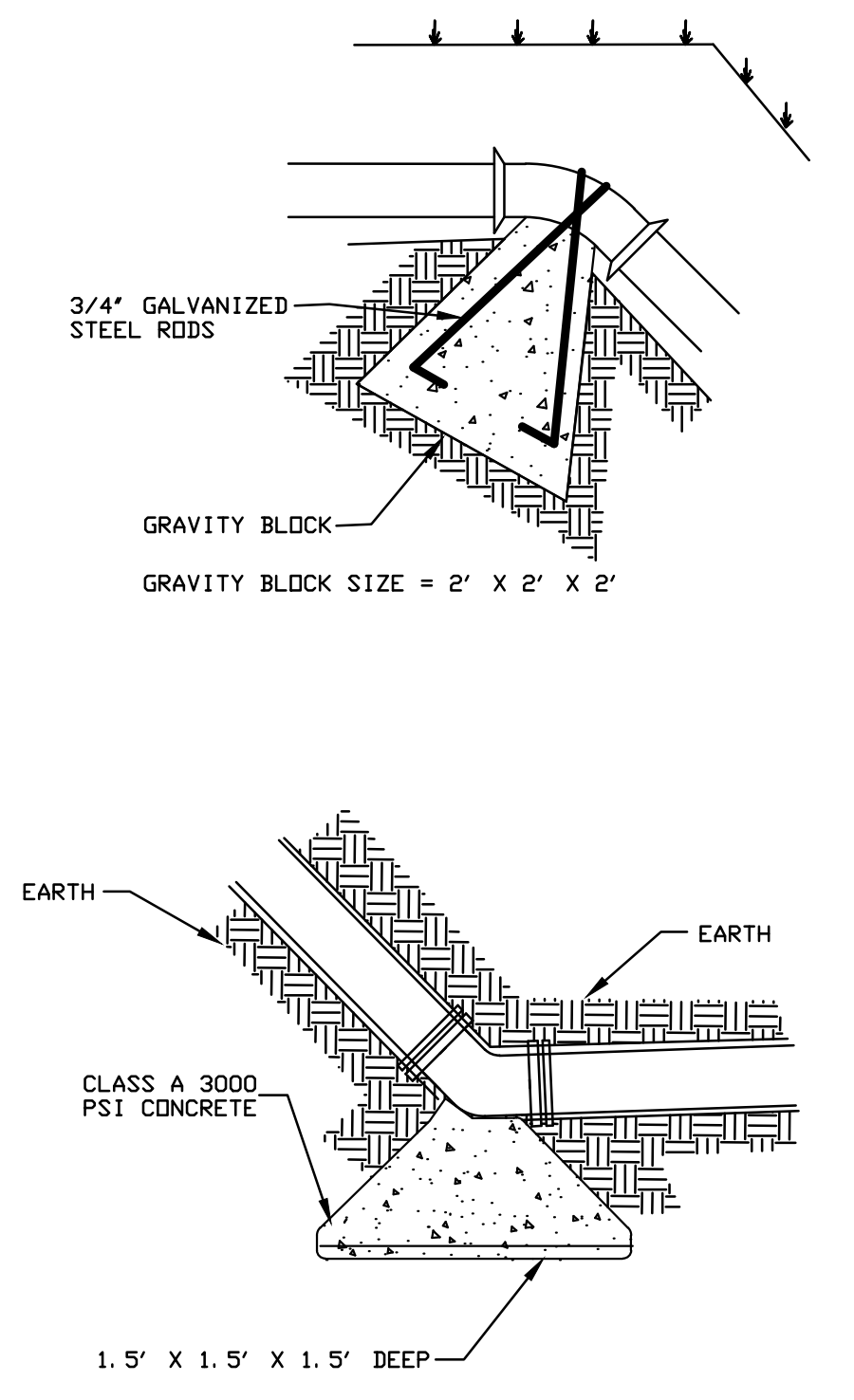
1. Clear the areas under the embankment and strip of roots another objectionable material. Delay clearing the reservoir area until the dam is in place.
2. Cover the foundation area including the abutments with extra-strength filter fabric before backfilling with rock. If a cutoff trench is required, excavate at center line of dam, extending all the way up the earth abutments. Apply filter fabric under the rock fill embankment, from the upstream edge of the dam to the downstream edge of the apron. Overlap fill material a minimum of 1 foot at all joints, with the upstream strip laid over the downstream strip.
3. Construct the embankment with well-graded rock and gravel to the size and dimensions shown on the drawings. It is important that rock abutments be at least 2 feet higher than the spillway crest and at least 1 foot higher than the dam, all the way to the downstream toe, to prevent scour and erosion of the abutments.
4. Sediment-laden water from the construction site should be diverted into the basin reservoir at the furthest area from the dam.
5. Construct the rock dam before the basin area is cleared to minimize sediment yield from construction of the basin. Stabilize immediately all areas disturbed during the construction of the dam except the sediment pool (Reference: Surface Stabilization).
6. Safety - Sediment basins should be considered dangerous because they attract children. Steep side slopes should be avoided. Fences with warning signs may be needed if trespassing is likely. All state and local requirements must be followed.

Maintenance

Check sediment basins after each rainfall. Remove sediment and restore original volume when sediment accumulates to about one-half the design volume.

Check the structure for erosion, piping, and rock replacement after each significant rainstorm and repair immediately.

Remove the structure and any unstable sediment immediately after the construction site has been permanently stabilized. Smooth the basin site to blend with the surrounding area and stabilize. All water and sediment should be removed from the basin prior to dam removal. Sediment should be placed in designated disposal areas and not allowed to flow into streams or drainage ways during structure removal.



BASIN	STORAGE AREA								CLEANOUT DEPTH D3	SEDIMENT STORAGE (FT ³)	SURFACE AREA A2
	W1	L1	D1	W2	L2	D2	W3	L3			
RD 20-1	VARIES	VARIES	2.5	VARIES	VARIES	5.5	VARIES	VARIES	1.5	67,509.0	29,042.0

L1 = BASIN LENGTH AT THE BOTTOM OF THE BASIN
 W1 = BASIN WIDTH AT THE BOTTOM OF THE BASIN
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 W2 = BASIN WIDTH AT THE TOP OF THE SEDIMENT STORAGE
 L3 = BASIN LENGTH AT THE TOP OF THE EMBANKMENT
 W3 = BASIN WIDTH AT THE TOP OF THE EMBANKMENT
 D1 = THE DEPTH OF SEDIMENT STORAGE
 D2 = THE OVERALL DEPTH OF THE SEDIMENT BASIN
 D3 = THE CLEANOUT DEPTH OF THE SEDIMENT BASIN
 A2 = SURFACE AREA AT THE TOP OF THE SEDIMENT STORAGE

Profile Along Embankment at Spillway

DWG NO.: 11526 GOLD HILL QUARRY REZONING DETAILS.DWG

alley, williams, carmen, & king, inc.
 CONSULTING ENGINEERS
 FIRM LICENSE # F-0203
 120 SOUTH MAIN STREET
 KANNAPOLIS, NC 28082

P.O. BOX 1248
 704/938-1515

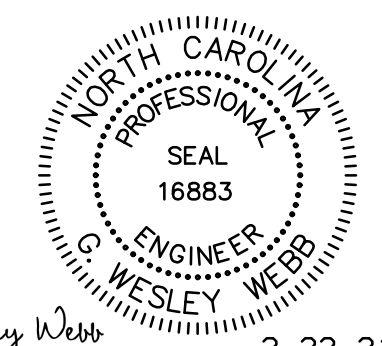
2020 CONDITIONAL USE REZONING REQUEST
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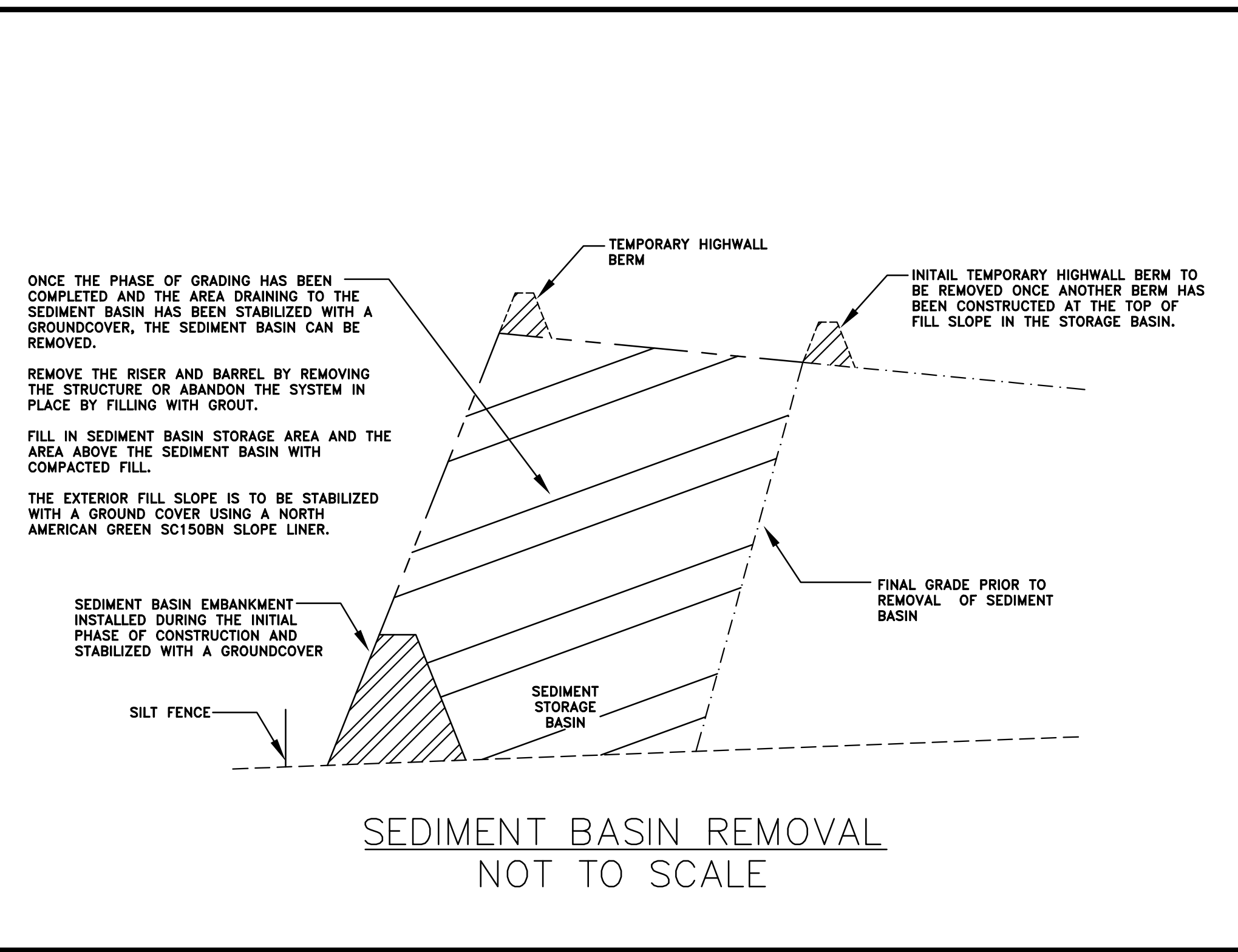
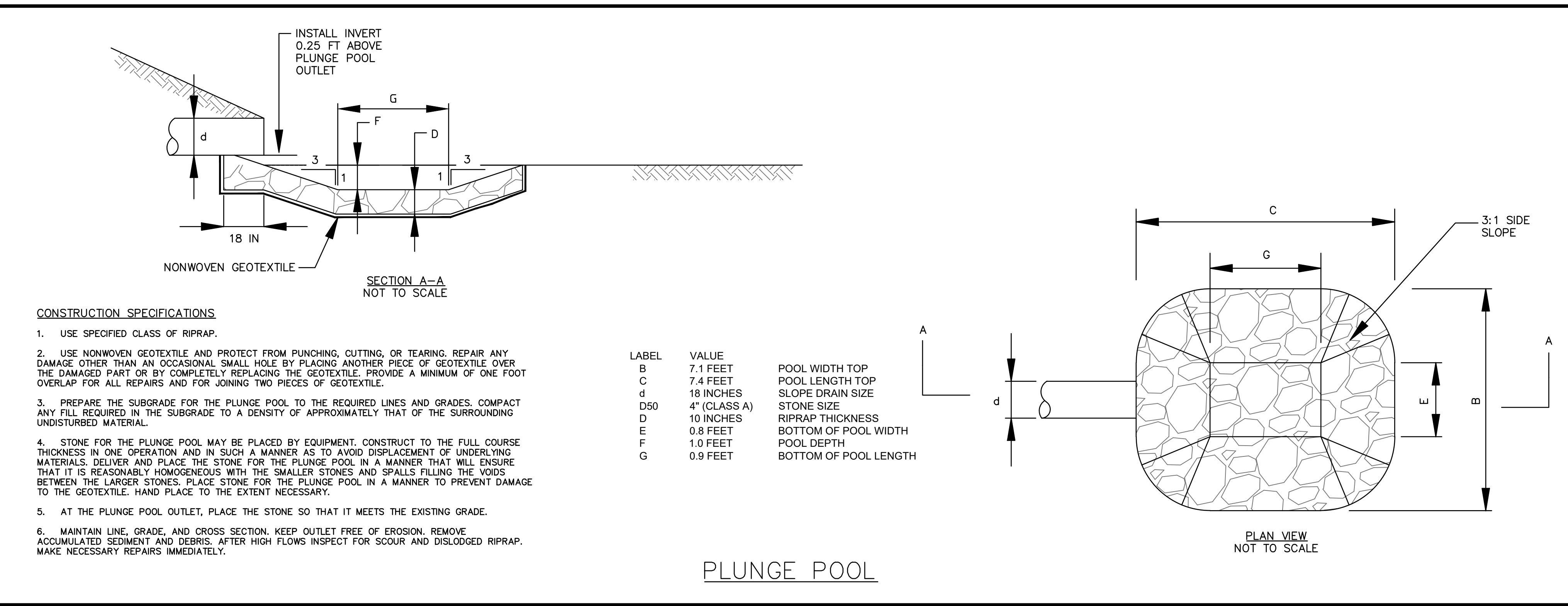
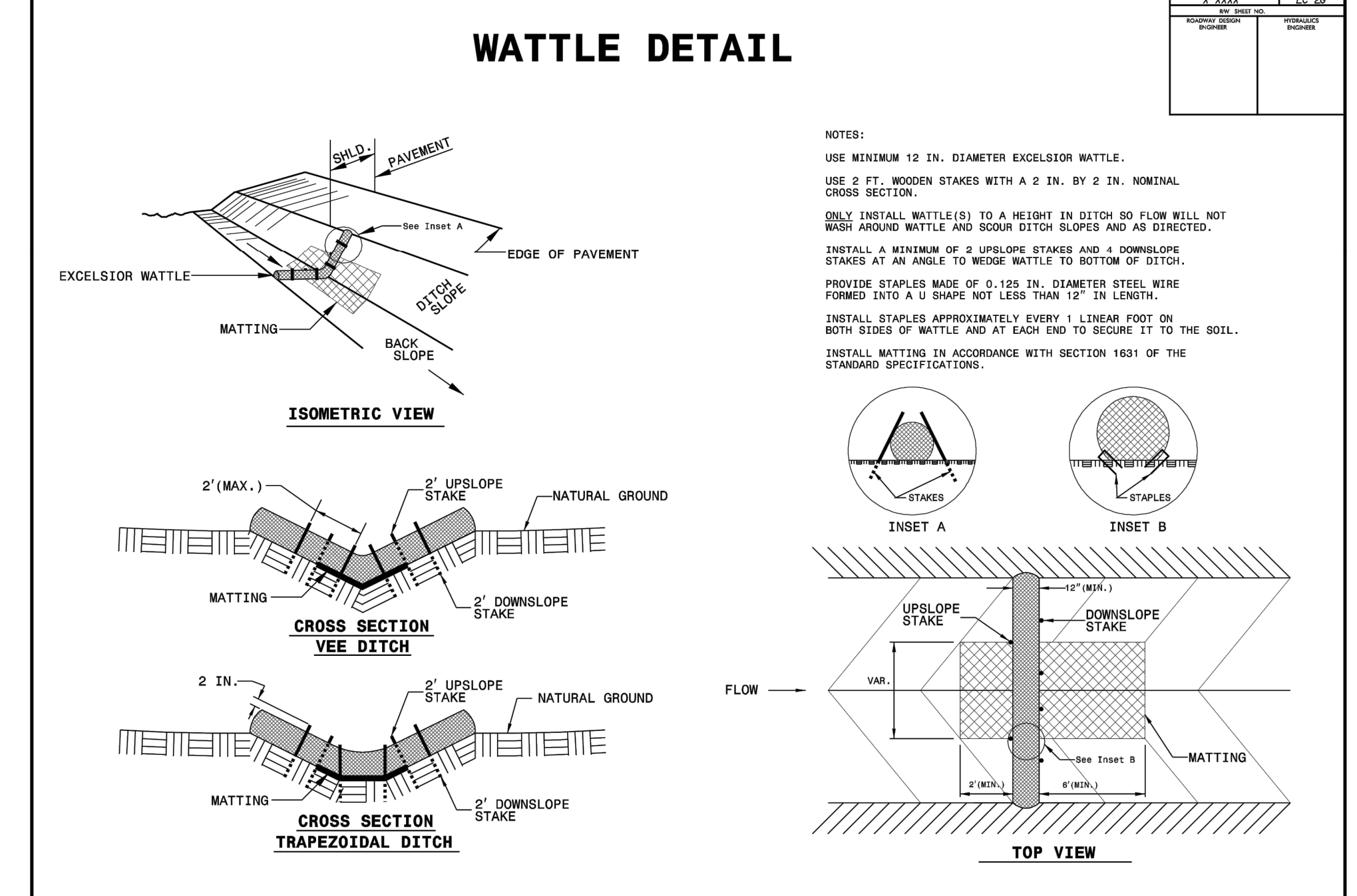
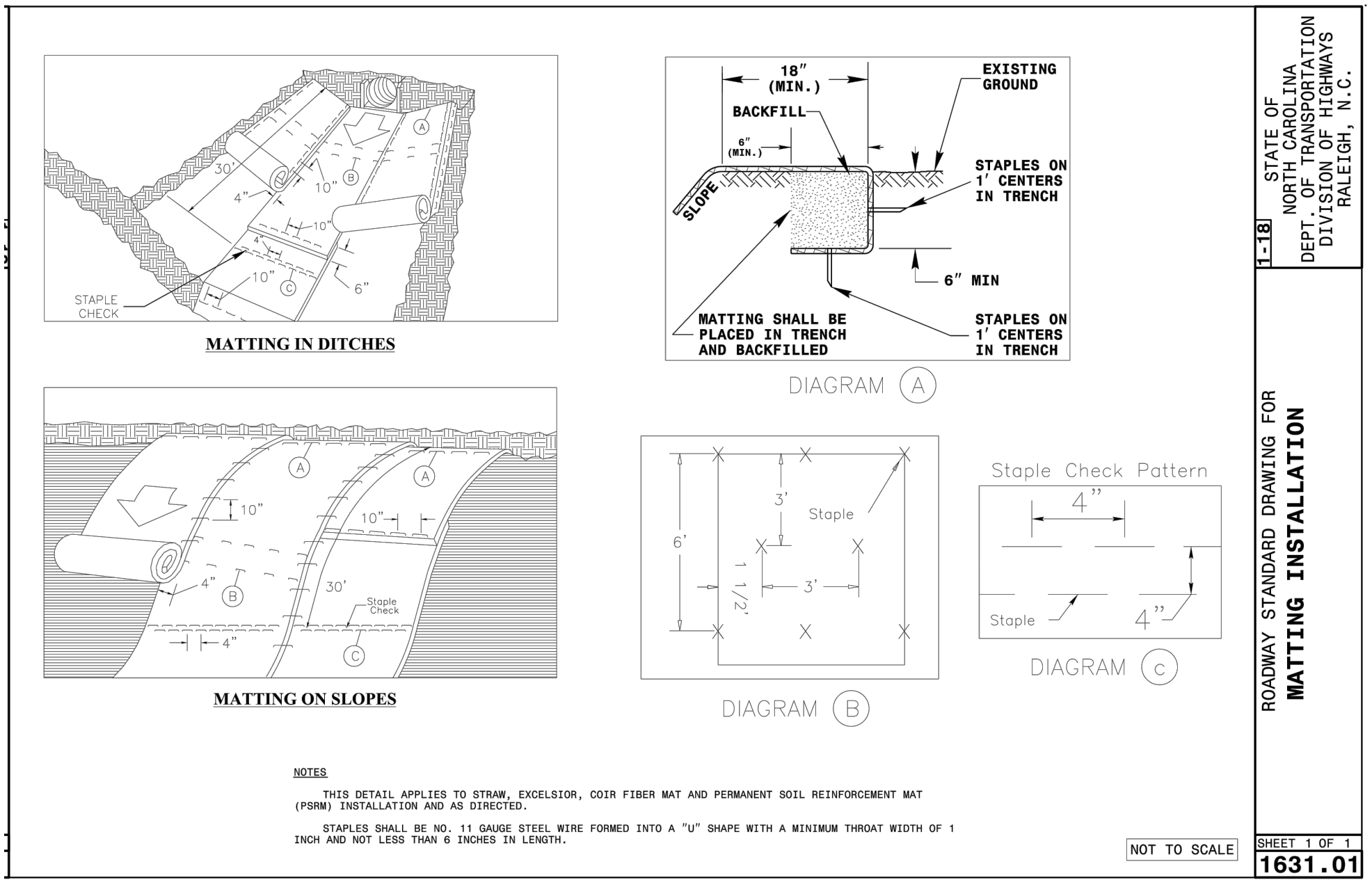
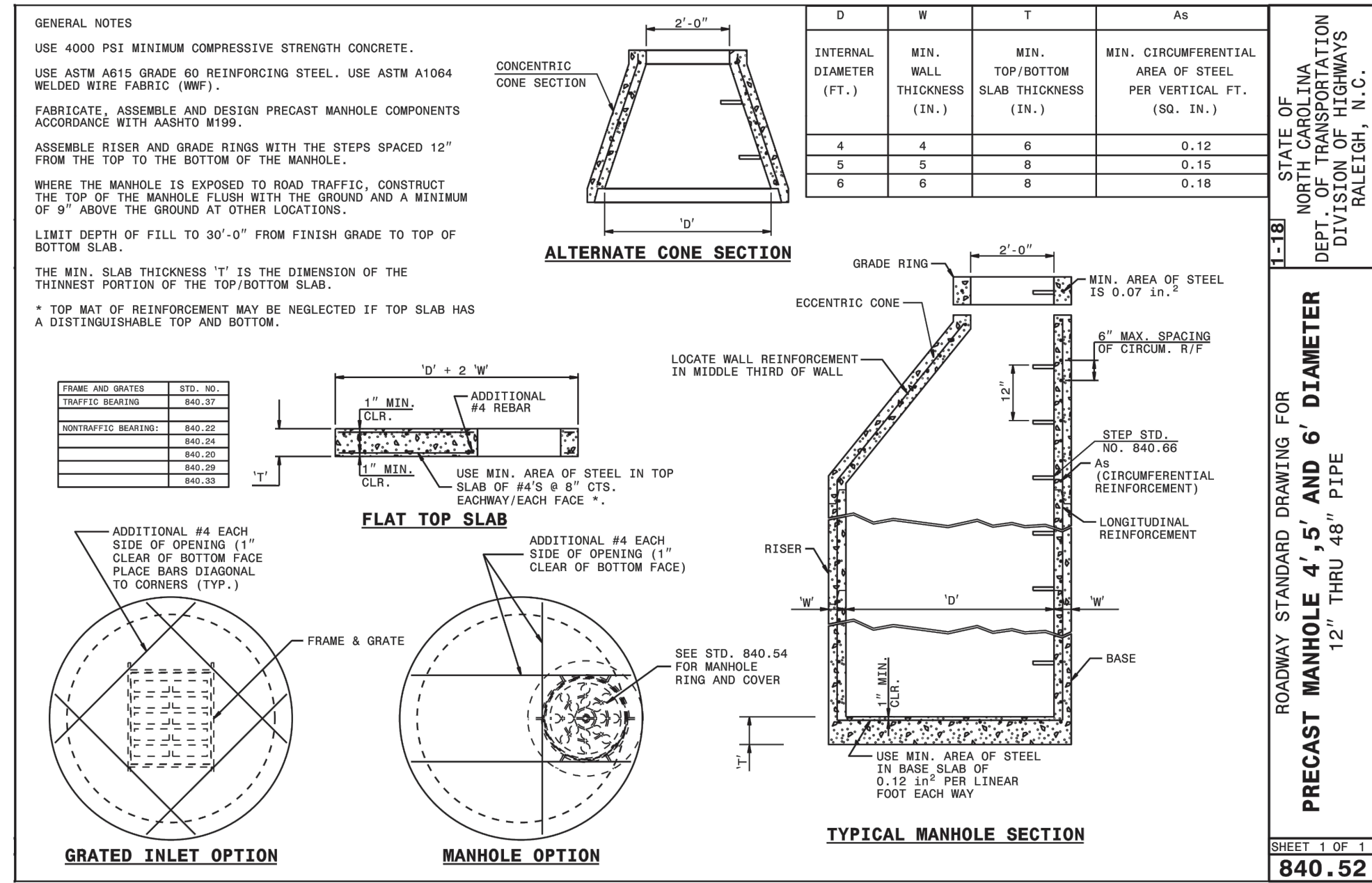
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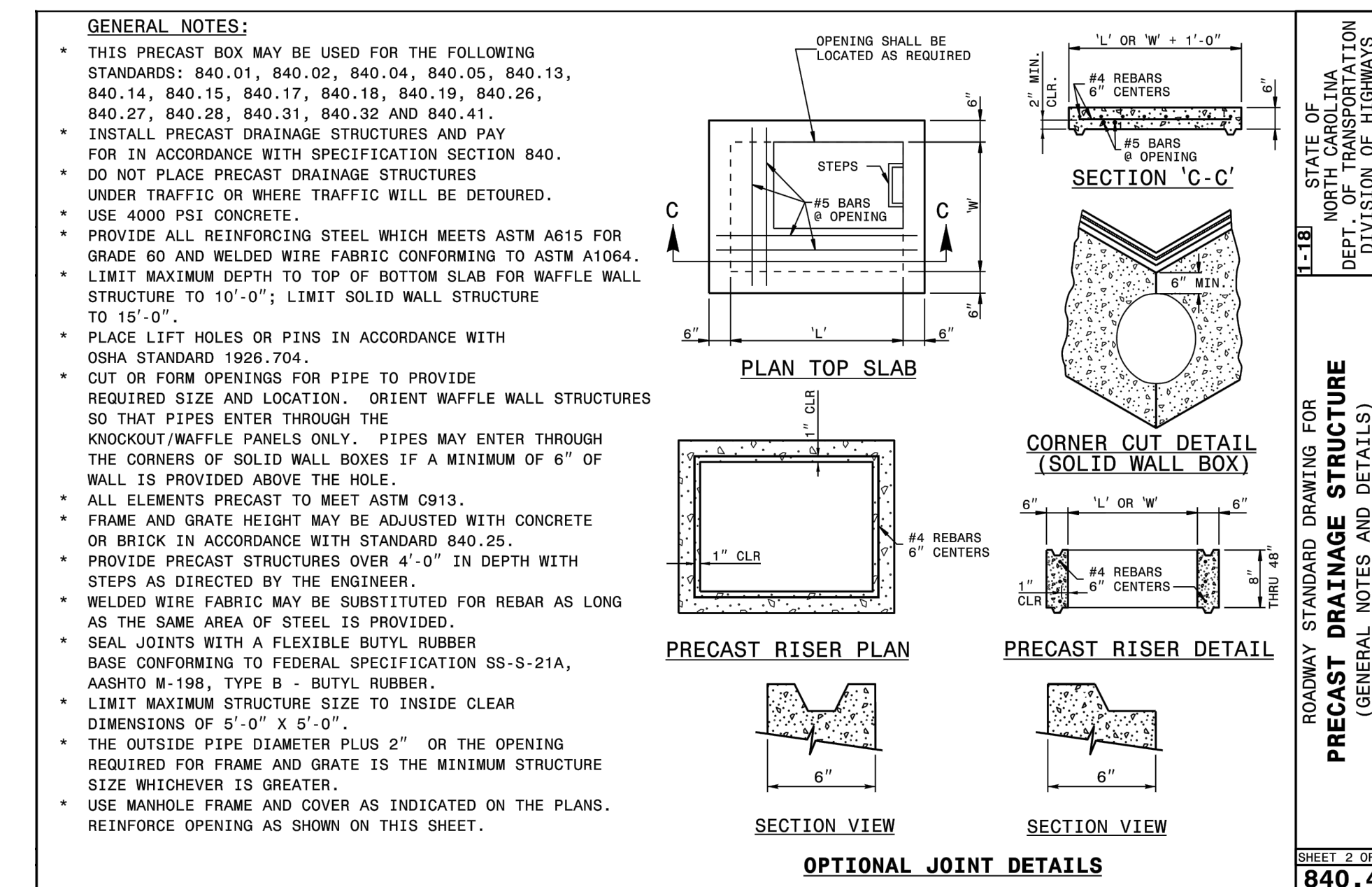
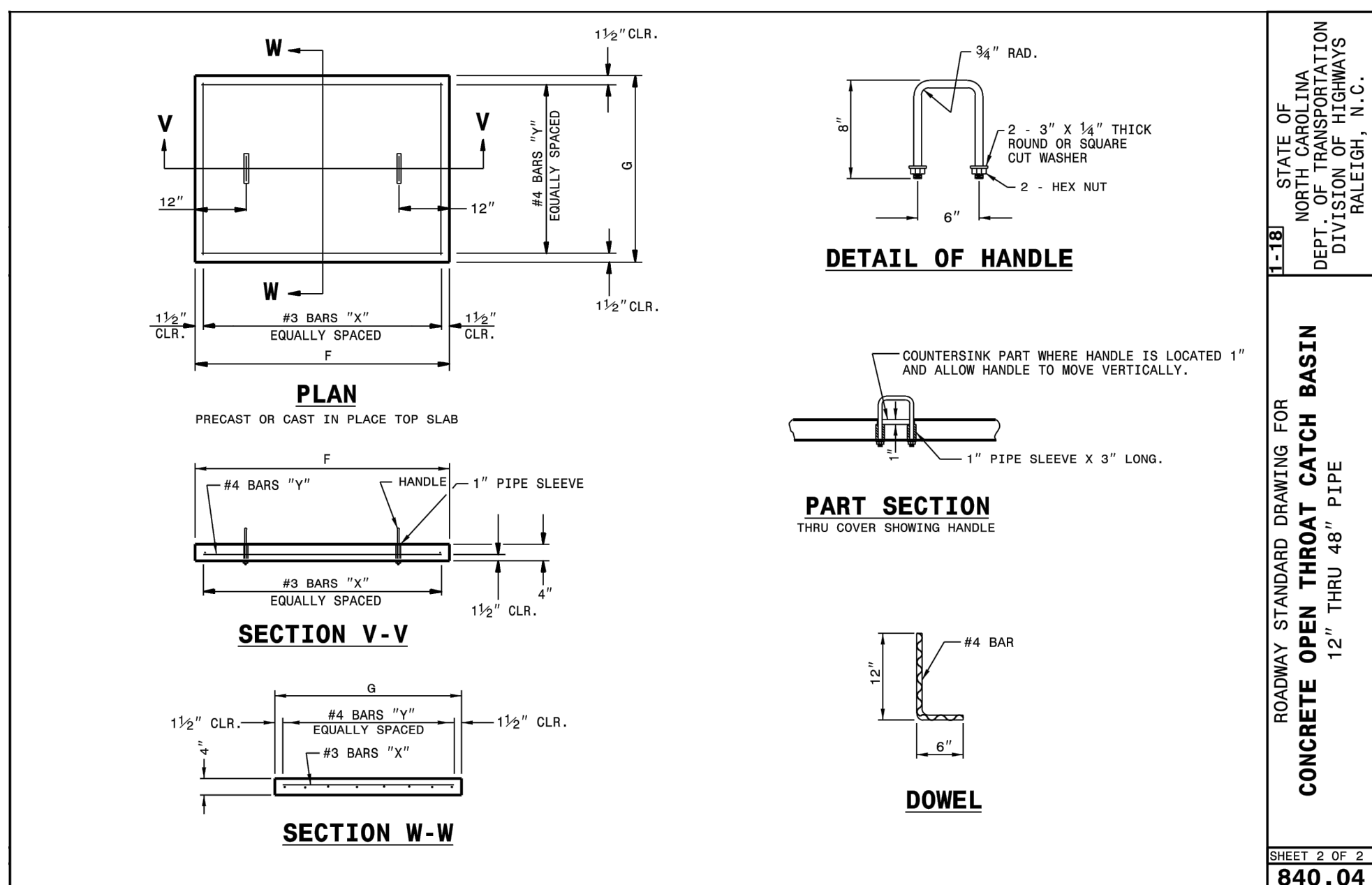
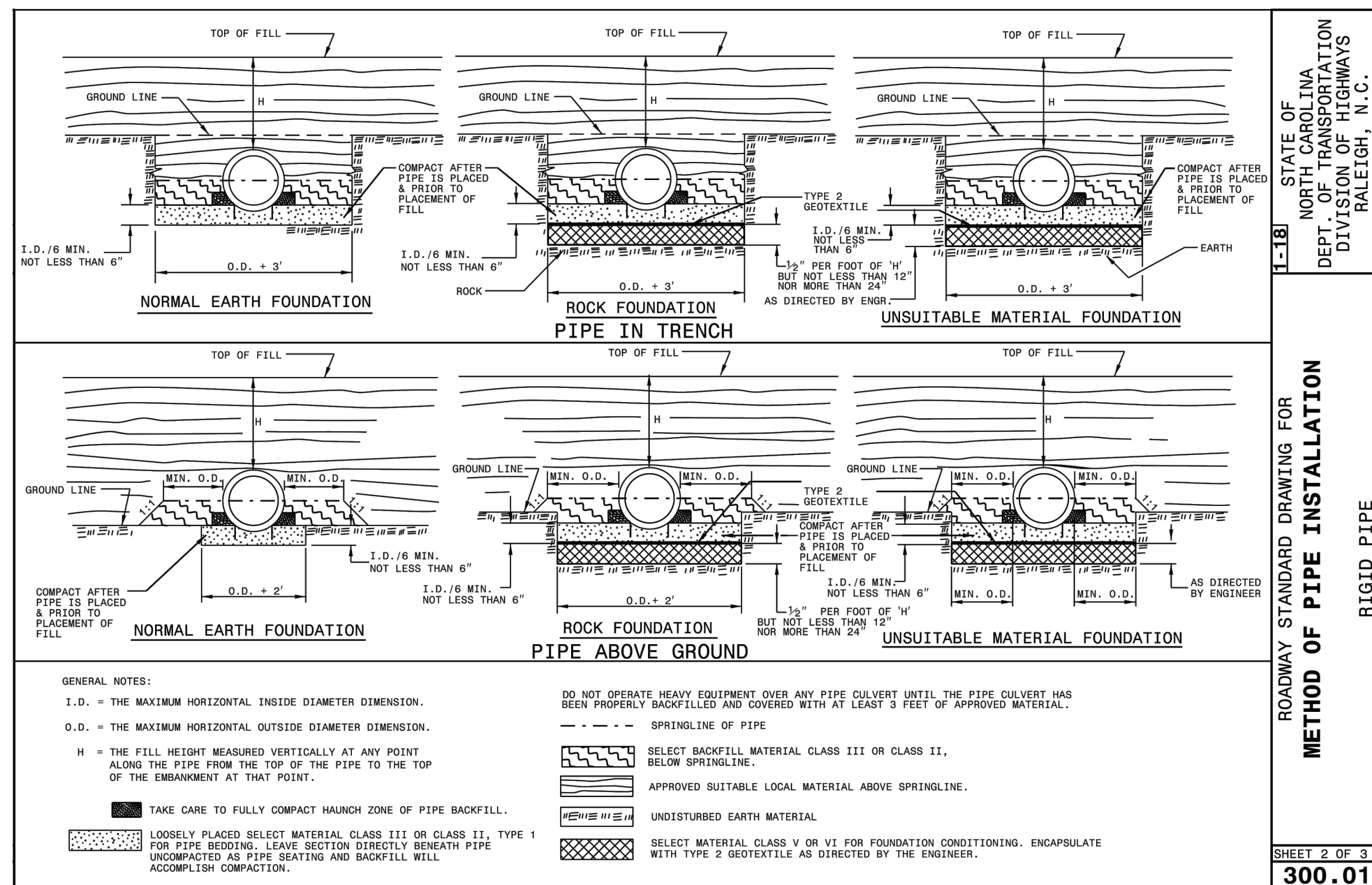
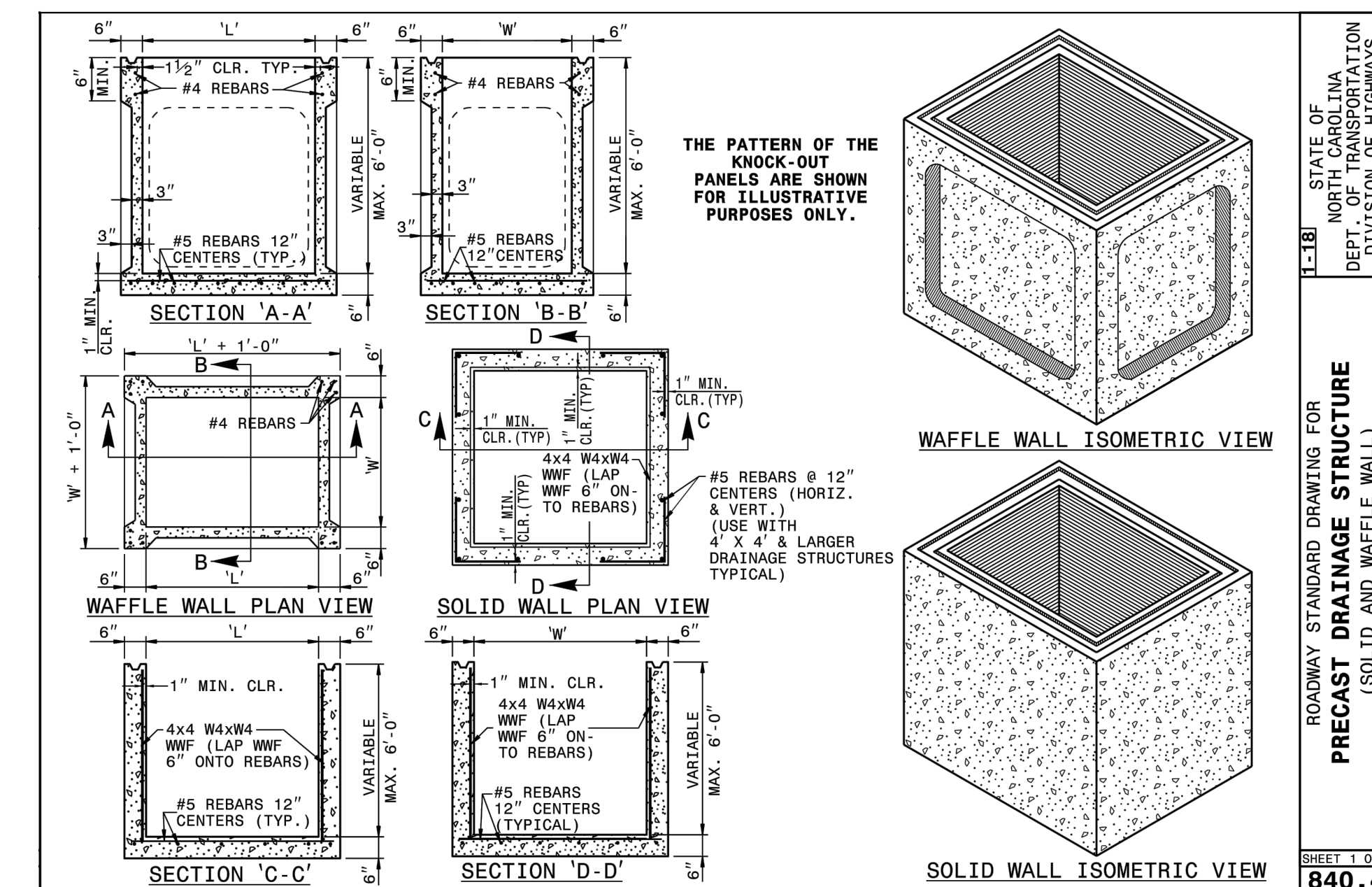
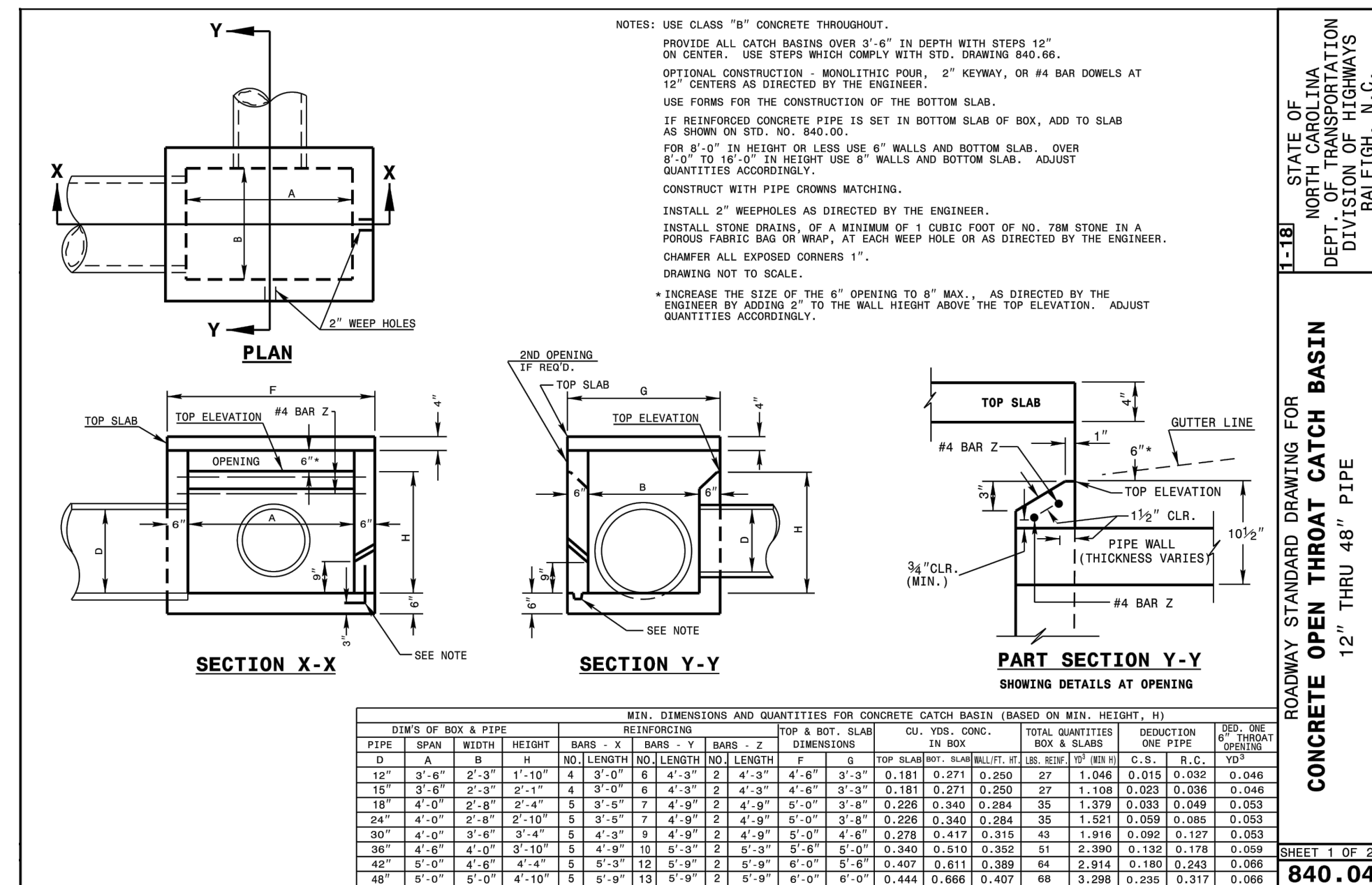
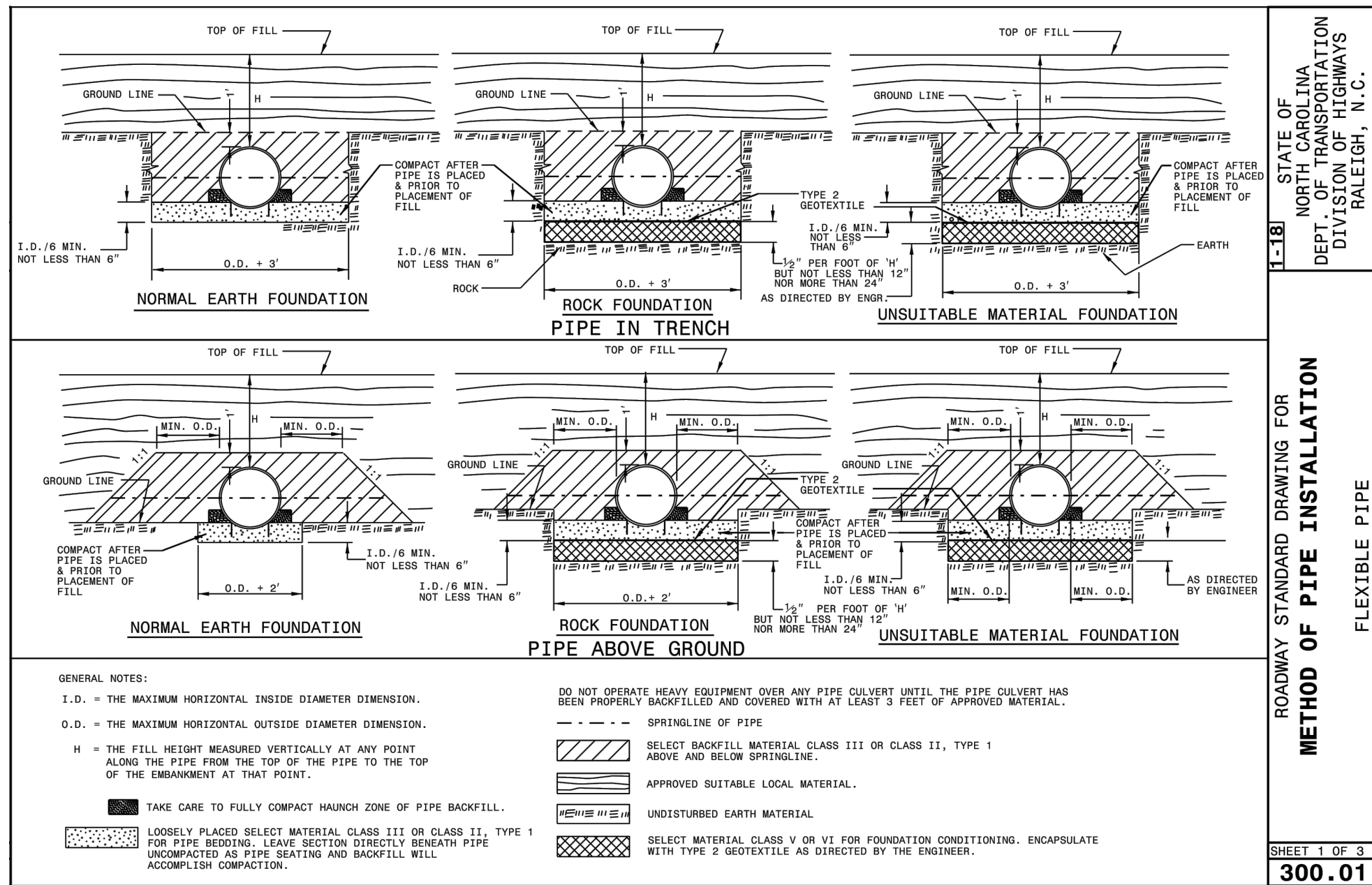
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 DRAWN BY: RCC
 CHECKED BY: GWV
 DWG No.:

**CONSTRUCTION
 DETAILS**

JOB NO. 11526
 SHEET NO. 19
 OF 21







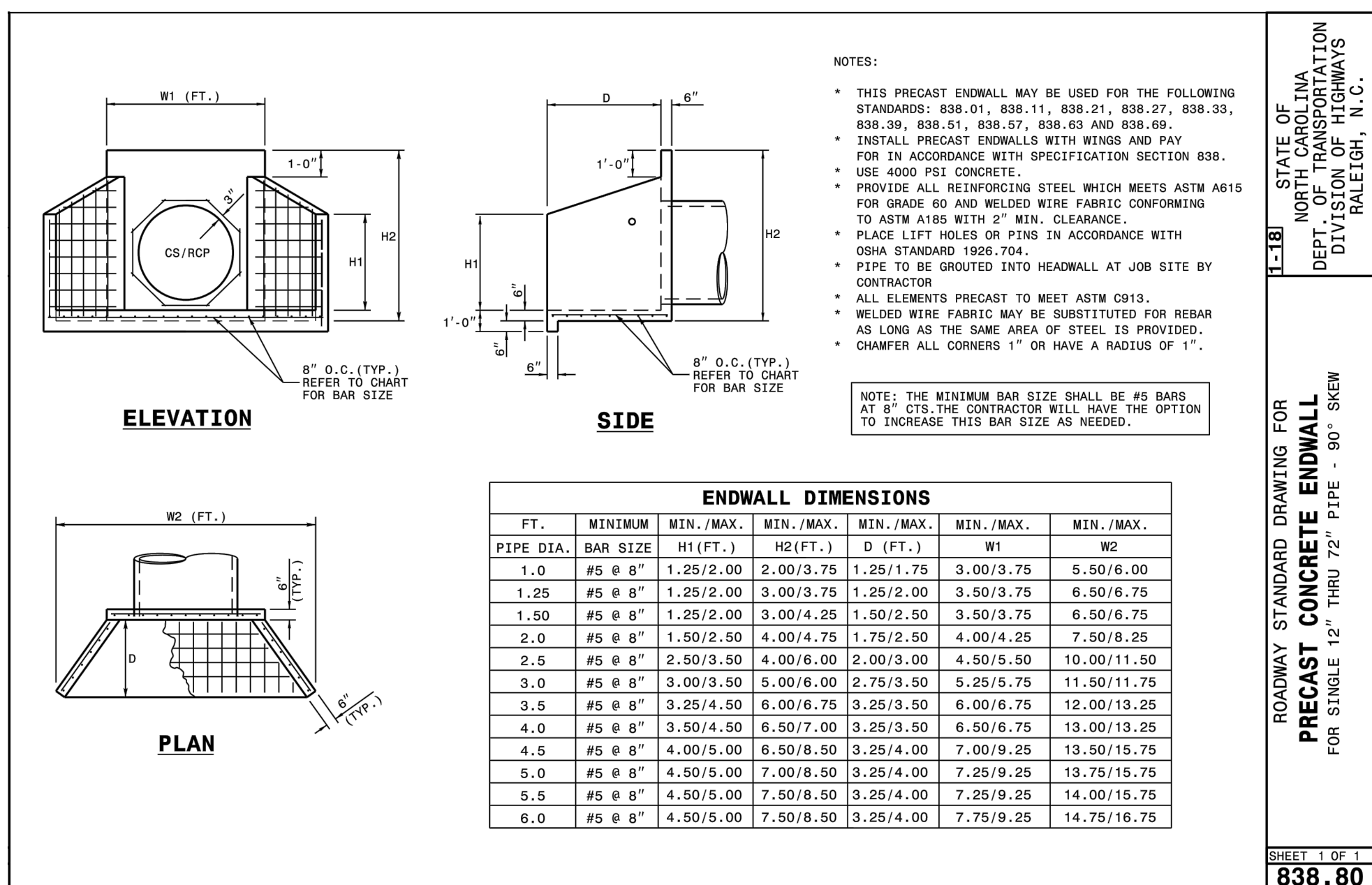
FLEXIBLE PIPE

Round Corrugated Steel Pipe			
Diameter (Inches)	Minimum cover (feet)	Maximum Height of Cover (feet)	
		18	14
12	12	204	258
15	12	182	204
18	12	158	189
21	12	145	204
24	12	100	128
30	12	79	102
36	12	65	83
42	12	55	70
48	12	48	61
54	12	44	54
60	12	39	48
66	12	34	42
72	12	30	37
78	12	27	33
84	12	24	30

Round Corrugated Aluminum Pipe			
Diameter (Inches)	Minimum cover (feet)	Maximum Height of Cover (feet)	
		18	14
12	12	123	155
15	12	98	123
18	12	81	102
21	12	69	87
24	12	60	76
27	12	53	67
30	12	47	60
36	12	40	50
42	12	35	44
48	12	31	39
54	12	27	34
60	12	24	30
66	12	21	27
72	12	19	24
78	12	17	22
84	12	15	20

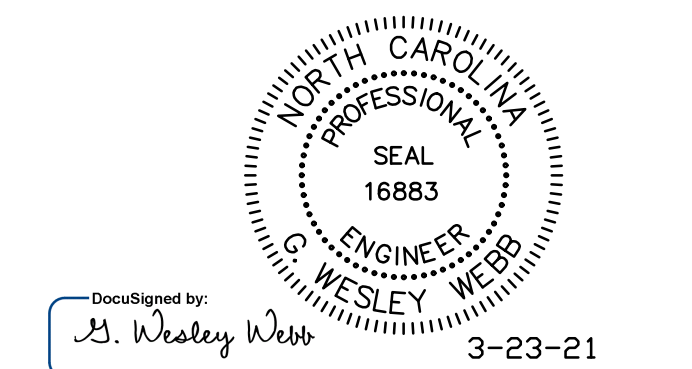
RIGID PIPE

RCP - Class IV & Class V			
Diameter (Inches)	Minimum cover (feet)	Maximum Height of Cover (feet)	
		18	14
12	12	204	258
15	12	182	204
18	12	158	189
21	12	145	204
24	12	100	128
30	12	79	102
36	12	65	83
42	12	55	70
48	12	48	61
54	12	44	54
60	12	39	48
66	12	34	42
72	12	30	37
78	12	27	33
84	12	24	30



ENDWALL DIMENSIONS

PIPE DIA.	BAR SIZE	MIN./MAX. H1 (FT.)	MIN./MAX. H2 (FT.)	MIN./MAX. D (FT.)	MIN./MAX. W1	MIN./MAX. W2
1.0	#5 @ 8"	1.25/2.00	2.00/3.75	1.25/1.75	3.00/3.75	5.50/6.00
1.25	#5 @ 8"	1.25/2.00	3.00/3.75	1.25/2.00	3.50/3.75	6.50/6.75
1.50	#5 @ 8"	1.25/2.00	3.00/4.25	1.50/2.50	3.50/3.75	6.50/6.75
2.0	#5 @ 8"	1.50/2.50	4.00/4.75	1.75/2.50	4.00/4.25	7.50/8.25
2.5	#5 @ 8"	2.50/3.50	4.00/6.00	2.00/3.00	4.50/5.50	10.00/11.50
3.0	#5 @ 8"	3.00/3.50	5.00/6.00	2.75/3.50	5.25/5.75	11.50/11.75
3.5	#5 @ 8"	3.25/4.50	6.00/6.75	3.25/3.50	6.00/6.75	12.00/13.25
4.0	#5 @ 8"	3.50/4.50	6.50/7.00	3.25/3.50	6.50/6.75	13.00/13.25
4.5	#5 @ 8"	4.00/5.00	6.50/6.50	3.25/4.00	7.00/9.25	13.50/15.75
5.0	#5 @ 8"	4.50/5.00	7.00/8.50	3.25/4.00	7.25/9.25	13.75/15.75
5.5	#5 @ 8"	4.50/5.00	7.50/8.50	3.25/4.00	7.25/9.25	14.00/15.75
6.0	#5 @ 8"	4.50/5.00	7.50/8.50	3.25/4.00	7.75/9.25	14.75/16.75



SITE DEVELOPMENT NOTES

1. General Provisions

- a. These Site Development Notes form a part of the Conditional Plan associated with the Conditional Use rezoning application filed by Vulcan Materials Company (“Applicant”) to accommodate the development of approximately 138.388 Acres of real property located off Gold Hill Road East, in Gold Hill (Cabarrus County), North Carolina for Extraction of Earth Products (“Quarry”) use, said real property being further identified as Cabarrus County PIN # 6603-26-2969 (the “Site”).
- b. Applicant proposes the rezoning of the Site from O/I (Office/Institutional) to GI-CU (General Industrial-Conditional Use). These Site Development Notes, the Site Plan (consisting of Sheets 1-21), Applicant’s rezoning application and any additions or revisions thereof, are collectively referred to as the “Rezoning Plan” or “Conditional Plan.” Development of the Site will be governed by the Rezoning Plan as well as applicable provisions of the Cabarrus County Development Ordinance (“Ordinance”).
- c. Alterations to the Conditional Plan are subject to Chapter 13 of the Ordinance.

2. Permitted Uses:

- a. Use of that portion or portions of the Site identified as Phase 1, Phase 2, Phase 3 and Phase 4 on the Site Plan (individually, a “Phase”; collectively, the “Phased Area”) shall be limited to construction of, and use as, material storage area(s) for storage of processed materials and by products from the excavation processes of the adjacent quarry (“Overburden Storage” or “Quarry use”).
- b. Use of the Site for extraction (pits) or mining operations other than Overburden Storage is prohibited.
- c. Approximately 25 acres of the Site, located to the North of Phase 4 and identified as Area 5 on the Site Plan, shall not be used for Overburden Storage, but shall remain generally in its natural condition to provide additional buffering and screening of the existing quarry operations located to the east of the Site.
- d. Subject to the phasing requirement for the Phased Area in Section 5(k) herein, Applicant reserves the right to timber those portions of the Site located outside of the 100 foot wide perimeter landscape buffer yard as shown on the Site Plan.

3. Transportation

- a. All access to and from the Site for Quarry use shall be through the adjacent quarry via an existing driveway connection to SR 1221 (Old Beatty Ford Road) in Rowan County as shown on the Site Plan.
- b. The Site also has access via an existing driveway connection on SR 2450 (Gold Hill Road East) as shown on the Site Plan. Access via the Gold Hill E. connection shall be limited to pond maintenance and emergency access.
- c. Should the Gold Hill E. access need to be used for commercial use, a driveway permit from NCDOT will be required.
- d. Access to and from the Site for timbering of the Phased Area shall be through the adjacent quarry.

4. Buffer and Landscaping:

- a. Applicant shall provide a 30 foot building setback around the perimeter of the Site as shown on the Site Plan. Applicant shall provide a 75 foot building setback from Gold Hill Road E. as shown on the Site Plan. Required setbacks are located within the applicable buffer yards as shown on the Site Plan. No buildings are proposed for the Site.
- b. Applicant shall provide and maintain a 100 foot wide perimeter landscape buffer yard between the Site and adjacent non-quarry parcels and Gold Hill E. right of way as generally shown on the Site Plan (the "Perimeter Buffer").
- c. The Perimeter Buffer shall consist of existing vegetation, said existing vegetation intended to meet or exceed applicable Ordinance requirements for visual screening and separation of uses.
- d. Applicant has identified 3 sections of the Perimeter Buffer where Applicant intends to provide additional plantings. These sections are identified as sections A, B and C on sheet 15 of the Site Plan.
- e. Quarry use of the Site shall be phased as shown on the Site Plan. The portion of the Perimeter Buffer located within a particular Phase or area identified on the Site Plan will be completed prior to commencement of any Quarry use within the Phase or area.

- f. Prior to commencement of any Quarry use within a Phase of the Site, Applicant and Planning Department will evaluate the existing vegetation within the Perimeter Buffer for said Phase. If all or portions of the existing vegetation have died, or otherwise been damaged, a supplemental plantings plan will be developed and submitted for approval to the Planning Department.
- g. In those locations identified as A, B and C on sheet 15 of the Site Plan, Applicant will supplement the existing vegetation as described in the corresponding insets shown on sheet 16 of the Site Plan, or as otherwise agreed by Applicant and Planning staff to provide visual screening and separation of uses.
- h. No perimeter landscape buffer shall be required between the Site and adjacent, existing quarry or industrial parcels.
- i. An existing approximately 20 foot (20') wide access (haul) road encroaches into portions of the perimeter landscape buffer as generally shown on the Site Plan. Upon completion of any timbering activities, Applicant shall stabilize the access road with low maintenance ground cover as described on sheet 15 of the Site Plan.
- j. Should the land use relationship between the Site and one or more abutting properties change such that a lesser buffer, or no buffer, would be required, Applicant reserves the right to reduce or eliminate the aforementioned buffer in accordance with Ordinance requirements and the limits of the development envelope may be expanded to include the former buffer area(s).
- k. Where applicable, Applicant reserves the right to use existing vegetation to meet any buffer and screening requirements.
- l. Applicant agrees to plant a row of Leyland Cypresses on the toe of slope along the perimeter of Phase 3 as shown on the Site Plan.
- m. Initial activity for each Phase will be the construction and vegetation of exterior slopes along the non-quarry perimeter of said Phase.

5. Other Conditions:

- a. There are currently no existing structures located on the Site.

- b. Storage of processed materials and by products shall not be created to a height of more than forty (40) feet, and shall be so graded that the vertical slope shall not exceed the material's natural angle of repose.
- c. There is no existing or proposed sewage disposal, solid waste, or potable water facilities on the Site.
- d. The Site has a NCDEQ mining permit (permit #13-04) and is exempt from the Sedimentation Pollution Control Act of 1973 and any requirements for sediment and erosion control plan approval.
- e. The Site has a NCDEQ/ NPDES industrial stormwater permit (NCGO 20000) for stormwater and pit discharges from this Site. Development of this Site is not expected to create any post construction impervious areas that will flow away from the pit. Due to the proposed reclamation without future impervious areas, development of this Site does not require a Phase II stormwater permit.
- f. All permanent roads, defined as those to be used in excess of one year, and located within three hundred (300) feet of existing residentially zoned land shall be surfaced with a dust free material such as soil cement, bituminous concrete, or portland cement concrete.
- g. Roads other than permanent roads shall be treated with dust inhibitors, as specified in the Operations Plan, to reduce and minimize dust generation from road surfaces from either wind or vehicular action. Properly operated water wagons and sprayer irrigation shall be an acceptable method of dust inhibition.
- h. Applicant is required by NCDEQ to maintain a reclamation bond for this Site as a condition of its mine permit. Prior to commencement of any mining operations on the Site and the release of any zoning permit(s), Applicant's engineer shall certify to the county the costs of reclamation on a per acre basis. If the reclamation costs exceed the amounts required by the state, then Applicant shall post a bond payable to Cabarrus County for the difference.
- i. The site falls on two maps. FEMA FIRM MAPS 3710660400J and 3710660200J, dated 11-5-2008. The subject property does not lie within a FEMA mapped floodplain or floodway.
- j. Applicant will outfit mobile equipment operating on the Site with white noise back-up alarms to help control sound to the extent that their use is permitted by the Mine Safety and Health Administration.

- k. Timbering of the Site will be phased to coincide with the use of a particular Phase for Quarry use. For avoidance of doubt, the aforementioned phased timbering requirement is not applicable to Area 5 as shown on the Site Plan.

6. BINDING EFFECT OF THE REZONING:

If this Rezoning Plan is approved, all conditions applicable to development of the Site imposed under the Rezoning Plan, and these Site Development Notes will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Applicant and subsequent owners of the Site and their respective successors in interest, heirs and assigns. The term "Applicant" shall mean Vulcan Materials Company, its successors in interest, and assigns.

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- d. [Subject to the phasing requirement for the Phased Area in Section 5\(k\) herein,](#) Applicant reserves the right to timber those portions of the Site located outside of the 100 foot wide perimeter landscape buffer yard as shown on the Site Plan.

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- c. There is no existing or proposed sewage disposal, solid waste, or potable water facilities on the Site.
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If this Rezoning Plan is approved, all conditions applicable to development of the Site imposed under the Rezoning Plan, and these Site Development Notes will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Applicant and subsequent owners of the Site and their respective successors in interest, heirs and assigns. The term "Applicant" shall mean Vulcan Materials Company, its successors in interest, and assigns.

PLANNING STAFF REPORT
 CABARRUS COUNTY PLANNING AND ZONING COMMISSION
 2/9/2021

Staff Use Only:
 Approved: _____
 Denied: _____
 Tabled _____

Petition: RZON2021-00001 Rezoning

Applicant Information: R. Susanne Todd, Attorney
 Johnston, Allison & Hord, P.A.
 1065 E. Morehead Street
 Charlotte, NC 28204

Owner Information: Vulcan Lands, Inc
 1200 Urban Center Drive
 Birmingham, AL 35242

Existing Zoning: OI (Office/Institutional)

Proposed Zoning: GI-CU (General Industrial – Conditional Use)

Proposed Uses: Storage of processed materials and by-products (“Overburden”) from the adjacent quarry operations, forestry operations and pond maintenance. The property owner has also submitted a site specific development plan that will be tied to the conditional use rezoning request in perpetuity.

Parcel ID Number: 6603-26-2969

Property Address: 5300 Gold Hill Road East

Area in Acres: ± 138.38

Site Description: The subject property is currently Vacant. A perennial stream (Long Creek) meanders along the north eastern border of the subject property. A large pond is located in the northern portion of the subject property. There is an existing access (for agricultural purposes) to the subject property from Gold Hill Road East. There are also connections to the subject property from the quarry operation located to the east of the subject property. There is no floodplain located on the subject property and is it not within an existing watershed.

Adjacent Land Use: North: Vacant and Industrial (Existing Quarry)
 East: Residential and Industrial (Existing Quarry)
 South: Residential
 West: Residential

Surrounding Zoning: North: Rowan County IND

East: General Industrial (GI), Agricultural/Open Space (AO) and Office/Institutional (OI)
South: Agricultural/Open Space (AO)
West: Agricultural/Open Space (AO)

Utility Service Provider: Currently, the subject property is not served by public utilities.

Exhibits

- A. Staff Report
- B. Application
- C. Site Plan
- D. Water Body Buffer Profiles
- E. Landscaping Profiles
- F. Staff Maps
- G. Operations Plan
- H. Reclamation Plan
- I. Reclamation Bond
- J. Mining Permit
- K. General Stormwater Permit
- L. Justification for Exceptions and Alternate Methods and Compliance
- M. Adjacent Property Owner & Property Owner Letters
- N. Vulcan Presentation

Intent of Zoning Districts

PROPOSED DISTRICT: GENERAL INDUSTRIAL – CONDITIONAL USE (GI-CU)

While this district permits both large and small scale industrial and office development, its primary purpose is to provide a location for large scale development. It is designed to permit a very wide variety of industrial uses which may occur both indoor and outdoor, including certain land uses which are permitted in no other zoning district because of their potential to create nuisances for adjoining properties.

RATIONALE

This district is intended to provide a location for both light and heavy industrial uses in a zoning district in which the potential for nuisance complaints from nearby properties is minimized. Certain land uses will be permitted only upon issuance of a conditional use permit. General industrial districts are compatible neighbors with the light industrial and general commercial districts. Care should be taken to site this district on major roadways or near other forms of transportation, such as rail lines, airports, etc.

CONDITIONAL USE

The property owner has requested that the subject property be limited to the storage of processed materials and by-products (“Overburden”) from the adjacent quarry operations,

forestry operations and pond maintenance. The property owner has also submitted a site specific development plan that will be tied to the conditional use in perpetuity.

OFFICE/INSTITUTIONAL

This district is intended to accommodate relatively low intensity office and institutional uses at intensities complementary to residential land use. This district serves as a transitional district between residential land uses and higher intensity non-residential land uses.

RATIONALE

This district is used to provide for low intensity office and institutional uses that can be complementary to adjacent residential land use. This district features employment options and essential services which require a moderate number of average daily trips. These uses will have a minimum impact on the surrounding area because these trips will generally occur during regular business hours, thus, not competing with residential traffic at peak hours or on weekends. This district should be located adjacent to residential districts or in areas where its use would serve as a transition between residential land uses and higher intensity non-residential land uses. Higher intensity non-residential land uses may include commercial districts, light industrial or mixed use districts. When bordering residential districts or residential developments, care should be taken to assure natural or manmade buffering and architectural compatibility so that the nonresidential activities are not a nuisance to residential use.

Agency Review Comments

Planning Review:

Staff Report, Phillip Collins, Senior Planner Cabarrus County

NCDOT Review:

No comments, Marc Morgan, NCDOT

Fire Marshal Review:

No comments, Matthew Hopkins, County Fire Marshal

EMS Review:

No comments. Justin Brines, Cabarrus County EMS Director

Sheriff's Office Review:

No comments. Ray Gilleland, Cabarrus County Sheriff's Lieutenant

Soil and Water Review:

No comments, Tammi Remsburg, Cabarrus County Resource Conservation Manager

Land Use Plan Analysis

The subject property is located adjacent to the US-52/Glenmore Road area which was included in a list of 17 sites for potential economic development opportunities in the 2006 Strategic Plan for Economic Development. The US-52/Glenmore Road area was included due to its situation (proximity to US Hwy 52 and a Rail Line) and its potential for mining and production of lightweight structural aggregate (residual dust material can be used for the production of cultured stone).

The subject property is also located within the Eastern Planning Area. The Eastern Area Plan (EAP) recommends that the northeastern portion of Cabarrus County develop as an area of Future Employment. The EAP further addresses this area as follows:

Highway 52 Corridor: Located in the Northeast portion of the planning area, this highway is planned for widening. Eventually, US 52 will be widened from I-85 in Salisbury to US 74 in Wadesboro. The first phase of this project will run from Albemarle south to Wadesboro. The second phase will run north from Albemarle to Salisbury. Given existing uses along this corridor, the portion in Cabarrus County should be reserved for industrial uses.

- Determine if an existing utility provider is willing to serve this area with utility service and/or examine the feasibility of providing utilities with wells and a modular wastewater treatment facility similar to the facility in use in Midland.
- Ensure that appropriate access management techniques are employed to ensure that the highway will function appropriately.
- Work with rail providers to serve this area with freight service and spur lines.

Conclusions

- The site is currently vacant/wooded and zoned Office/Institutional.
- Residentially zoned and used properties border the subject property to the west, south and southeast. The property is bordered by an industrial use to the east and north.
- The proposed use of extraction of earth products/mining is not permitted in the OI district. The proposed rezoning to GI-CU would allow the adjacent mining operation to use the subject property for storage of processed materials and by-products (“Overburden”) from its quarry operations. Portions of the subject property are also proposed for forestry operations and pond maintenance.
- The property owner has submitted a site specific development plan that will be tied to the use of the property in perpetuity.
 - If approved, the subject property could only be developed as presented. Any future deviations from the adopted list of uses or proposed site plan would be considered an amendment to the conditional use zoning district and would require Board review and approval.

- The proposed use of the subject property is in conformance with the proposed zoning district and the plans in place for that portion of the County. The proposed uses are permitted in the GI zoning district. Extraction of Earth Products is permitted as a conditional use.
- The proposed general industrial zoning is in keeping with the future employment recommendation of the land use plan.
- The proposed quarry use for the newly acquired property is consistent with the mining operations on adjoining properties which have existed in this area of the County for decades. Quarry related uses on the site are reasonable given the uses on the adjoining properties.
- The subject property is accessed from 5300 Gold Hill Road East and from the mining operation to the east.
- The applicant has provided a site plan that provides appropriate buffering as required by Chapter 9 of the Zoning Ordinance.
 - The applicant states that a 100' buffer will be placed along all of the property lines not adjacent to the existing quarry and it will remain undisturbed. The applicant claims that the existing vegetation within the 100' buffers is sufficient to satisfy the requirements of Chapter 9. The applicant is not proposing a landscape buffer along the property lines adjacent to the existing quarry.
- Approval of this request involve two steps:
 - The first vote is to consider whether or not to change the zoning classification for the property and is a legislative action.
 - The second vote is to consider the site specific development plan and proposed conditions of approval. This is a quasi-judicial action.

Conditions of Approval

Should the Planning and Zoning Commission grant approval of the rezoning and consider issuing the Conditional Use Permit, Staff requests the following conditions become part of the approval and case record:

1. Granting order, stating restrictions and applicable conditions of approval shall be recorded with the deed for the property. (Planning)
2. Any changes to the approved site plan must receive Board of Adjustment approval in the form of an amendment to the Conditional Use Permit. (Planning)
3. Copies of any state, local, and/or federal permits related to the use of the subject property shall be submitted to the Planning Department as part of the permanent project file. (Planning)
4. Applicant must comply with the terms of NCDEQ/NPDES Industrial Stormwater Permit NCGO 20000 and NCDEQ Mining Permit 13-04. (NCDEQ)

5. Applicant is proposing to use existing landscape to meet required landscape buffers. Where there are gaps in planting areas or planting areas do not conform to ordinance requirements, applicant shall provide supplemental plantings as needed to obtain ordinance conformance. (Zoning)
6. Applicant shall provide a copy of the Reclamation Bond where the Obligee is NCDENR to accompany Surety Rider that was submitted.
7. Applicant shall provide a copy of the survey at a scale of 1:100 at the time of zoning site plan review.



CONDITIONAL USE REZONING APPLICATION

STAFF USE ONLY:

Application/Accela#: _____

Received By: _____

Date Filed: _____

Amount Paid: _____

INSTRUCTIONS/PROCEDURES:

1. Schedule a pre-application meeting with Staff to discuss the procedures and requirements for a conditional use rezoning request.
2. Submit a complete application to the Planning Division. All applications must include the following:
 - Cabarrus County Land Records printout of all adjacent property owners. This includes properties located across the right-of-way and all on-site easement holders. The list must include owner name, address, and Parcel Identification Number.
 - A recent survey or legal description of the property or area of the property to be considered for rezoning.
 - 15 folded copies of the proposed site plan.
 - Any additional documents essential for the application to be considered complete. (Determined at pre-application meeting)
3. Submit cash, check, or money order made payable to Cabarrus County.
 - Fees: Conditional Use Rezoning \$650.00 for 1st acre
 - Plus \$15.00 per acre
 - (Plus cost of advertising and engineering fees if applicable)
 - (if a 3rd submittal is required, an additional review fee will be assessed)

The deadline for submittal is always the same day as the Planning and Zoning Commission Meeting which is the second Tuesday of the month. Applications must be submitted before 2:00 PM that day for consideration on the next available agenda.

Incomplete applications will be returned to the applicant and will not be processed.

PROCESS SUMMARY:

1. Hold a pre-application meeting with Staff to discuss your rezoning request and the map amendment process.
2. Submit a complete application with the appropriate fees to the Cabarrus County Planning Division.

Staff and appropriate agents will review your complete application and site plan and comments will be forwarded to you. You will need to address the comments in writing, revise the site plan accordingly and resubmit a site plan showing that comments are addressed and errors corrected.

3. Once advised that the site plan is correct and ready to be presented to the Planning and Zoning Commission, you will need to submit 18 folded copies of the plan.
4. When the copies of the plan are received, Staff will begin to prepare a staff report, schedule a public meeting date and notify adjacent property owners of the public meeting/public hearing date. A sign advertising the public hearing will also be placed on the property being considered for the conditional use rezoning.

Meeting Information: Meetings are held the second Tuesday of each month at 6:30 PM in the Cabarrus County Governmental Center located in downtown Concord at 65 Church Street, SE.

The Conditional Use Rezoning process includes two separate votes:

1. The Commission will consider the proposed rezoning to determine if it is appropriate.
2. The Commission will consider issuing the Conditional Use Permit and approving the site plan.

Expedited Vote: A vote of ¾ or more of the members of the Planning and Zoning Commission is considered an Expedited Vote and will constitute a final decision for the rezoning portion of the case. If approval or denial of a rezoning request is by a vote of less than ¾ of the members, or if an appeal of the decision is filed within 15 days of the date of the decision, the application will automatically be forwarded to the Board of Commissioners for final consideration at a *de novo* hearing.

Conditional Use Permit: The Conditional Use Permit will be considered as a second step in the conditional use rezoning process. Additional conditions may be added as part of the Conditional Use Permit approval process.

Questions: Any questions related to rezoning your property or to the rezoning process may be directed to the Planning Division at 704-920-2141, between 8 AM and 5 PM, Monday through Friday.

SUBJECT PROPERTY INFORMATION:

Street Address 5300 Gold Hill Road E., Gold Hill NC
PIN(s) (10 digit #) 6603 -- 26 -- 2969 ; -- --
Deed Reference Book 11711 Page 0048

DESCRIPTION OF SUBJECT PROPERTY:

Size (square feet or acres) +/- 138.3800 acres ("site")
Street Frontage (feet) _____
Current Land Use of Property Agricultural/vacant. The Site is largely undisturbed, vacant, wooded land.
Surrounding Land Use
North Industrial/vacant
South Agriculture/vacant
East Quarry/Industrial/Agriculture
West Agriculture/vacant

REQUEST:

Change Zoning From OI To GI-CU

Purpose for Request

To allow Applicant, Vulcan Materials Company to use the site for extraction of earth products ("quarry use"), said use to be limited to storage of processed materials and by-products ("Overburden") from the adjacent quarry operations.
Forestry operations (agriculture) and pond maintenance are also allowed.

UTILITY SERVICE:

Water Supply Well or _____ Service Provider _____
Wastewater Treatment Septic Tank(s) or _____ Service Provider _____
-

Proposed Land Use(s): _____

Extraction of Earth Products ("Quarry") limited to overburden storage, forestry operations and pond maintenance.

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Conditions of Approval:

The Site will be limited in use to storage of processed materials and by products from excavation of adjacent quarry.

No rock excavation is proposed for this Site.

Portion of Site will remain in its existing natural state, subject to use for forestry operations and pond maintenance.

A 100 foot perimeter landscape buffer yard of existing vegetation is proposed against adjacent non-quarry parcels instead of the required 75 foot landscape buffer yard.

Along Gold Hill Road E., a 100 foot street yard buffer is proposed instead of the required 10 foot street yard buffer.

I do hereby certify that all information which I have provided for this application is, to the best of my knowledge, correct.

PROPERTY OWNER

Brian Pace, Vice President, Vulcan Lands, Inc.

NAME

1200 Urban Center Drive

ADDRESS

Birmingham, AL 35242

CITY, STATE, ZIP CODE

PHONE NUMBER

FAX NUMBER

E-MAIL ADDRESS

Signature of Owner:



Date:

11-3-2020

Signature of Developer/Agent:



Date:

12/15/20

PROPERTY DEVELOPER/AGENT

R. Susanne Todd, Johnston, Allison & Hord, P.A.

NAME

1065 E. Morehead St.

ADDRESS

Charlotte, NC 28204

CITY, STATE, ZIP CODE

704-332-1181

PHONE NUMBER

(704 - 998 - 2306)

704-376-1628

FAX NUMBER

stodd@jahlaw.com

E-MAIL ADDRESS

SUPPLEMENTAL INFORMATION – VULCAN MATERIALS COMPANY
APPLICATION FOR CONDITIONAL USE REZONING
EXTRACTION OF EARTH PRODUCTS

In accordance with Chapter 8 of the Cabarrus County Zoning Ordinance, Vulcan Materials Company (“Vulcan”) offers the following supplemental information in support of its Application for a conditional use rezoning for use of that 138.8 Acre site identified as Cabarrus County PIN#6603- 26-2969 in its application dated December 18, 2020 to store processed material and by-products from the extraction of earth products (the “Site”).

OPERATIONS PLAN

I. Date Operations Begin and their Expected Duration:

The Site will be used to store processed materials or by-products (collectively known as "overburden") of the excavation processes taking place on contiguous sites. The Site will also be used for Forestry operations. Excavation on adjacent properties is already in process and already producing overburden. The Site to be used to store processed materials and by-products will be used immediately for that purpose as excavation takes place on lands adjacent to it.

II. Proposed hours and days of operations.

The existing extractive use operation located contiguous to the Site may operate 24 hours 7 days a week without restrictions. Vulcan proposes to limit operations on the Site to between the hours of 6:00 a.m. to 8:00 p.m. Monday through Saturday and 7:00 a.m. to 6:00 p.m. on Sunday with the exception if we are required to supply materials needed for NCDOT construction or maintenance work that specifies alternative delivery times because of traffic control or other factors. In this case, Vulcan will utilize the Site to store the processed material and by-products from the extraction processes during the same hours.

III. Estimated type and volume of extraction.

No extraction activities are proposed for this Site.

IV. Description of method of operation, including the disposition of topsoil, overburden and any by-products.

By its very nature, mining (extraction) takes place in a natural progression with the initial installation of erosion/sediment control structures as specified in our state mining permit followed by the removal and stockpiling of the soil and soft rock (collectively known as "overburden") overlying the hard rock deposit. Once exposed, the rock is excavated in a series of lifts or benches. In broad terms, the depth of the excavation is limited by the aerial extent of the property contained in the mining permit boundary.

Permanent storage of processed materials or by-products of the crushing process is currently proposed for this Site. Storage of spoil piles and other accumulations of by-products shall not be created to a height of more than forty (40) feet above the original contour and shall be so graded that the vertical slope shall not exceed the material's natural angle of repose.

V. Description of equipment to be used in the excavation process.

No excavation activities are proposed for this Site.

Basic earth moving equipment consisting of off road haul trucks, bulldozers, and pans will be used to transport the overburden to the Site. Logging trucks will be used for removal of trees and other debris in connection with Forestry operations that are also proposed for a portion of Site.

VI. Any phasing of the operations and the relationship among the various phases.

The Site will be used to store overburden from the excavation processes on adjacent properties. Use of the Site for storage of overburden will be phased as shown on the Site Plan. Vulcan anticipates initial operations will move across this parcel being used for overburden over time based upon the market demands for construction aggregate products in the region.

SUPPLEMENTAL INFORMATION – VULCAN MATERIALS COMPANY
APPLICATION FOR CONDITIONAL USE REZONING
EXTRACTION OF EARTH PRODUCTS

In accordance with Chapter 8 of the Cabarrus County Zoning Ordinance, Vulcan Materials Company (Vulcan) offers the following supplemental information in support of its Application for a conditional use rezoning for use of that 138.8 Acre site identified as Cabarrus County PIN#6603- 26-2969 in its application dated December 18, 2020 to store processed material and by-products from the extraction of earth products (the "Site").

REHABILITATION/RECLAMATION PLAN

Statement of planned rehabilitation of the excavated land including detailed methods of accomplishment and planned future use of the rehabilitated land.

See Reclamation Plan on Rezoning Site Plan for details. Please also see approved Mining Permit modified September 30, 2020 to include the Site (as modified, the "Mining Permit"). The Mining Permit includes the Approved Reclamation Plan for the Gold Hill Quarry.

Reclamation at Gold Hill Quarry is an ongoing process. Through on-site inspections, Vulcan Materials Company monitors, on a periodic basis, the Site for areas that may need maintenance or construction of additional erosion and other control measures. The areas of the Site identified to be used for overburden storage, will be sloped for drainage, contoured, graded and vegetated pursuant to the approved seed mix. All fill slopes are to be constructed with 2:1 slopes or flatter. The slopes are to be seeded with approved seed mix and stabilized. The Revegetation Plan is set forth within the Mining Permit, pages 13-14.

A map showing the final topography, after rehabilitation, to the same scale as the Site plan. It shall also depict any water areas and methods of preventing stagnation and pollution, landscaping and ground cover proposed to be installed and the amount and type of any backfill, if any, to be employed.

See Site Plan.

A phasing and timing plan, related to the phasing and timing portion of the Operations Plan, showing the progression of the rehabilitation and the date to be completed.

Please see Phases 1-4 as identified on the Site Plan. The Site should provide storage space for the operation of the Gold Hill Quarry in excess of 50 years. Reclamation of the parcel will be conducted contemporaneously with mining at the adjacent properties to the extent feasible and will be completed once the parcel is no longer used for overburden.

The method of disposing of all equipment, structures, dikes and spoil piles associated with the operations.

All equipment and structures, if any, will be removed from the Site and all spoil piles will be

covered with topsoil, seeded, and a permanent ground cover established. Proposed reclamation plan once excavation and operations are terminated is to restore the land to vegetation pursuant to the Revegetation Plan.

A written legal description or survey of the Site, prepared by a North Carolina registered land surveyor of engineer is included with the Site Plan.


A copy of the legal description is included on the site plan.

The name, address and signature of land owners and applicants. Provided in the application form.

[SIGNATURES ON THE FOLLOWING PAGE]


APPLICANT:

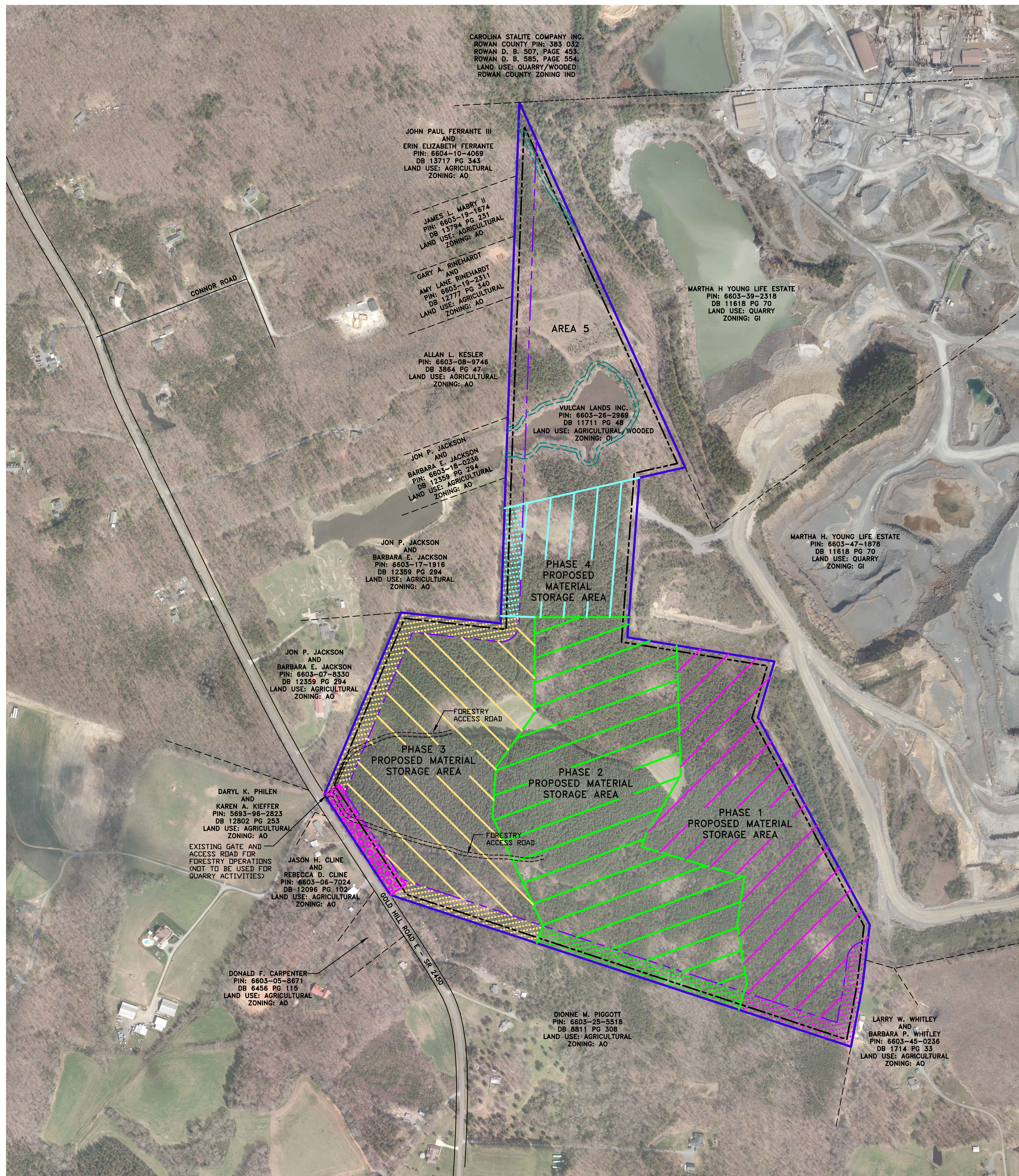
VULCAN MATERIALS COMPANY
4401 North Patterson Avenue
Winston Salem NC 27105

BY: Brian Pace 
ITS: President, Mideast Division

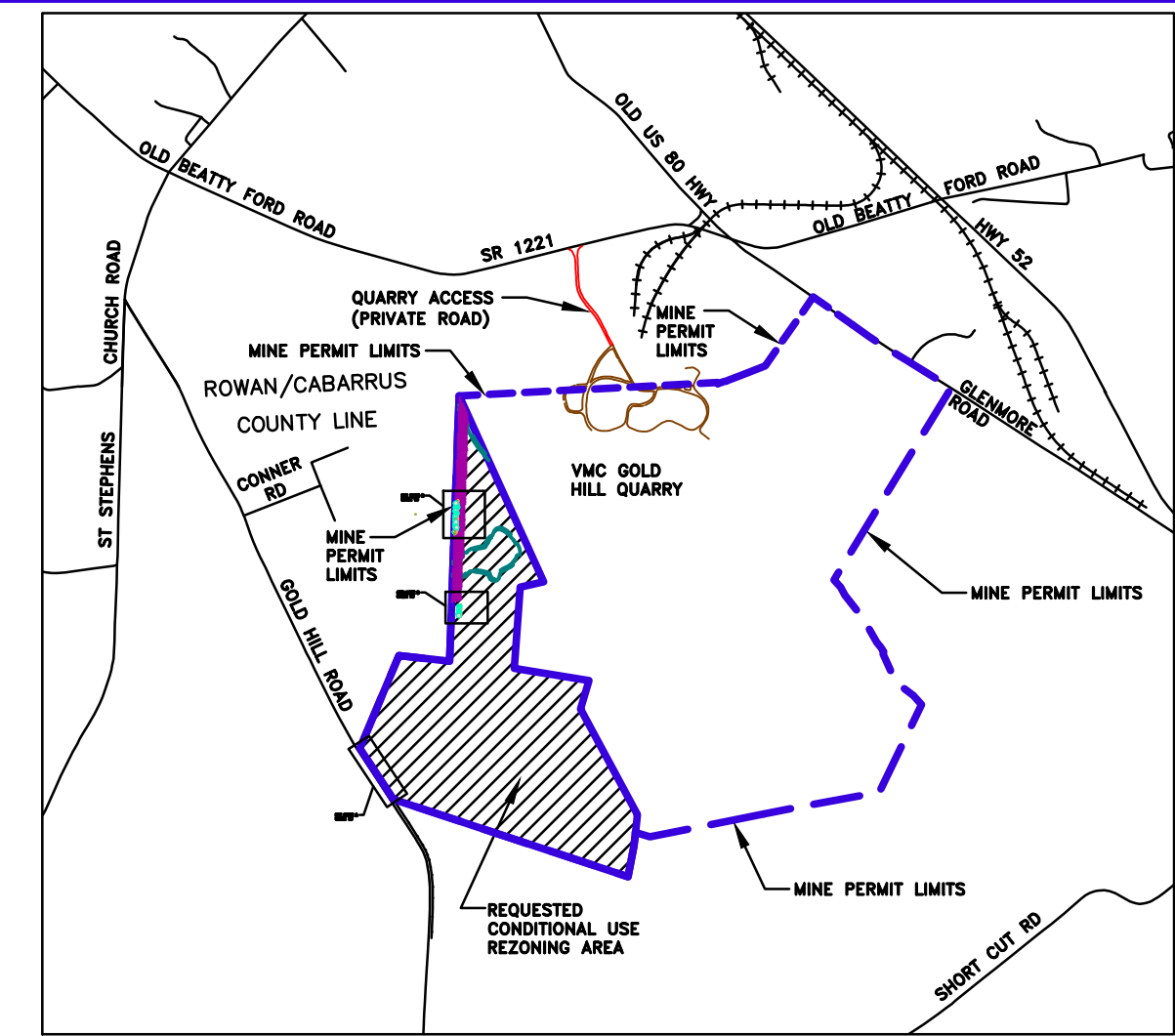
PROPERTY OWNER:

VULCAN LANDS, INC.
1200 Urban Center Drive
FAS 1401-843
Birmingham, AL 35242

BY: Brian Pace 
ITS: Vice President



FEMA FLOODPLAIN NOTES:
 THE SITE IS LOCATED ON FEMA FIRM MAP PANELS 3710660400J AND 3710660200J, DATED 11-5-2008. THE SUBJECT PROPERTY DOES NOT LIE WITHIN A FEMA MAPPED FLOODPLAIN OR FLOODWAY.



SHEET LEGEND

SITE MAP	SHEET 1	PHASE 3 GRADING PLAN	SHEET 12
SITE DEVELOPMENT NOTES	SHEET 2	PHASE 4 GRADING PLAN	SHEET 13
PROPERTY SURVEY	SHEET 3	FINAL SITE GRADING	SHEET 14
SITE PLAN	SHEET 4	BUFFER PLAN SHEET 1	SHEET 15
SITE PLAN	SHEET 5	BUFFER PLAN SHEET 2	SHEET 16
SITE PLAN	SHEET 6	DETAILS	SHEET 17
SITE PLAN	SHEET 7	DETAILS	SHEET 18
RECLAMATION PLAN	SHEET 8	DETAILS	SHEET 19
RECLAMATION PLAN	SHEET 9	DETAILS	SHEET 20
PHASE 1 GRADING PLAN	SHEET 10	DETAILS	SHEET 21
PHASE 2 GRADING PLAN	SHEET 11		

MINE LEGEND

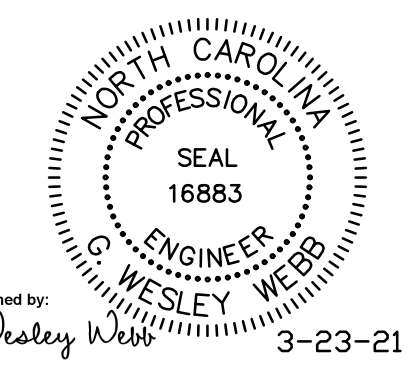
VULCAN LANDS INC PROPERTY LINE	
ADJACENT PROPERTY LINE	
100' UNDISTURBED CLEARING LIMITS	
CABARRUS CO. ZONING BUILDING SETBACK	
WATERBODY BUFFER ZONE BUFFER	
WATERBODY BUFFER ZONE NO BUILD BUFFER	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
PROPOSED 100' PERIMETER LANDSCAPE BUFFER YARD	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
AREA 5	
STREET YARD LANDSCAPED BUFFER	

SITE DATA:
 PROPERTY INFORMATION: PIN: 6603-26-2969
 PROPERTY ADDRESS: 5300 GOLD HILL RD E
 DEED REFERENCE: DEED BOOK 11711 PAGE 48
 TOTAL AREA: 138.388 ACRES (6,028,181 SF)
 OWNER: VULCAN LANDS INC.
 1200 URBAN CENTER DR
 BIRMINGHAM, AL 35242
 336-767-4600

CURRENT ZONING: OI (OFFICE/INSTITUTIONAL)
PROPOSED ZONING: GI-CU (GENERAL INDUSTRIAL - CONDITIONAL USE)
CURRENT LAND USE: AGRICULTURAL/WOODED
PROPOSED LAND USE: MATERIAL STORAGE OF EARTH PRODUCTS (QUARRY), FORESTRY (AGRICULTURE)

PROPOSED BUILDINGS: NONE
FRONT SETBACK: 75 FEET
REAR/SIDE SETBACK: 30 FEET
APPLICANT: VULCAN MATERIALS COMPANY
 4401 NORTH PATTERSON AVE,
 WINSTON SALEM, NC 27105
 336-767-4600

CIVIL ENGINEER: G. WESLEY WEBB, PE
 ALLEY, WILLIAMS, CARMEN & KING, INC.
 120 SOUTH MAIN STREET
 KANNAPOLIS, NC 28081
 704-938-1515



REV#1 PER CABARRUS COUNTY 3-23-21

	alley, williams, carmen, & king, inc.	SCALE	DATE: 12-18-20
	CONSULTING ENGINEERS	VARIABLES	DRAWN BY: RCC
	FIRM LICENSE No. F-0203	PROFILE	CHECKED BY: GWV
	120 SOUTH MAIN STREET KANNAPOLIS, NC 28082	P.O. BOX 1248 704/938-1515	VERIFIED

2020 CONDITIONAL USE REZONING REQUEST		JOB NO.	11526
GOLD HILL QUARRY		SHEET NO.	1
VULCAN MATERIALS COMPANY		OF:	21
5300 GOLD HILL RD E., GOLD HILL, NC 28071		SITE MAP	

SITE DEVELOPMENT NOTES

1. General Provisions

- a. These Site Development Notes form a part of the Conditional Plan associated with the Conditional Use rezoning application filed by Vulcan Materials Company ("Applicant") to accommodate the development of approximately 138.388 Acres of real property located off Gold Hill Road East, in Gold Hill (Cabarrus County), North Carolina for Extraction of Earth Products ("Quarry") use, said real property being further identified as Cabarrus County PIN # 6603-26-2969 (the "Site").
- b. Applicant proposes the rezoning of the Site from O/I (Office/Institutional) to GI-CU (General Industrial-Conditional Use). These Site Development Notes, the Site Plan (consisting of Sheets 1-21), Applicant's rezoning application and any additions or revisions thereof, are collectively referred to as the "Rezoning Plan" or "Conditional Plan." Development of the Site will be governed by the Rezoning Plan as well as applicable provisions of the Cabarrus County Development Ordinance ("Ordinance").
- c. Alterations to the Conditional Plan are subject to Chapter 13 of the Ordinance.

2. Permitted Uses:

- a. Use of the Site shall be limited to construction of, and use as, material storage area(s) for storage of processed materials and by products from the excavation processes of the adjacent quarry ("Overburden Storage").
- b. Use of the Site for extraction (pits) or mining operations other than Overburden Storage is prohibited.
- c. Approximately 25 acres of the Site, located to the North of Phase 4 and identified as Area 5 on the Site Plan, shall not be used for Overburden Storage, but shall remain generally in its natural condition to provide additional buffering and screening of the existing quarry operations located to the east of the Site.
- d. Applicant reserves the right to timber those portions of the Site located outside of the 100 foot wide perimeter landscape buffer yard as shown on the Site Plan.

3. Transportation

- a. All access to and from the Site for Quarry use shall be through the adjacent Quarry via an existing driveway connection to SR 1221 (Old Beatty Ford Road) in Rowan County as shown on the Site Plan.
- b. The Site also has access via an existing driveway connection on SR 2450 (Gold Hill Road East) as shown on the Site Plan. Access via the Gold Hill E. connection shall be limited to forestry operations, pond maintenance, and emergency access.
- c. Should the Gold Hill E. access need to be used for commercial use, a driveway permit from NCDOT will be required.

4. Buffer and Landscaping:

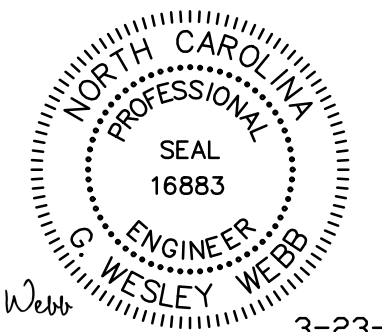
- a. Applicant shall provide a 30 foot building setback around the perimeter of the Site as shown on the Site Plan. Applicant shall provide a 75 foot building setback from Gold Hill Road E. as shown on the Site Plan. Required setbacks are located within the applicable buffer yards as shown on the Site Plan. No buildings are proposed for the Site.
- b. Applicant shall provide and maintain a 100 foot wide perimeter landscape buffer yard between the Site and adjacent non-quarry parcels and Gold Hill E. right of way as generally shown on the Site Plan (the "Perimeter Buffer").
- c. The Perimeter Buffer shall consist of existing vegetation, said existing vegetation intended to meet or exceed applicable Ordinance requirements for visual screening and separation of uses.
- d. Applicant has identified 3 sections of the Perimeter Buffer where Applicant intends to provide additional plantings. These sections are identified as sections A, B and C on sheet 15 of the Site Plan.
- e. Quarry use of the Site shall be phased as shown on the Site Plan. The portion of the Perimeter Buffer located within a particular phase or area identified on the Site Plan will be completed prior to commencement of any Quarry use within the phase or area.
- f. Prior to commencement of any Quarry use within a phased area of the Site, Applicant and Planning Department will evaluate the existing vegetation within the Perimeter Buffer for said phase. If all or portions of the existing vegetation have died, or otherwise been damaged, a supplemental plantings plan will be developed and submitted for approval to the Planning Department.
- g. In those locations identified as A, B and C on sheet 15 of the Site Plan, Applicant will supplement the existing vegetation as described in the corresponding insets shown on sheet 16 of the Site Plan, or as otherwise agreed by Applicant and Planning staff to provide visual screening and separation of uses.
- h. No perimeter landscape buffer shall be required between the Site and adjacent, existing quarry or industrial parcels
- i. An existing approximately 20 foot (20') wide access (haul) road encroaches into portions of the perimeter landscape buffer as generally shown on the Site Plan. Upon completion of any timbering activities, Applicant shall stabilize the access road with low maintenance ground cover as described on sheet 15 of the Site Plan
- j. Should the land use relationship between the Site and one or more abutting properties change such that a lesser buffer, or no buffer, would be required, Applicant reserves the right to reduce or eliminate the aforementioned buffer in accordance with Ordinance requirements and the limits of the development envelope may be expanded to include the former buffer area(s).
- k. Where applicable, Applicant reserves the right to use existing vegetation to meet any buffer and screening requirements.

5. Other Conditions:

- a. There are currently no existing structures located on the Site.
- b. Storage of processed materials and by products shall not be created to a height of more than forty (40) feet, and shall be so graded that the vertical slope shall not exceed the material's natural angle of repose.
- c. There is no existing or proposed sewage disposal, solid waste, or potable water facilities on the Site.
- d. The Site has a NCDEQ mining permit (permit #13-04) and is exempt from the Sedimentation Pollution Control Act of 1973 and any requirements for sediment and erosion control plan approval.
- e. The Site has a NCDEQ/ NPDES industrial stormwater permit (NCGO 20000) for stormwater and pit discharges from this Site. Development of this Site is not expected to create any post construction impervious areas that will flow away from the pit. Due to the proposed reclamation without future impervious areas, development of this Site does not require a Phase II stormwater permit.
- f. All permanent roads, defined as those to be used in excess of one year, and located within three hundred (300) feet of existing residentially zoned land shall be surfaced with a dust free material such as soil cement, bituminous concrete, or portland cement concrete.
- g. Roads other than permanent roads shall be treated with dust inhibitors, as specified in the Operations Plan, to reduce and minimize dust generation from road surfaces from either wind or vehicular action. Properly operated water wagons and sprayer irrigation shall be an acceptable method of dust inhibition.
- h. Applicant is required by NCDEQ to maintain a reclamation bond for this Site as a condition of its mine permit. Prior to commencement of any mining operations on the Site and the release of any zoning permit(s), Applicant's engineer shall certify to the county the costs of reclamation on a per acre basis. If the reclamation costs exceed the amounts required by the state, then Applicant shall post a bond payable to Cabarrus County for the difference.
- i. The site falls on two maps. FEMA FIRM MAPS 3710660400J and 3710660200J, dated 11-5-2008. The subject property does not lie within a FEMA mapped floodplain or floodway.

6. BINDING EFFECT OF THE REZONING:

If this Rezoning Plan is approved, all conditions applicable to development of the Site imposed under the Rezoning Plan, and these Site Development Notes will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Applicant and subsequent owners of the Site and their respective successors in interest, heirs and assigns. The term "Applicant" shall mean Vulcan Materials Company, its successors in interest, and assigns.




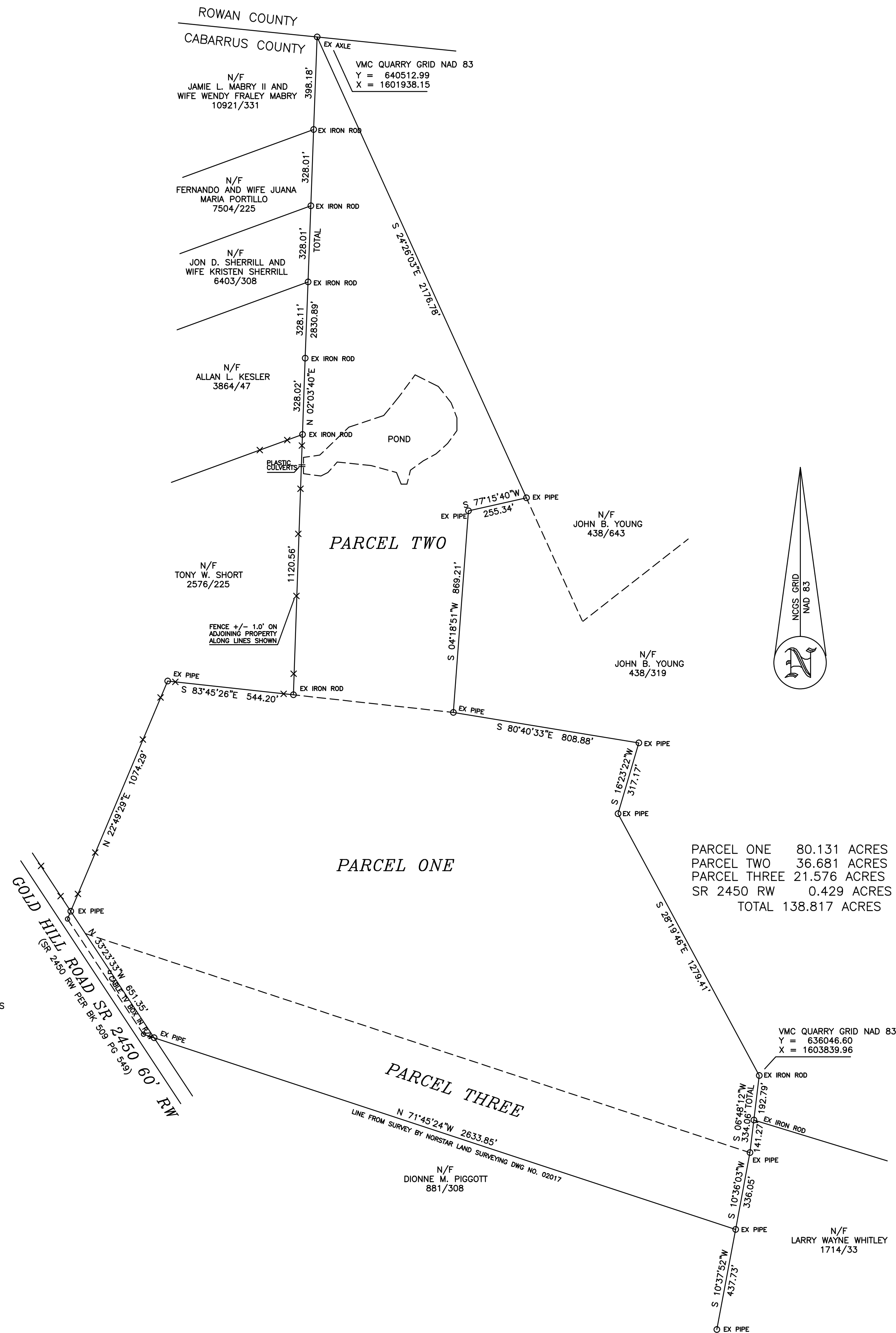
DocuSigned by:
W. Wesley Webb
3A2C005E6B448E

3-23-21



REV#1 PER CABARRUS COUNTY 3-23-21

 alley, williams, carmen, & king, inc. CONSULTING ENGINEERS FIRM LICENSE No. F-0203 120 SOUTH MAIN STREET KANNAPOLIS, NC 28082 P.O. BOX 1248 704/938-1515	SCALE	DATE: 12-18-20
	PLAN: VARIES	DRAWN BY: RCC
	PROFILE	CHECKED BY: GWV
	HORIZ.:	DWG No.:
VERT.:		
2020 CONDITIONAL USE REZONING REQUEST GOLD HILL QUARRY VULCAN MATERIALS COMPANY 5300 GOLD HILL RD E., GOLD HILL, NC 28071		SITE DEVELOPMENT NOTES JOB NO. 11526 SHEET NO. 2 OF 21



All that tract or parcel of the land located in Cabarrus County, North Carolina being more particularly described as follows:

BEGINNING at an existing iron pipe located in the Northeastern right-of-way line of Gold Hill Road (SR 2450), said iron being the Southernmost corner of Lot #7 as shown on map entitled SUBDIVISION MAP OF 220.96 ACRES ON GOLD HILL ROAD recorded in Plat Book 34, Page 53, Cabarrus County Registry and running thence with the East line of Lot 7 North 22° 49' 29" East 1074.29 feet to an existing pipe in the Southern line of Lot #8 as shown in the aforementioned Plat; thence South 83° 45' 26" East 544.20 feet to an existing iron rod, said rod being a Southeast corner of property conveyed to Tony W. Short by deed recorded in Book 2576, Page 225, Cabarrus County Registry and also being the Southeast corner of Lot #8 as shown on the aforementioned Plat; thence with the East lines of properties owned by Tony W. Short (2576DB225), Allan L. Kesler (3864DB47), Jon D. Sherrill and wife, Kristen Sherrill (6403DB308), Fernando Portillo and wife, Juana Maria Portillo (7504DB225) and Jamie L. Mabry, II and wife, Wendy Fraley Mabry (10921DB331) North 02° 03' 40" East crossing irons at 1120.56 feet, 1448.58 feet, 1776.69 feet, 2104.70 feet, 2432.71 feet and continuing 398.18 feet for a total distance of 2830.89 feet to an existing axle located in the Rowan/Cabarrus County line, said axle being a Northwest corner of property conveyed to John B. Young by deed recorded in Book 438, Page 643, Cabarrus County Registry and having VMC Quarry Grid Coordinates of Y = 640512.99 and X = 1601938.15; thence with the West line of John B. Young South 24° 26' 03" East 2176.78 feet to an existing pipe, a corner of the John B. Young property as described in deed recorded in Book 438, Page 319, Cabarrus County Registry; thence with the West lines of John B. Young the six following courses and distances: (1) S 77° 15' 40" West 255.34 feet to an existing pipe; (2) South 04° 18' 51" West 869.21 feet to an existing pipe; (3) South 80° 40' 33" East 808.88 feet to an existing pipe; (4) South 16° 23' 22" West 317.17 feet to an existing pipe; (5) South 28° 19' 46" East 1279.41 feet to an existing iron rod, said rod having VMC Quarry Grid Coordinates of Y=636046.60 and X=1603839.96; and (6) South 06° 48' 12" West 192.79 feet to an existing iron rod, thence continuing South 06° 48' 12" West 141.27 feet to an existing pipe; thence South 10° 36' 03" West 336.05 feet to an existing pipe, on the northeast corner of property conveyed to Dionne M. Piggott as recorded in Book 881, Page 308, Cabarrus County Registry; thence with the North line of Piggott N 71° 45' 24" West 2633.85 feet to an existing pipe in the Northeastern right-of-way line of Gold Hill Road (SR 2450); thence with the Northeastern right-of-way line of Gold Hill Road N 33° 23' 33" West 651.35 feet to the point and place of beginning, containing 138.388 acres more or less, as shown on survey entitled THE "SHAFER" TRACT AT THE GOLD HILL NORTH CAROLINA QUARRY prepared by Helms Surveying Company dated August 17, 2015 (designated drawing #15-0803).

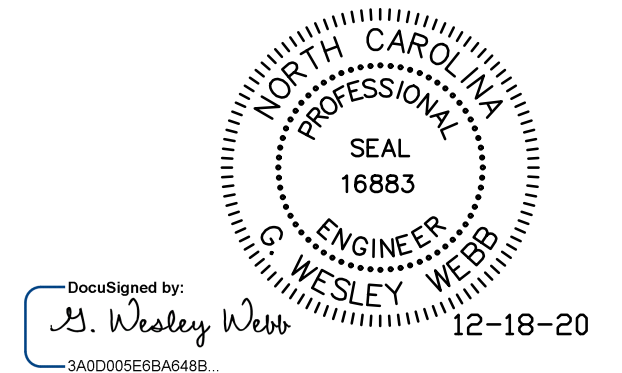
VULCAN LANDS INC.
 CABARRUS COUNTY PIN: 6603-26-2969
 CABARRUS COUNTY DB 11711 PG 48
 LAND USE: AGRICULTURAL/WOODDED
 CABARRUS COUNTY ZONING: OI

PARCEL ONE 80.131 ACRES
 PARCEL TWO 36.681 ACRES
 PARCEL THREE 21.576 ACRES
 SR 2450 RW 0.429 ACRES
 TOTAL 138.817 ACRES

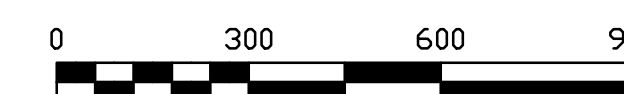
REFERENCES:
 DEED BOOK 1264 PAGE 234
 PLAT BOOK 34 PAGE 53
 SURVEY BY NORSTAR LAND SURVEYING 8/15/2002
 SURVEY BY BELL SURVEYING COMPANY 6/20/1988

THIS SURVEY IS OF EXISTING PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

NO IMPROVEMENTS OBSERVED ON THE THREE PARCELS



SURVEY PREPARED BY HELMS SURVEYING COMPANY AND SEALED BY DOUGLAS M HELMS, PLS L-3087 AND DATED 8-17-2015



alley, williams, carmen, & king, inc.
 CONSULTING ENGINEERS
 FIRM LICENSE No. F-0203
 120 SOUTH MAIN STREET P.O. BOX 1248
 KANNAPOLIS, NC 28082 704/938-1515

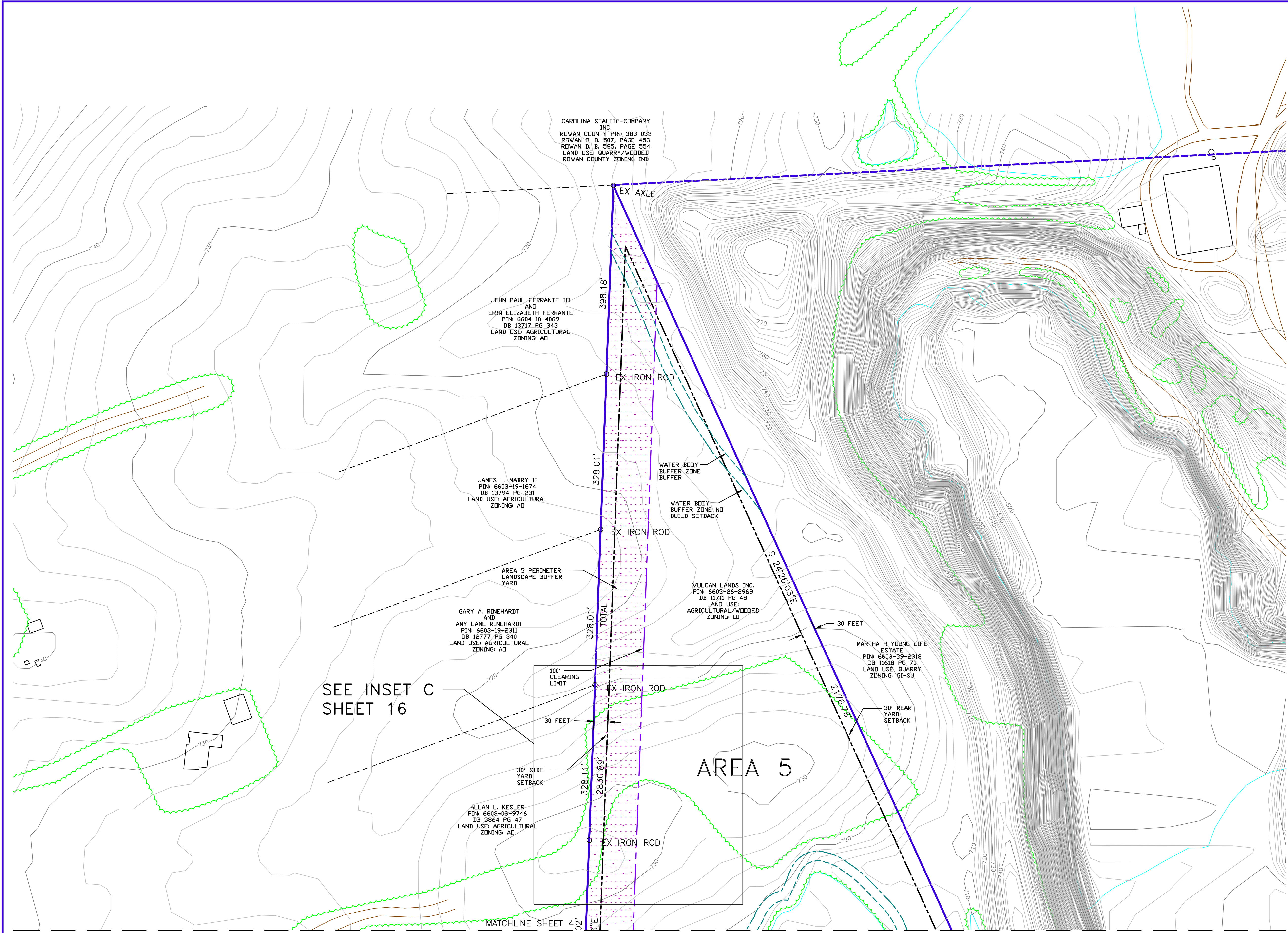
2020 CONDITIONAL USE REZONING REQUEST
 GOLD HILL QUARRY
 VULCAN MATERIALS COMPANY
 5300 GOLD HILL RD E., GOLD HILL, NC 28071

SCALE	DATE
1" = 300'	12-18-20
PROFILE	DRAWN BY: RCC
HORZ.	CHECKED BY: GWV
VERT.	DWG No.:

JOB NO.	11526
SHEET NO.	3
OF	21

REV#1 PER CABARRUS COUNTY 3-23-21

DWG NO.: 11526 GOLD HILL QUARRY CABAR SHAFER REZONING.DWG



CAROLINA STALITE COMPANY
INC.
ROWAN COUNTY PIN 383 032
ROWAN D. B. 507, PAGE 453
ROWAN D. B. 595, PAGE 554
LAND USE: QUARRY/WOODPIT
ROWAN COUNTY ZONING IND

JOHN PAUL FERRANTE III
AND
ERIN ELIZABETH FERRANTE
PIN 6604-10-4069
DB 13717 PG 343
LAND USE: AGRICULTURAL
ZONING AD

JAMES L. MABRY II
PIN 6603-19-1674
DB 13794 PG 231
LAND USE: AGRICULTURAL
ZONING AD

GARY A. RINEHARDT
AND
AMY LANE RINEHARDT
PIN 6603-19-2311
DB 12777 PG 340
LAND USE: AGRICULTURAL
ZONING AD

ALLAN L. KESLER
PIN 6603-08-9746
DB 3864 PG 47
LAND USE: AGRICULTURAL
ZONING AD

VULCAN LANDS INC.
PIN 6603-26-2969
DB 11711 PG 48
LAND USE:
AGRICULTURAL/WOODDED
ZONING: O1

MARTHA H. YOUNG LIFE
ESTATE
PIN 6603-39-2318
DB 11618 PG 76
LAND USE: QUARRY
ZONING: Q1-SU

SEE INSET C
SHEET 16

AREA 5

MATCHLINE SHEET 4
MATCHLINE SHEET 5

- SITE PLAN NOTES:
1. 100 FOOT PERIMETER LANDSCAPE BUFFERS ARE TO BE PROVIDED ALONG EACH PHASE OF THE SITE DEVELOPMENT. SEE NOTE NO. 4 ON SHEET 2.
 2. SEE THE SHEETS 10 THROUGH 14 FOR THE PHASED GRADING ASSOCIATED WITH THE DEVELOPMENT OF THE MATERIAL STORAGE AREA.

2' CONTOURS ARE BASED ON THE 2007 LIDAR DATA PROVIDED BY THE NC FLOODPLAIN MAPPING PROGRAM.
HORIZONTAL DATUM: NORTH CAROLINA, NAD83, US FT
VERTICAL DATUM: NAVD88

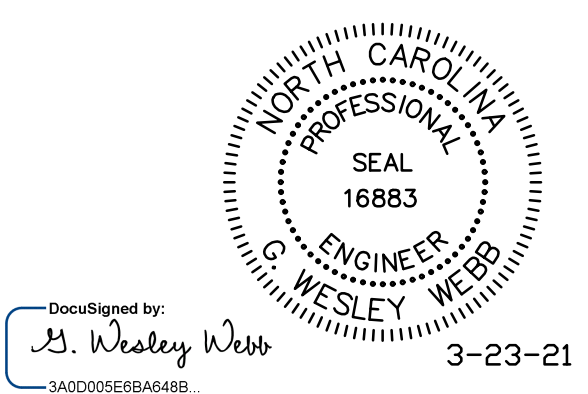
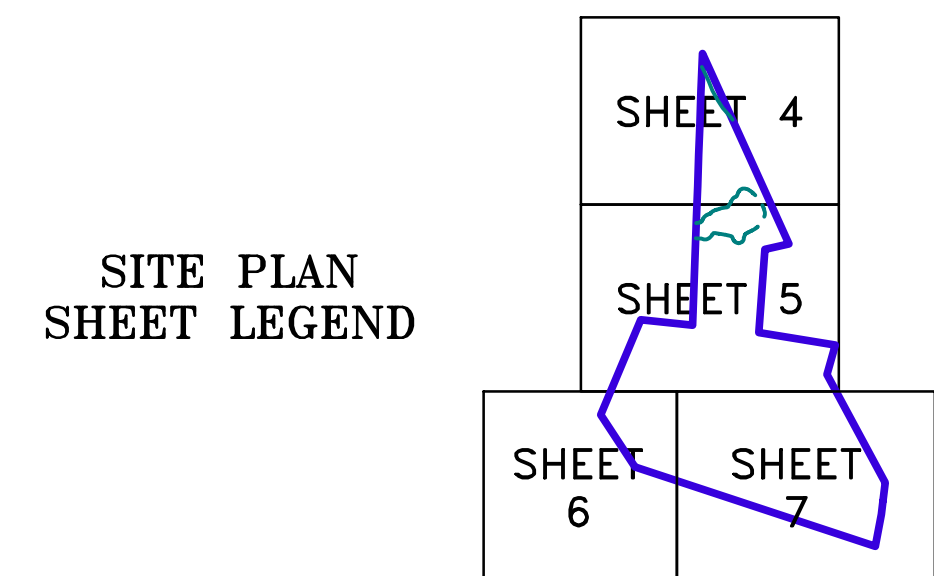
PLANIMETRIC MAPPING (EXCLUDING CONTOURS) PROVIDED BY TUCK MAPPING SOLUTIONS, INC. MAPPING IS BASED ON AN AERIAL PHOTO DATED 3-20-20 AND A MAP ISSUED AND SEALED BY ROBERT H. TUCK, L-4122, ON 4-19-20.

MINE LEGEND

VULCAN LANDS INC PROPERTY LINE	—
ADJACENT PROPERTY LINE	- - - -
100' UNDISTURBED CLEARING LIMITS	—
CABARRUS CO. ZONING BUILDING SETBACK	- - - -
WATERBODY BUFFER ZONE BUFFER	- - - -
WATERBODY BUFFER ZONE NO BUILD BUFFER	- - - -
PHASE 1	[Pattern]
PHASE 2	[Pattern]
PHASE 3	[Pattern]
PHASE 4	[Pattern]
PROPOSED 100' PERIMETER LANDSCAPE BUFFER YARD	[Pattern]
PHASE 1	[Pattern]
PHASE 2	[Pattern]
PHASE 3	[Pattern]
PHASE 4	[Pattern]
AREA 5	[Pattern]
STREET YARD LANDSCAPED BUFFER	[Pattern]

MAPPING LEGEND

INDEX CONTOUR	— 3500 —
INTERMEDIATE CONTOUR	— — — —
WATER	~ ~ ~ ~
PAVED ROAD	— — — —
DIRT ROAD	— — — —
BUILDING	[Symbol]
LOCATED OBJECT	[Symbol]
FENCE	— x — x — x —
TREES	[Symbol]
PIPE	— x — x — x —
POLE	[Symbol]
TOWER	[Symbol]

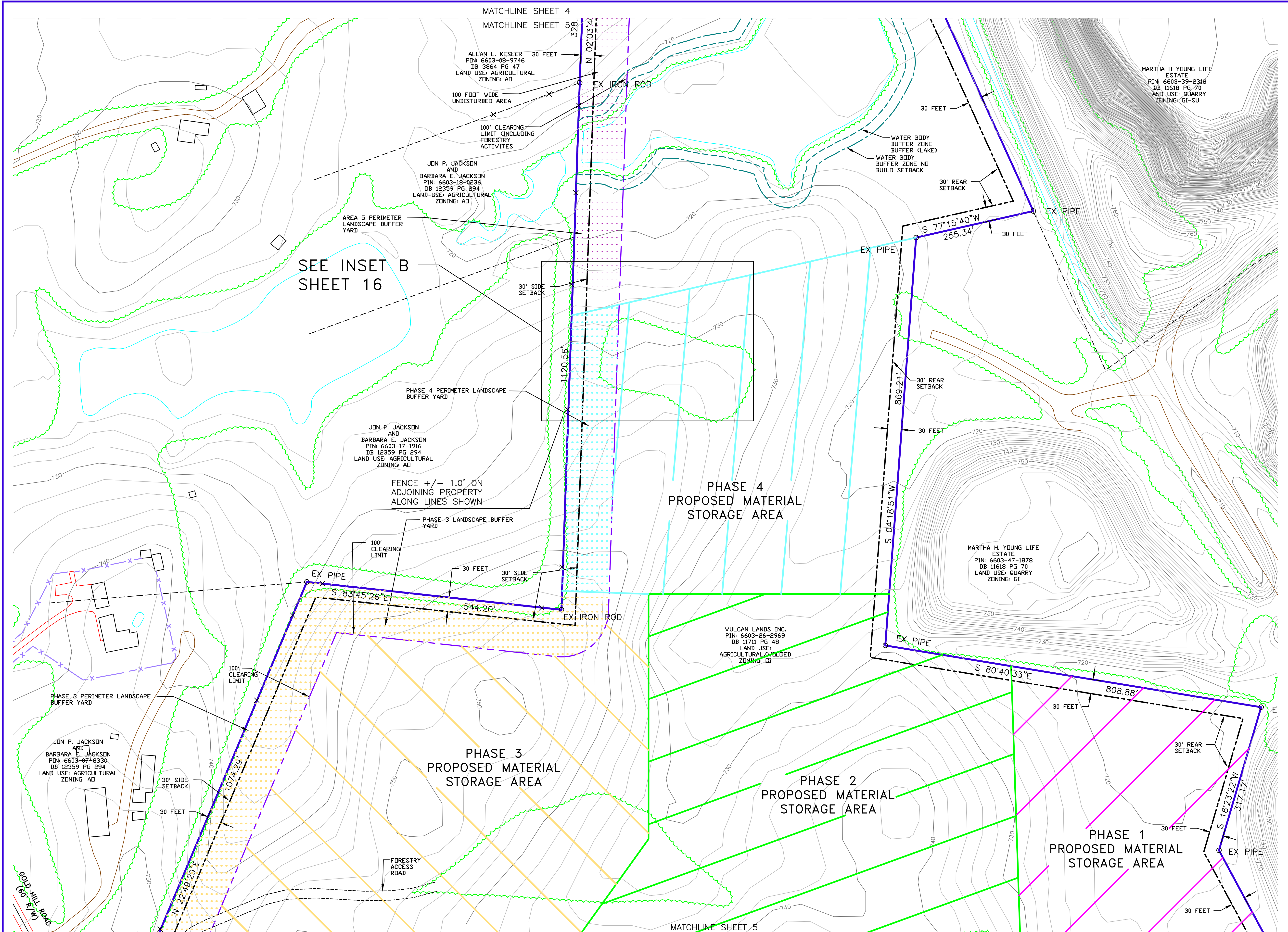


awck alley, williams, carmen, & king, inc.
CONSULTING ENGINEERS
FIRM LICENSE No. F-0203
120 SOUTH MAIN STREET P.O. BOX 1248
KANNAPOLIS, NC 28082 704/938-1515

2020 CONDITIONAL USE REZONING REQUEST
GOLD HILL QUARRY
VULCAN MATERIALS COMPANY
5300 GOLD HILL RD E., GOLD HILL, NC 28071

SCALE	DATE: 12-18-20
1" = 100'	DRAWN BY: RCC
PROFILE	CHECKED BY: GWV
VERT.	DWG No.:

JOB NO.	11526
SHEET NO.	4
OF	21



2' CONTOURS ARE BASED ON THE 2007 LIDAR DATA PROVIDED BY THE NC FLOODPLAIN MAPPING PROGRAM.
 HORIZONTAL DATUM: NORTH CAROLINA, NAD83, US FT
 VERTICAL DATUM: NAVD88

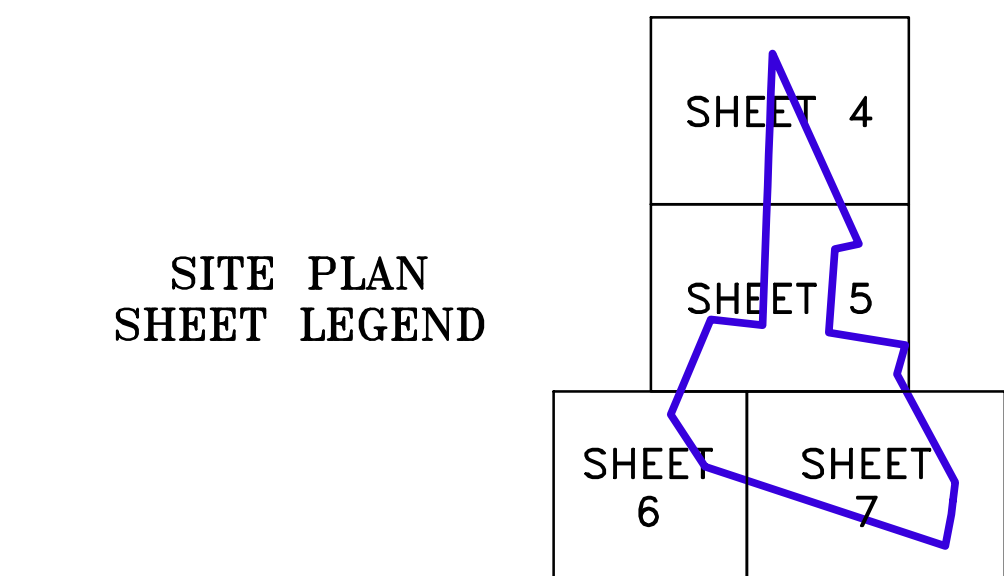
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MINE LEGEND

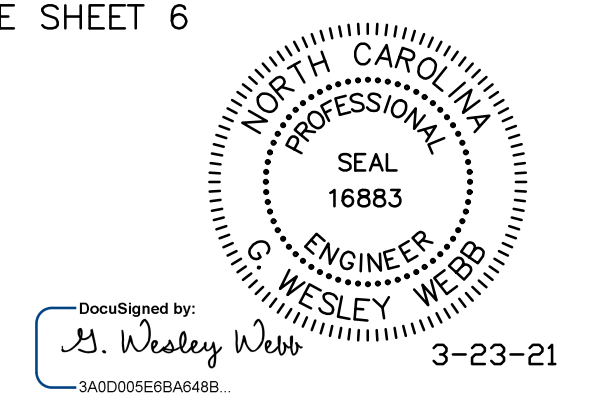
VULCAN LANDS INC PROPERTY LINE	—
ADJACENT PROPERTY LINE	- - - -
100' UNDISTURBED CLEARING LIMITS	— · — · — ·
CABARRUS CO. ZONING BUILDING SETBACK	- - - -
WATERBODY BUFFER ZONE BUFFER	- · - · - ·
WATERBODY BUFFER ZONE NO BUILD BUFFER	- · - · - ·
PHASE 1	[Pattern]
PHASE 2	[Pattern]
PHASE 3	[Pattern]
PHASE 4	[Pattern]
PROPOSED 100' PERIMETER LANDSCAPE BUFFER YARD	[Pattern]
PHASE 1	[Pattern]
PHASE 2	[Pattern]
PHASE 3	[Pattern]
PHASE 4	[Pattern]
AREA 5	[Pattern]
STREET YARD LANDSCAPED BUFFER	[Pattern]

MAPPING LEGEND

INDEX CONTOUR	— 3500 —
INTERMEDIATE CONTOUR	— · — · — ·
WATER	— · — · — ·
PAVED ROAD	— · — · — ·
DIRT ROAD	— · — · — ·
BUILDING	[Symbol]
LOCATED OBJECT	[Symbol]
FENCE	[Symbol]
TREES	[Symbol]
PIPE	[Symbol]
POLE	[Symbol]
TOWER	[Symbol]



SITE PLAN NOTES:
 1. 100 FOOT PERIMETER LANDSCAPE BUFFERS ARE TO BE PROVIDED ALONG EACH PHASE OF THE SITE DEVELOPMENT. SEE NOTE NO. 4 ON SHEET 2
 2. SEE THE SHEETS 10 THROUGH 14 FOR THE PHASED GRADING ASSOCIATED WITH THE DEVELOPMENT OF THE MATERIAL STORAGE AREA.

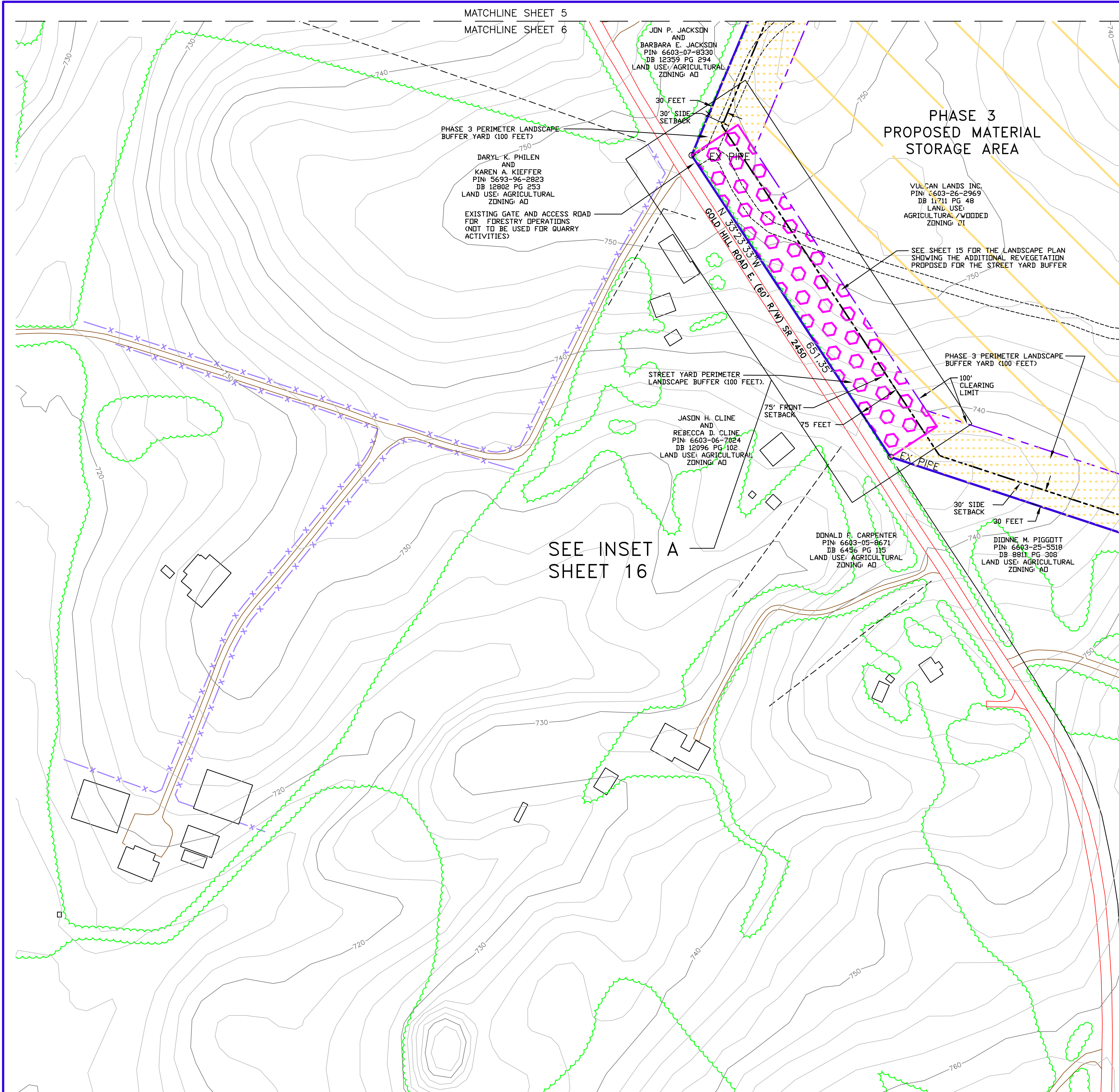


alley, williams, carmen, & king, inc.
CONSULTING ENGINEERS
 FIRM LICENSE No. F-0203
 120 SOUTH MAIN STREET P.O. BOX 1248
 KANNAPOLIS, NC 28082 704/938-1515

SCALE	DATE
1' = 100'	12-18-20
PROFILE	DRAWN BY: RCC
VERT.	CHECKED BY: GWV
	DWG No.:

2020 CONDITIONAL USE REZONING REQUEST
GOLD HILL QUARRY
VULCAN MATERIALS COMPANY
5300 GOLD HILL RD E., GOLD HILL, NC 28071

JOB NO.	11526
SHEET NO.	5
OF:	21



SEE INSET A
SHEET 16

2' CONTOURS ARE BASED ON THE 2007 LIDAR DATA PROVIDED BY THE NC FLOODPLAIN MAPPING PROGRAM.
HORIZONTAL DATUM: NORTH CAROLINA, NAD83, US FT
VERTICAL DATUM: NAVD88

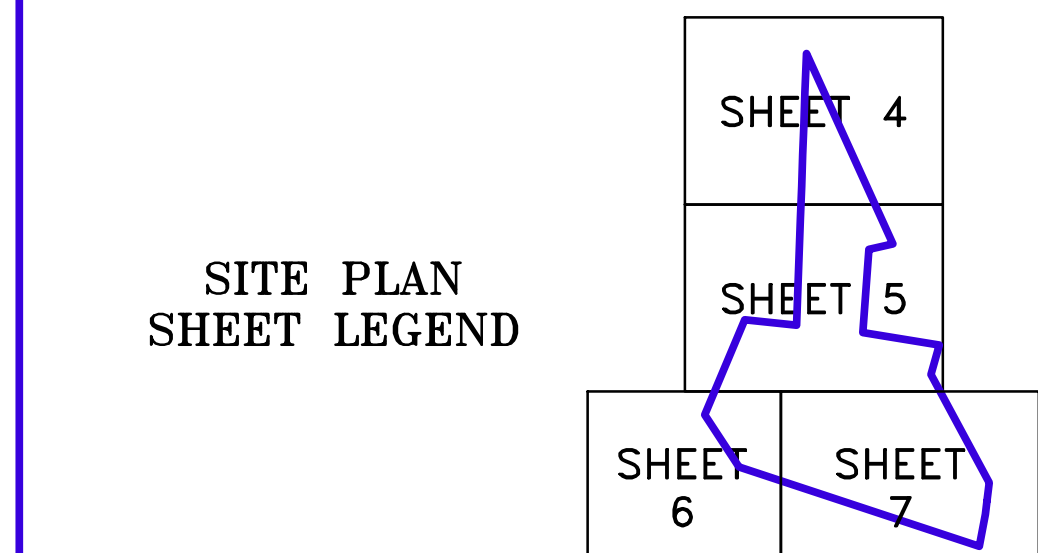
PLANIMETRIC MAPPING (EXCLUDING CONTOURS) PROVIDED BY TUCK MAPPING SOLUTIONS, INC. MAPPING IS BASED ON AN AERIAL PHOTO DATED 3-20-20 AND A MAP ISSUED AND SEALED BY ROBERT H. TUCK, L-4122, ON 4-19-20.

MINE LEGEND

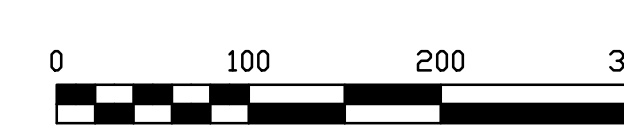
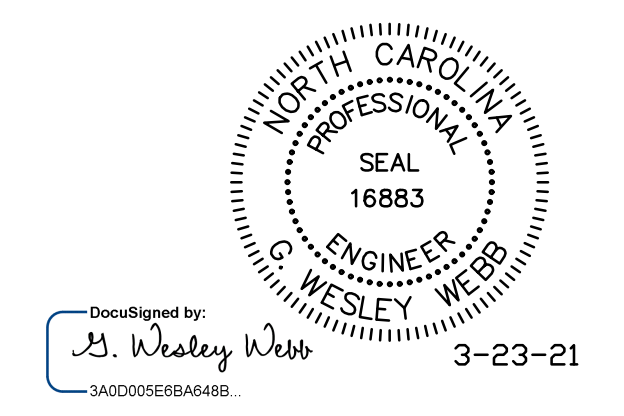
VULCAN LANDS INC PROPERTY LINE	
ADJACENT PROPERTY LINE	
100' UNDISTURBED CLEARING LIMITS	
CABARRUS CO. ZONING BUILDING SETBACK	
WATERBODY BUFFER ZONE BUFFER	
WATERBODY BUFFER ZONE NO BUILD BUFFER	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
PROPOSED 100' PERIMETER LANDSCAPE BUFFER YARD	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
AREA 5	
STREET YARD LANDSCAPED BUFFER	

MAPPING LEGEND

INDEX CONTOUR		3500
INTERMEDIATE CONTOUR		
WATER		
PAVED ROAD		
DIRT ROAD		
BUILDING		
LOCATED OBJECT		
FENCE		
TREES		
PIPE		
POLE		
TOWER		



- SITE PLAN NOTES:**
- 100 FOOT PERIMETER LANDSCAPE BUFFERS ARE TO BE PROVIDED ALONG EACH PHASE OF THE SITE DEVELOPMENT. SEE NOTE NO. 4 ON SHEET 2.
 - STREET YARD BUFFER IS TO BE PROVIDED ALONG GOLD HILL ROAD E. SEE NOTE NO. 4 ON SHEET 2
 - SEE THE SHEETS 10 THROUGH 14 FOR THE PHASED GRADING ASSOCIATED WITH THE DEVELOPMENT OF THE MATERIAL STORAGE AREA.

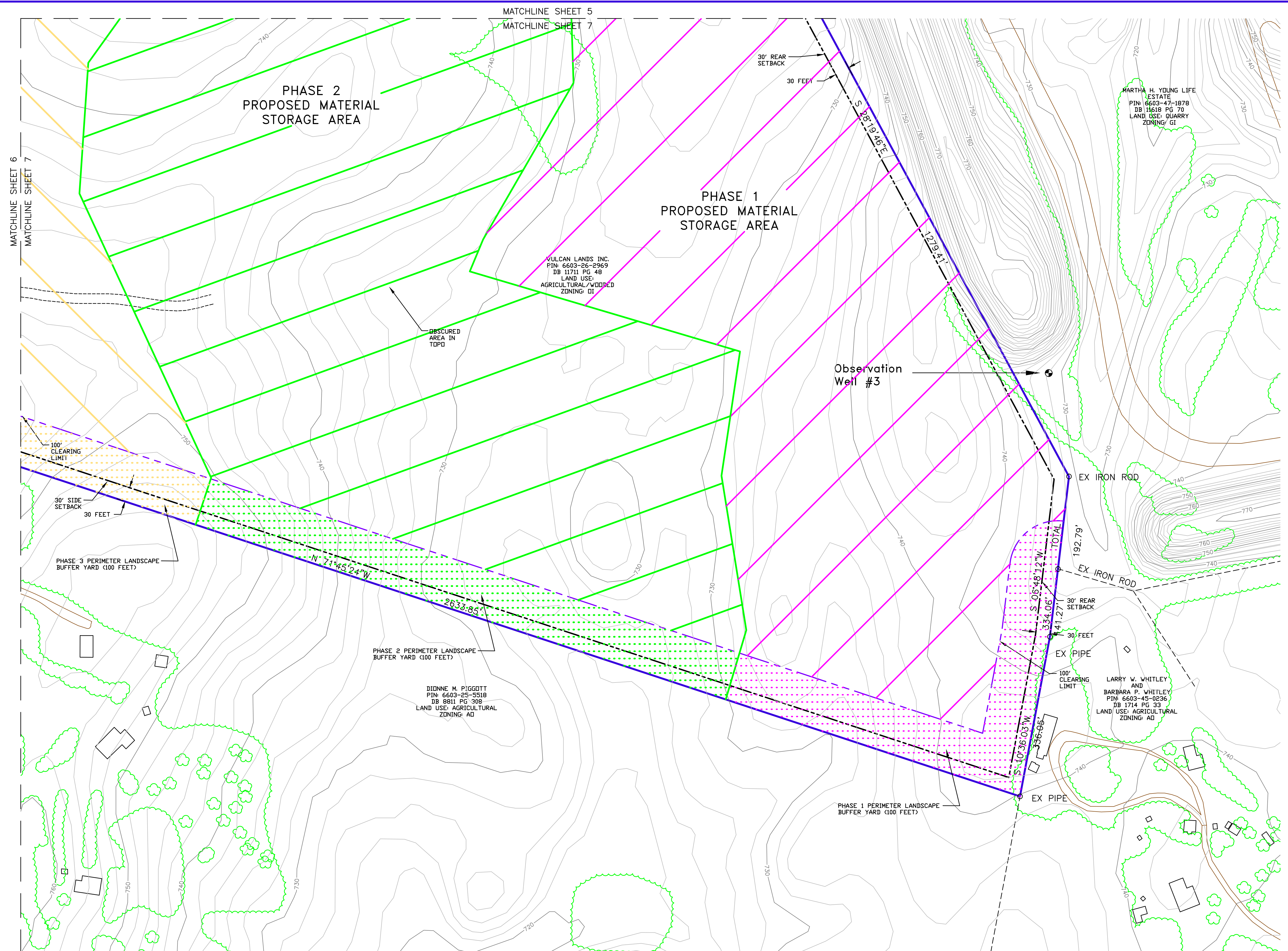


awc alley, williams, carmen, & king, inc.
CONSULTING ENGINEERS
FIRM LICENSE No. F-0203
120 SOUTH MAIN STREET P.O. BOX 1248
KANNAPOLIS, NC 28082 704/938-1515

SCALE	DATE	12-18-20
PLN: 1' = 100'	DRAWN BY:	RCC
PROF:	CHECKED BY:	GWV
VERT:	DWG No.:	

2020 CONDITIONAL USE REZONING REQUEST
GOLD HILL QUARRY
VULCAN MATERIALS COMPANY
5300 GOLD HILL RD E., GOLD HILL, NC 28071

JOB NO.	11526
SHEET NO.	6
OF:	21



2' CONTOURS ARE BASED ON THE 2007 LIDAR DATA PROVIDED BY THE NC FLOODPLAIN MAPPING PROGRAM.
 HORIZONTAL DATUM: NORTH CAROLINA, NAD83, US FT
 VERTICAL DATUM: NAVD88

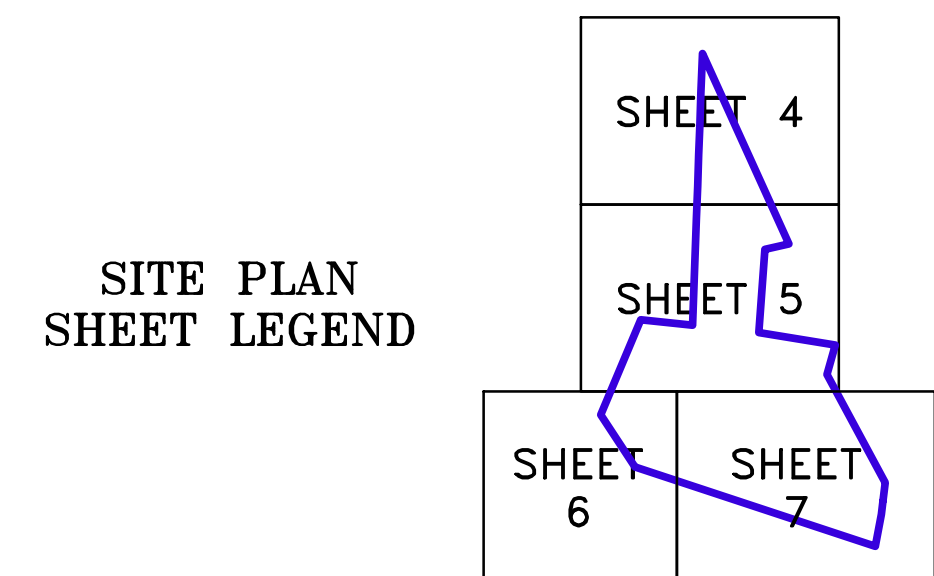
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MINE LEGEND

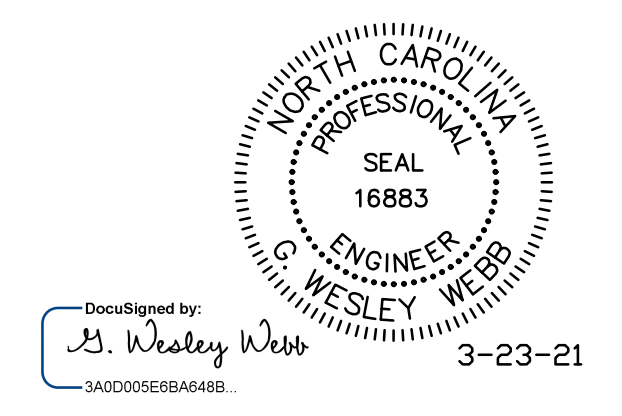
VULCAN LANDS INC PROPERTY LINE	—
ADJACENT PROPERTY LINE	- - -
100' UNDISTURBED CLEARING LIMITS	- · - · -
CABARRUS CO. ZONING BUILDING SETBACK	- - - - -
WATERBODY BUFFER ZONE BUFFER	- · - · -
WATERBODY BUFFER ZONE NO BUILD BUFFER	- · - · -
PHASE 1	[Pink hatched pattern]
PHASE 2	[Green hatched pattern]
PHASE 3	[Orange hatched pattern]
PHASE 4	[Blue hatched pattern]
PROPOSED 100' PERIMETER LANDSCAPE BUFFER YARD	[Dotted pattern]
PHASE 1	[Pink dotted pattern]
PHASE 2	[Green dotted pattern]
PHASE 3	[Orange dotted pattern]
PHASE 4	[Blue dotted pattern]
AREA 5	[Purple dotted pattern]
STREET YARD LANDSCAPED BUFFER	[Pattern with circles]

MAPPING LEGEND

INDEX CONTOUR	— 3500 —
INTERMEDIATE CONTOUR	- - - - -
WATER	~ ~ ~ ~ ~
PAVED ROAD	— · — · —
DIRT ROAD	- - - - -
BUILDING	[Building symbol]
LOCATED OBJECT	[Dashed box symbol]
FENCE	- x - x -
TREES	[Tree symbol]
PIPE	- x - x -
POLE	·
TOWER	[Tower symbol]



SITE PLAN NOTES:
 1. 100 FOOT PERIMETER LANDSCAPE BUFFERS ARE TO BE PROVIDED ALONG EACH PHASE OF THE SITE DEVELOPMENT. SEE NOTE NO. 4 ON SHEET 2
 2. SEE THE SHEETS 10 THROUGH 14 FOR THE PHASED GRADING ASSOCIATED WITH THE DEVELOPMENT OF THE MATERIAL STORAGE AREA.

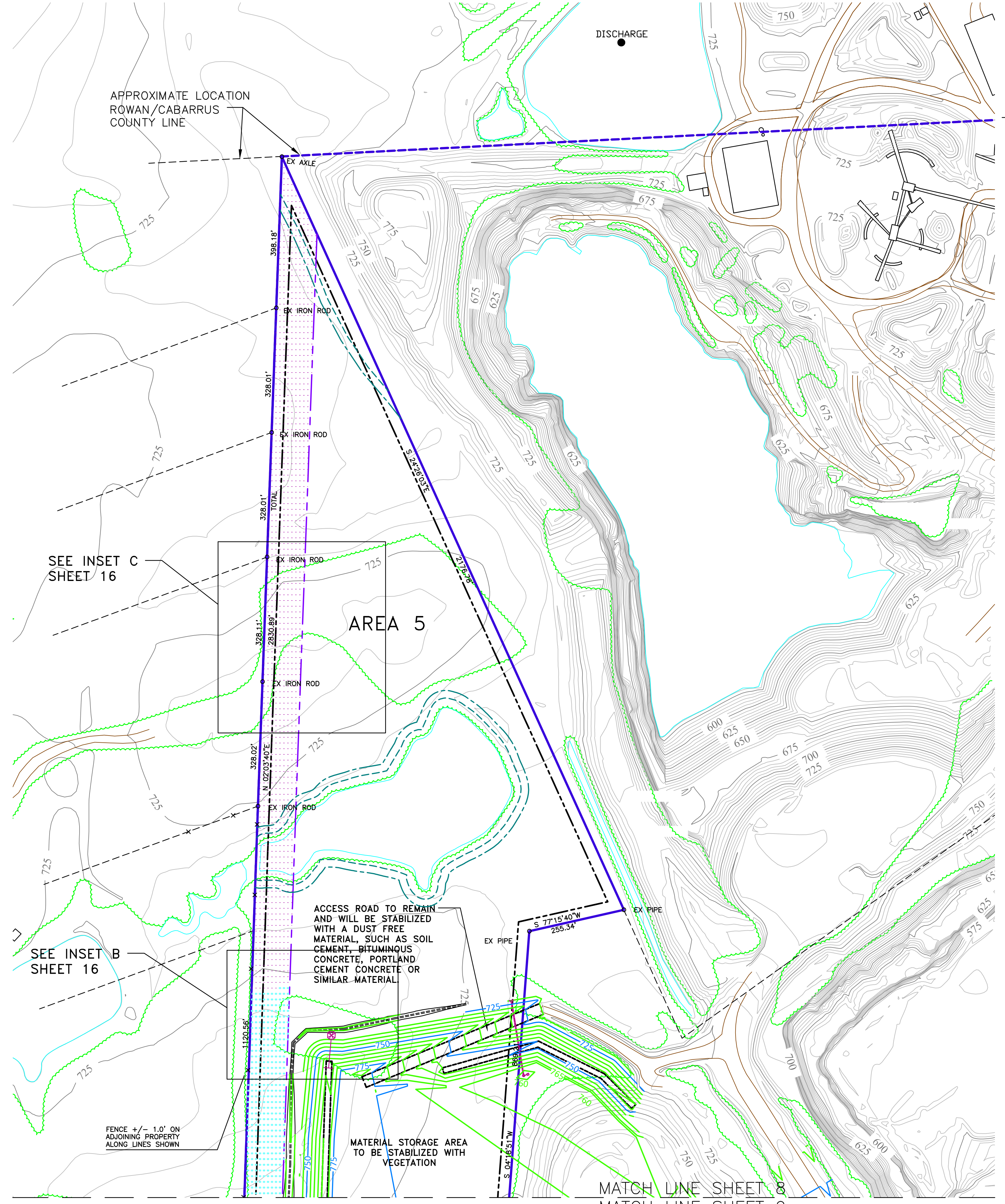


alley, williams, carmen, & king, inc.
CONSULTING ENGINEERS
 FIRM LICENSE No. F-0203
 120 SOUTH MAIN STREET P.O. BOX 1248
 KANNAPOLIS, NC 28082 704/938-1515

2020 CONDITIONAL USE REZONING REQUEST
GOLD HILL QUARRY
VULCAN MATERIALS COMPANY
5300 GOLD HILL RD E., GOLD HILL, NC 28071

SCALE	DATE	12-18-20
1" = 100'	DRAWN BY:	RCC
PROFILE	CHECKED BY:	GWV
VERT.	DWG No.:	

JOB NO.	11526
SHEET NO.	7
OF:	21



GOLD HILL QUARRY
 CABARRUS COUNTY
 REVEGETATION PLAN
 SPRING - FALL - WINTER SEED MIXES

SPRING RATE MARCH - JUNE

Rye Grain	15 - 20 lbs. per acre
Tall Fescue	40 - 80 lbs. per acre
Switchgrass	8 lbs. per acre
Va 70 Shrub Lespedeza	20 lbs. per acre
Secircea Lespedeza	15 - 20 lbs. per acre
Dr Red Clover	8 - 14 lbs. per acre
Hulled Common Bermuda Grass	4 lbs. per acre
Dr Weeping Love Grass	2 - 4 lbs. per acre

FALL RATE (MID) AUGUST - OCTOBER

Rye Grain	40 lbs. per acre
Tall Fescue	80 lbs. per acre
Secircea Lespedeza (Unscarified)	40 lbs. per acre
Drchard Grass	30 lbs. per acre
White Clover	5 lbs. per acre

WINTER RATE NOVEMBER - FEBRUARY

Rye Grain	40 lbs. per acre
Unhulled Bermuda Grass	10 lbs. per acre
Unscarified Secircea Lespedeza	30 lbs. per acre
Tall Fescue	80 lbs. per acre

FERTILIZER ALL SEASONS

10 - 20 - 20	1500 lbs. per acre
Lime	4000 lbs. per acre
Mulch	70 bales per acre

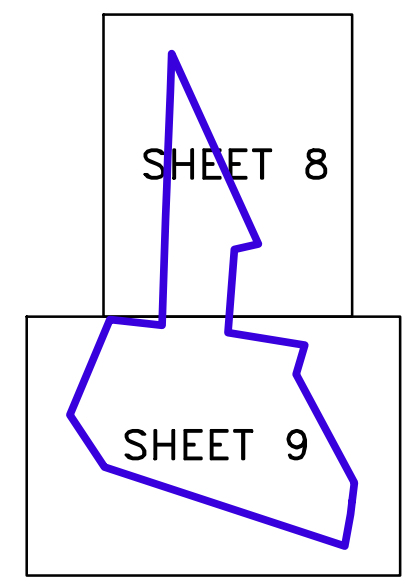
- Mulch to be anchored by one of the following methods:
1. Crimping with mulch anchoring tool; or
 2. Tack with asphalt emulsion - 400 gal. per acre or
 3. 1500 pounds/acre fiber mulch

MINE LEGEND

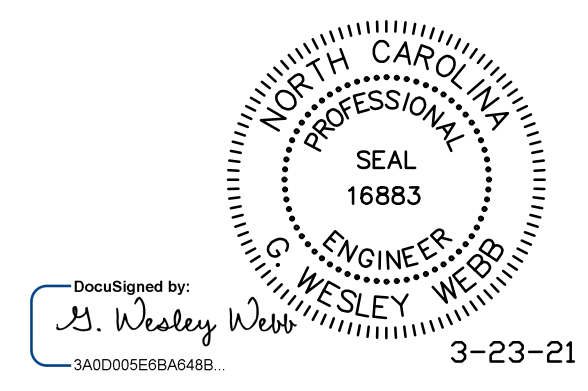
- VULCAN LANDS INC PROPERTY LINE
- ADJACENT PROPERTY LINE
- 100' UNDISTURBED CLEARING LIMITS
- CABARRUS CO. ZONING BUILDING SETBACK
- WATERBODY BUFFER ZONE BUFFER
- WATERBODY BUFFER ZONE NO BUILD BUFFER
- PHASE 1
- PHASE 2
- PHASE 3
- PHASE 4
- PROPOSED 100' PERIMETER LANDSCAPE BUFFER YARD
- PHASE 1
- PHASE 2
- PHASE 3
- PHASE 4
- AREA 5
- STREET YARD LANDSCAPED BUFFER

MAPPING LEGEND

- HORIZONTAL CONTROL POINT
- VERTICAL CONTROL POINT
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- SPOT ELEVATION
- WATER
- PAVED ROAD
- DIRT ROAD
- BUILDING
- LOCATED OBJECT
- FENCE
- TREES
- PIPE
- POLE
- TOWER



RECLAMATION PLAN
 SHEET LEGEND



DWG NO.: 11526 GOLD HILL QUARRY CABAR SHAFER REZONING.DWG

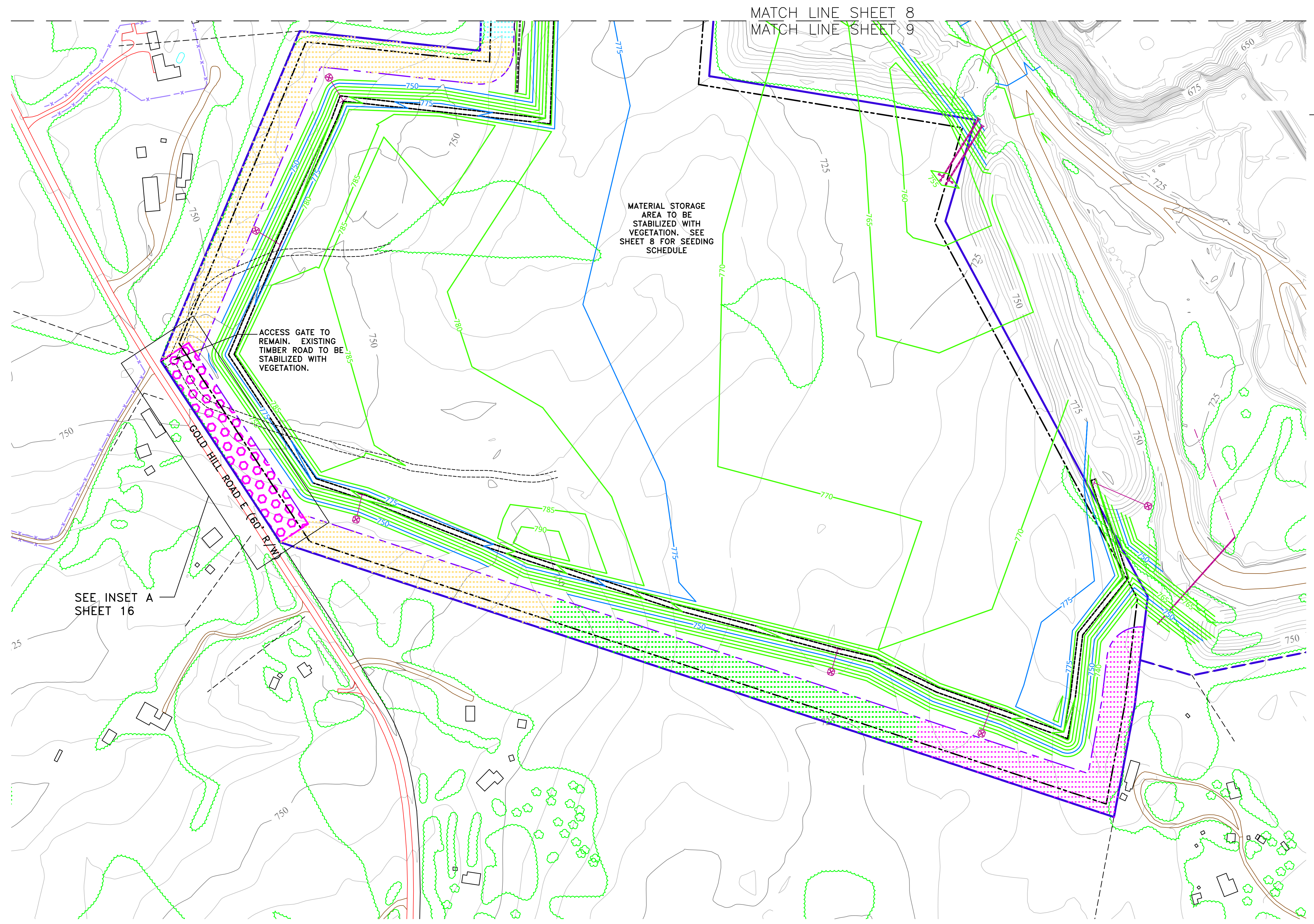
aww c&k alley, williams, carmen, & king, inc.
 CONSULTING ENGINEERS
 FIRM LICENSE No. F-0203
 120 SOUTH MAIN STREET KANNAPOLIS, NC 28082 P.O. BOX 1248 704/938-1515

SCALE	DATE
1" = 150'	12-18-20
PROFILE	DRAWN BY: RCC
HORZ.	CHECKED BY: GWV
VERT.	DWG No.:

2020 CONDITIONAL USE REZONING REQUEST
 GOLD HILL QUARRY
 VULCAN MATERIALS COMPANY
 5300 GOLD HILL RD E., GOLD HILL, NC 28071

RECLAMATION PLAN

JOB NO.	11526
SHEET NO.	8
OF	21

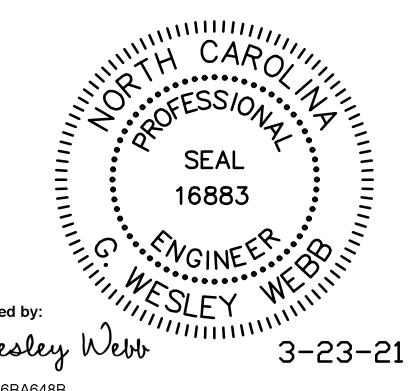
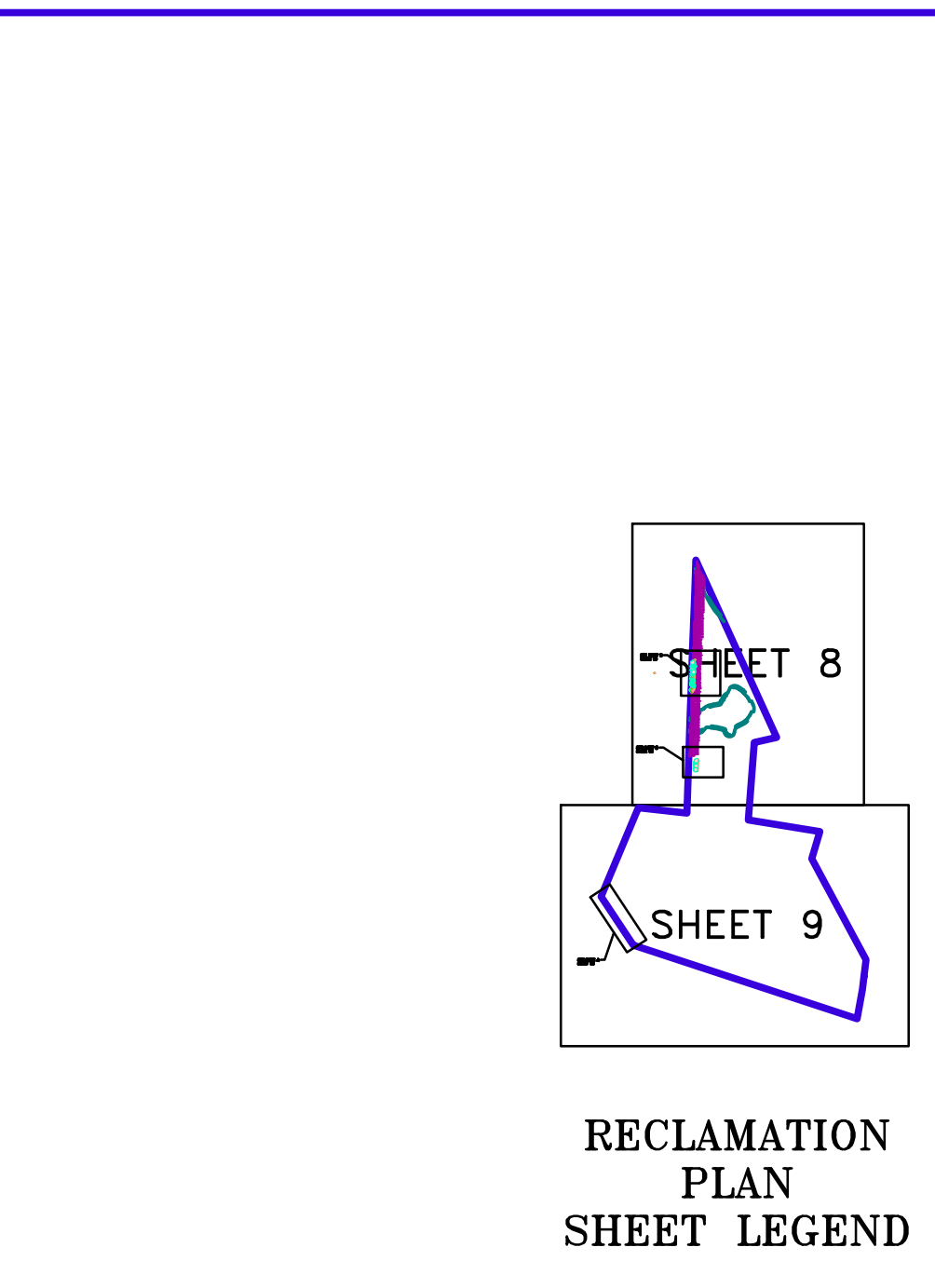


MINE LEGEND

VULCAN LANDS INC PROPERTY LINE	
ADJACENT PROPERTY LINE	
100' UNDISTURBED CLEARING LIMITS	
CABARRUS CO. ZONING BUILDING SETBACK	
WATERBODY BUFFER ZONE BUFFER	
WATERBODY BUFFER ZONE NO BUILD BUFFER	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
PROPOSED 100' PERIMETER LANDSCAPE BUFFER YARD	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
AREA 5	

MAPPING LEGEND

HORIZONTAL CONTROL POINT	
VERTICAL CONTROL POINT	
INDEX CONTOUR	
INTERMEDIATE CONTOUR	
SPOT ELEVATION	
WATER	
PAVED ROAD	
DIRT ROAD	
BUILDING	
LOCATED OBJECT	
FENCE	
TREES	
PIPE	
POLE	
TOWER	



DocuSigned by:
W. Wesley Webb
3-23-21

DWG NO.: 11526 GOLD HILL QUARRY CABAR SHAFER REZONING.DWG



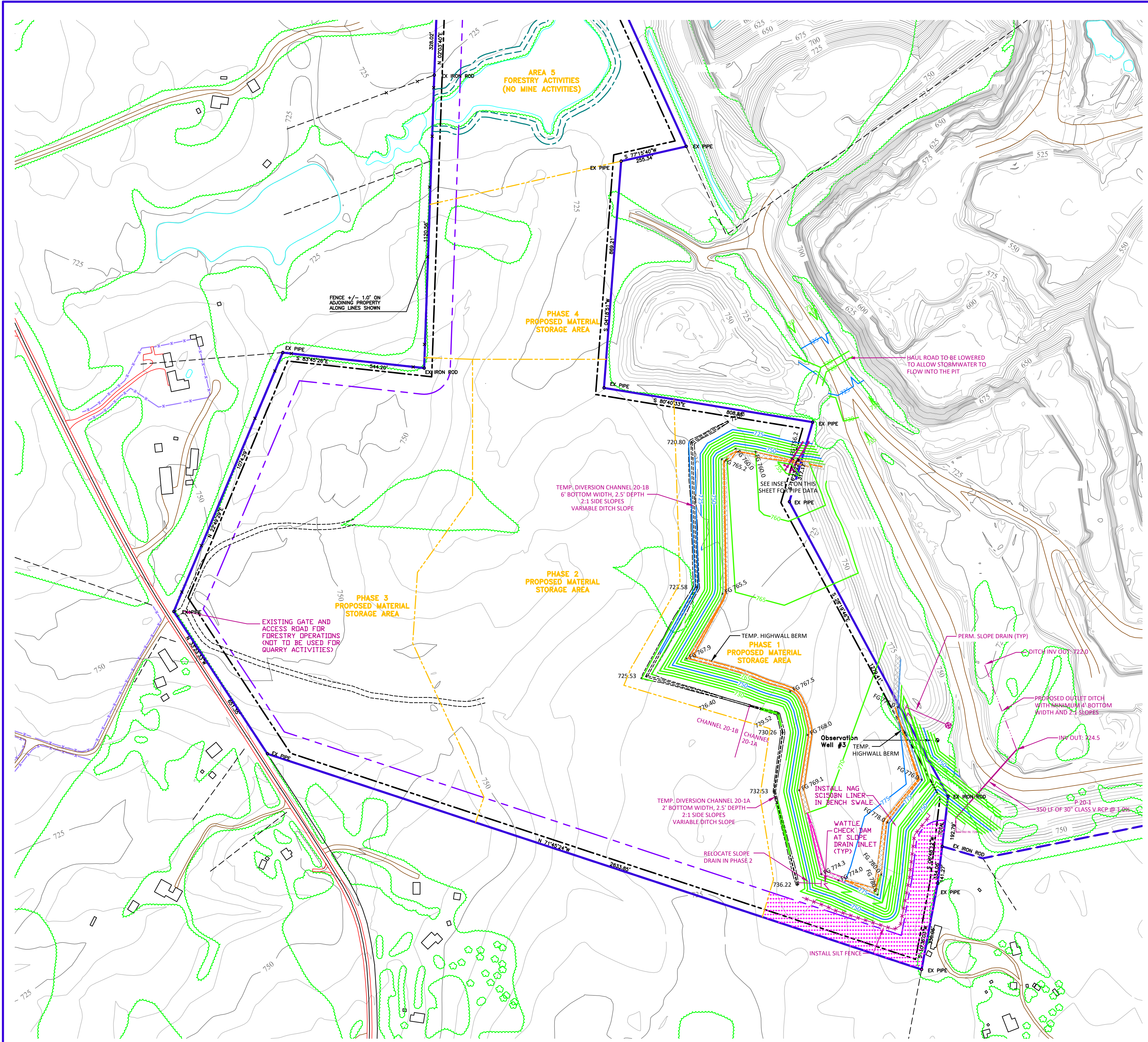
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JOB NO.	11526
SHEET NO.	9
OF:	21



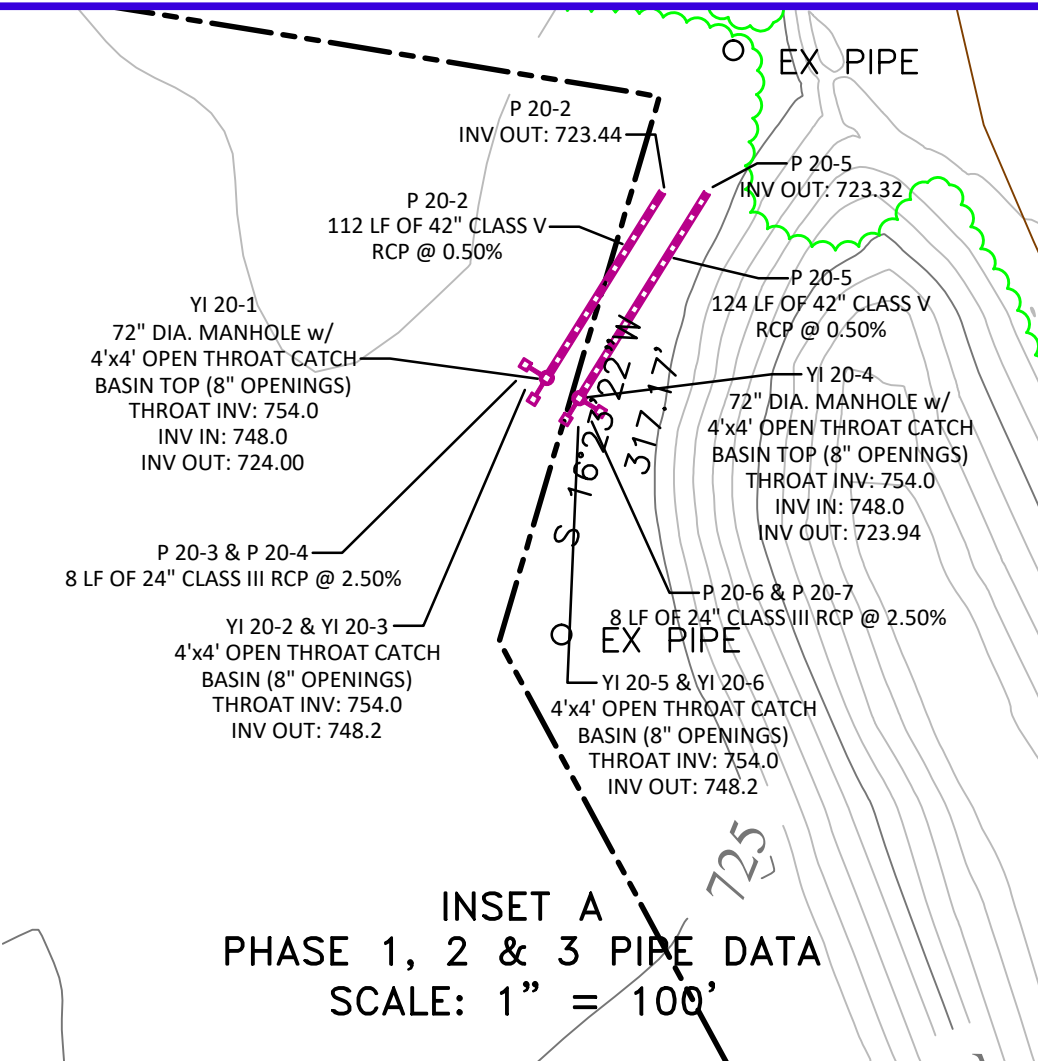
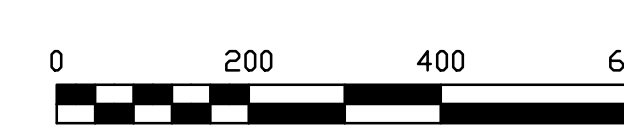


PHASED CONSTRUCTION NOTES:
 1. THE GRADING SHOWN ON THIS SHEET IS LOCATED IN PHASE 1 OF THE QUARRY MATERIAL STORAGE EXPANSION AREA. MATERIAL STORAGE IN PHASE 1 SHALL NOT OCCUR UNTIL THE APPLICABLE PERIMETER LANDSCAPE BUFFERS HAVE BEEN APPROVED BY CABARRUS COUNTY PLANNING DEPARTMENT. SEE NOTE NO. 4 ON SHEET 2 FOR BUFFER NOTES.

SCALE : 1" = 200'

EROSION CONTROL STRUCTURE LEGEND

- SEDIMENT BASIN
 - RISER SEDIMENT BASIN
 - TEMPORARY DIVERSION DITCH
 - SILT FENCE
- NOTE: OTHER SYMBOLS MAY BE USED TO DELINEATE EROSION CONTROL MEASURES. REFER TO SITE NOTES.



- WESTERN MATERIAL STORAGE AREA - PHASE 1 CONSTRUCTION SEQUENCE**
- INSTALL PIPE 20-1. COMPLETE BACKFILL. SEED AND STABILIZE DISTURBED AREAS AS SOON AS THE PIPE IS INSTALLED.
 - LOWER THE HAUL ROAD TO ALLOW RUNOFF TO ENTER THE PIT.
 - BEGIN CLEARING THE AREA WHERE SILT FENCE, TEMPORARY DIVERSION BERM, AND TEMPORARY DIVERSION DITCHES WILL BE INSTALLED.
 - INSTALL THE SILT FENCE. THE TEMPORARY DIVERSION BERM, DIVERSION CHANNEL 20-1A AND TEMPORARY DIVERSIONS IN THE LOCATIONS SHOWN ON THE PLAN. THE TEMPORARY DIVERSION BERM ON THE SOUTHERN END OF THE PROJECT AREA (SEE INSET B) WILL PREVENT ANY RUNOFF FROM FLOWING SOUTH. RUNOFF WILL POND IN THE UPSTREAM BASIN AREA WILL OVERFLOW UPSTREAM OF THE BASIN AND FLOW NORTH AND WEST. STABILIZE THE DISTURBED AREAS WITH A GROUND COVER.
 - CLEAR THE REST OF THE AREA WHERE DIVERSION CHANNEL 20-1B WILL BE CONSTRUCTED.
 - INSTALL DIVERSION CHANNEL 20-1B AND STABILIZE WITH A GROUND COVER.
 - CLEAR THE REST OF THE AREA WHERE MATERIAL WILL BE PLACED DURING PHASE 1.
 - BEGIN PLACING MATERIAL IN THE STORAGE AREA. PLACE MATERIAL ALONG THE SOUTHERN EDGE TO CONSTRUCT THE EXTERIOR SLOPE AS SOON AS POSSIBLE. ENSURE THAT ALL DISTURBED AREAS DRAIN TOWARDS THE PIT. MAINTAIN A HIGHWALL BARRIER ALONG THE TOP OF SLOPES AT ALL TIMES.
 - BRING THE SOUTHERN EDGE OF THE MATERIAL STORAGE AREA TO GRADE AND INSTALL THE TERRACE AND SLOPE DRAIN. SEED AND STABILIZE THE EXTERIOR SLOPES BELOW THIS ELEVATION. WATTLES ARE TO BE INSTALLED AT THE INLET OF ALL SLOPE DRAINS AND A PLUNGE POOL WILL BE INSTALLED AT THE OUTLET OF ALL SLOPE DRAINS. INSTALL A NORTH AMERICAN GREEN S1508N CHANNEL LINER IN THE BENCH CHANNELS. THE DISTURBED AREAS IN THE STORAGE AREA ARE TO BE DIVERTED TO DRAIN AWAY FROM THE SLOPE AND TOWARDS THE PIT AT ALL TIMES.
 - ONCE THE SLOPE ABOVE THE TERRACE HAS BEEN CONSTRUCTED, COMPLETE GRADING OF THE SOUTHERN SLOPE AND PROVIDE A GROUND COVER ON THE EXTERIOR SLOPES.
 - CONTINUE TO PLACE MATERIAL IN THE STORAGE AREA. ENSURE THAT ALL DISTURBED AREAS DRAIN TOWARDS DIVERSION CHANNEL 20-1A AND 20-1B OR THE PIT. DIVERSION CHANNEL 20-1A AND 20-1B WILL NOT COLLECT RUNOFF UNTIL ENOUGH FILL HAS BEEN PLACED IN THE STORAGE AREA TO FORCE RUNOFF TO FLOW TOWARDS DIVERSION CHANNEL 20-1A AND 20-1B.
 - SEED AND STABILIZE AREAS AS THEY ARE BROUGHT TO GRADE. PROVIDE A TEMPORARY GROUND COVER ON EXTERIOR SLOPES AND INACTIVE FILL AREAS EVERY SPRING AND FALL.
 - ONCE THE MATERIAL STORAGE PLACEMENT BEGINS IN THE NORTHERN END OF PHASE ONE, INSTALL PIPES P 20-3 AND P 20-5 AND MANHOLES YI 20-3 AND YI 20-6. INSTALL THE MANHOLES IN SECTIONS AND USE THE OPEN MANHOLES FOR INLET DRAINS. INSTALL A STORAGE AREA AROUND THE INLET AND INSTALL A TEMPORARY TRASH RACK. ONCE THE AREAS SURROUNDING THE MANHOLE HAS BEEN FILLED, INSTALL ANOTHER SECTION OF THE MANHOLE RISER. SEE THE INLET SUMP DETAIL ON SHEET 8.
 - AS THE MATERIAL STORAGE AREA IS BEING BROUGHT TO GRADE, INSTALL YI 20-4, YI 20-5, YI 20-7, AND YI 20-8 AND INSTALL THE OPEN TOP CATCH BASINS INLETS ON THE MANHOLES.
 - KEEP ALL DISTURBED AREAS DRAINING INTO THE PIT AT ALL TIMES.
 - INSTALL HIGH WALL PROTECTION ALONG THE TOP OF THE SLOPE AT ALL TIMES.
 - MONITOR ALL EROSION CONTROL MEASURES AFTER EACH RAINFALL. REMOVE ACCUMULATED SEDIMENT, AND REPAIR AND DAMAGE TO THE SEDIMENT BASINS, DIVERSION BERM, DITCHES, AND SILT FENCE.
 - ONCE THE MATERIAL STORAGE AREA HAS BEEN FILLED TO THE PHASE LIMITS, STABILIZE THE REMAINING SLOPES AND FILL AREA PER THE RECLAMATION DETAIL AND SEEDING SPECIFICATIONS.

COMPILED BY:

 www.tuckmapping.com
 DATE OF PHOTOGRAPHY :
 3/20/20
 THIS MAP MEETS OR EXCEEDS NATIONAL MAP ACCURACY STANDARDS FOR 1"=200', WITH A 5' CONTOUR INTERVAL, EXCLUDING AREAS MAPPED OUTSIDE OF EXISTING GROUND CONTROL OR IN DENSE TREE AREAS.
 THE TOPOGRAPHIC MAP WAS ORIGINALLY ISSUED AND SEALED BY ROBERT H. TUCK, L-4122, ON 4-19-20.
 PORTIONS OF THIS MAP HAVE BEEN COMPILED OUTSIDE THE LIMITS OF CONTROL AND THEREFORE DO NOT MEET THE NATIONAL MAP ACCURACY STANDARDS.
 HORIZONTAL DATUM: NORTH CAROLINA, NAD83, USFT
 VERTICAL DATUM: NAVD88, GEOID 1999
 CONTOURS IN TREE AREAS ARE APPROXIMATE
 COMBINED FACTOR:
 Grid to Ground = 0.9998459
 Ground to Grid = 1.0001541

MINE LEGEND

VULCAN LANDS INC PROPERTY LINE	
ADJACENT PROPERTY LINE	
100' UNDISTURBED CLEARING LIMITS	
CABARRUS CO. ZONING BUILDING SETBACK	
WATERBODY BUFFER ZONE BUFFER	
WATERBODY BUFFER ZONE NO BUILD BUFFER	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
PROPOSED 100' PERIMETER LANDSCAPE BUFFER YARD	
AREA 5	
STREET YARD LANDSCAPED BUFFER	

MAPPING LEGEND

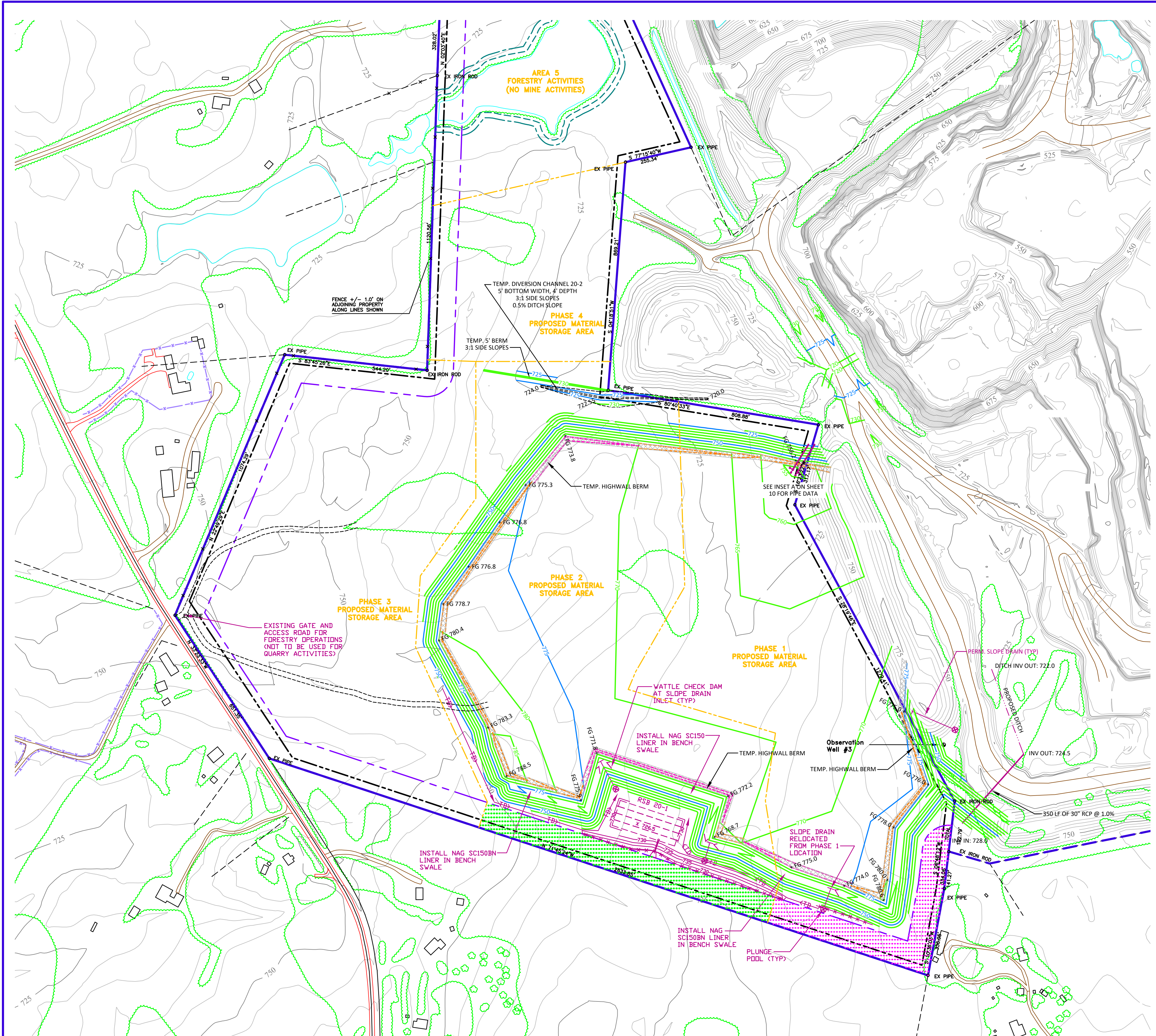
HORIZONTAL CONTROL POINT	
VERTICAL CONTROL POINT	
INDEX CONTOUR	
INTERMEDIATE CONTOUR	
SPOT ELEVATION	
WATER	
PAVED ROAD	
DIRT ROAD	
BUILDING	
LOCATED OBJECT	
FENCE	
TREES	
PIPE	
POLE	
TOWER	

3-23-21

alley, williams, carmen, & king, inc.
CONSULTING ENGINEERS
 FIRM LICENSE No. F-0203
 120 SOUTH MAIN STREET P.O. BOX 1248
 KANNAPOLIS, NC 28082 704/938-1515

2020 CONDITIONAL USE REZONING REQUEST
 GOLD HILL QUARRY
 VULCAN MATERIALS COMPANY
 5300 GOLD HILL RD E., GOUCHER, NC 28071

SCALE	DATE	12-18-20
PLN: 1" = 200'	DRAWN BY:	RCC
PROF:	CHECKED BY:	GWV
VERT:	DWG No.:	
JOB NO.	11526	
SHEET NO.	10	
OF:	21	



PHASED CONSTRUCTION NOTES:
 1. THE GRADING SHOWN ON THIS SHEET IS LOCATED IN PHASE 1 AND PHASE 2 OF THE QUARRY MATERIAL STORAGE EXPANSION AREA. MATERIAL STORAGE IN PHASE 2 SHALL NOT OCCUR UNTIL THE APPLICABLE PERIMETER LANDSCAPE BUFFERS HAVE BEEN APPROVED BY CABARRUS COUNTY PLANNING DEPARTMENT. SEE NOTE NO. 4 ON SHEET 2 FOR BUFFER NOTES.

EROSION CONTROL STRUCTURE LEGEND

SEDIMENT BASIN	
RISER SEDIMENT BASIN	
TEMPORARY DIVERSION DITCH	
SILT FENCE	

NOTE: OTHER SYMBOLS MAY BE USED TO DELINEATE EROSION CONTROL MEASURES. REFER TO SITE NOTES.

0 200 400 600

COMPILED BY:

 www.tuckmapping.com

DATE OF PHOTOGRAPHY :
 3/20/20

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THE TOPOGRAPHIC MAP WAS ORIGINALLY ISSUED AND SEALED BY ROBERT H. TUCK, L-4122, ON 4-19-20. PORTIONS OF THIS MAP HAVE BEEN COMPILED OUTSIDE THE LIMITS OF CONTROL AND THEREFORE DO NOT MEET THE NATIONAL MAP ACCURACY STANDARDS. HORIZONTAL DATUM: NORTH CAROLINA, NAD83, USFT VERTICAL DATUM: NAVD88, GEOID 1999. CONTOURS IN TREE AREAS ARE APPROXIMATE. COMBINED FACTOR: Grid to Ground = 0.99984550 Ground to Grid = 1.0001541

MINE LEGEND

VULCAN LANDS INC PROPERTY LINE	
ADJACENT PROPERTY LINE	
100' UNDISTURBED CLEARING LIMITS	
CABARRUS CO. ZONING BUILDING SETBACK	
WATERBODY BUFFER ZONE BUFFER	
WATERBODY BUFFER ZONE NO BUILD BUFFER	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
PROPOSED 100' PERIMETER LANDSCAPE BUFFER YARD	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
AREA 5	
STREET YARD LANDSCAPED BUFFER	

MAPPING LEGEND

HORIZONTAL CONTROL POINT	
VERTICAL CONTROL POINT	
INDEX CONTOUR	
INTERMEDIATE CONTOUR	
SPOT ELEVATION	
WATER	
PAVED ROAD	
DIRT ROAD	
BUILDING	
LOCATED OBJECT	
FENCE	
TREES	
PIPE	
POLE	
TOWER	

- WESTERN MATERIAL STORAGE AREA - PHASE 2 CONSTRUCTION SEQUENCE
- CLEAR ENOUGH AREA TO INSTALL THE EROSION CONTROL MEASURES IN PHASE 2.
 - INSTALL THE SILT FENCE, RSB 20-1, TEMPORARY DIVERSION CHANNEL 20-2 AND THE ADJACENT TEMPORARY BERM AND TEMPORARY DIVERSIONS IN THE LOCATIONS SHOWN ON THE PLAN.
 - CLEAR THE REST OF THE AREA WHERE MATERIAL WILL BE PLACED DURING PHASE 2 AND THE AREA WHERE DIVERSION CHANNEL 20-2 AND TEMPORARY DIVERSIONS IN THE LOCATIONS SHOWN ON THE PLAN.
 - INSTALL DIVERSION CHANNEL 20-2B AND STABILIZE WITH A GROUND COVER.
 - BEGIN PLACING MATERIAL IN THE STORAGE AREA. PLACE MATERIAL ALONG THE SOUTHERN EDGE TO CONSTRUCT THE EXTERIOR SLOPE AS SOON AS POSSIBLE. ENSURE THAT ALL DISTURBED AREAS DRAIN TOWARDS THE PIT. MAINTAIN A HIGHWALL BARRIER ALONG THE TOP OF SLOPES AT ALL TIMES.
 - BRING THE SOUTHERN EDGE OF THE MATERIAL STORAGE AREA TO GRADE AND INSTALL THE TERRACE AND SLOPE DRAIN. WATTLES ARE TO BE INSTALLED AT THE INLET OF ALL SLOPE DRAINS AND A PLUNGE POOL WILL BE INSTALLED AT THE OUTLET OF ALL SLOPE DRAINS. SEED AND STABILIZE THE EXTERIOR SLOPES BELOW THIS ELEVATION. INSTALL A NORTH AMERICAN GREEN S150BN CHANNEL LINER IN THE BENCH CHANNELS. DISTURBED AREAS IN THE STORAGE AREAS ARE TO BE DIVERTED TO DRAIN AWAY FROM THE SLOPE AND TOWARDS THE PIT AT ALL TIMES.
 - ONCE THE SLOPE ABOVE THE TERRACE HAS BEEN CONSTRUCTED, COMPLETE GRADING OF THE SOUTHERN SLOPE AND PROVIDE A GROUND COVER ON THE EXTERIOR SLOPES.
 - CONTINUE TO PLACE MATERIAL IN THE STORAGE AREA. ENSURE THAT ALL DISTURBED AREAS DRAIN TOWARDS DIVERSION CHANNEL 20-2 OR THE INLETS INSTALLED DURING PHASE 1.
 - SEED AND STABILIZE AREAS AT THEY ARE BROUGHT TO GRADE. PROVIDE A TEMPORARY GROUND COVER ON EXTERIOR SLOPES AND INACTIVE FILL AREAS EVERY SPRING AND FALL.
 - KEEP ALL DISTURBED AREAS DRAINING INTO THE PIT AT ALL TIMES.
 - INSTALL HIGH WALL BARRIERS ALONG THE TOP OF THE SLOPE AS THE FILL IS BEING PLACED.
 - MONITOR ALL EROSION CONTROL MEASURES AFTER EACH RAINFALL. REMOVE ACCUMULATED SEDIMENT, AND REPAIR AND DAMAGE TO THE SEDIMENT BASINS, DIVERSION BERM, DITCHES, AND SILT FENCE.
 - ONCE THE MATERIAL STORAGE AREA HAS BEEN FILLED TO THE PHASE LIMITS, STABILIZE THE REMAINING SLOPES AND FILL AREA PER THE RECLAMATION DETAIL AND SEEDING SPECIFICATIONS.

DESIGNED BY:

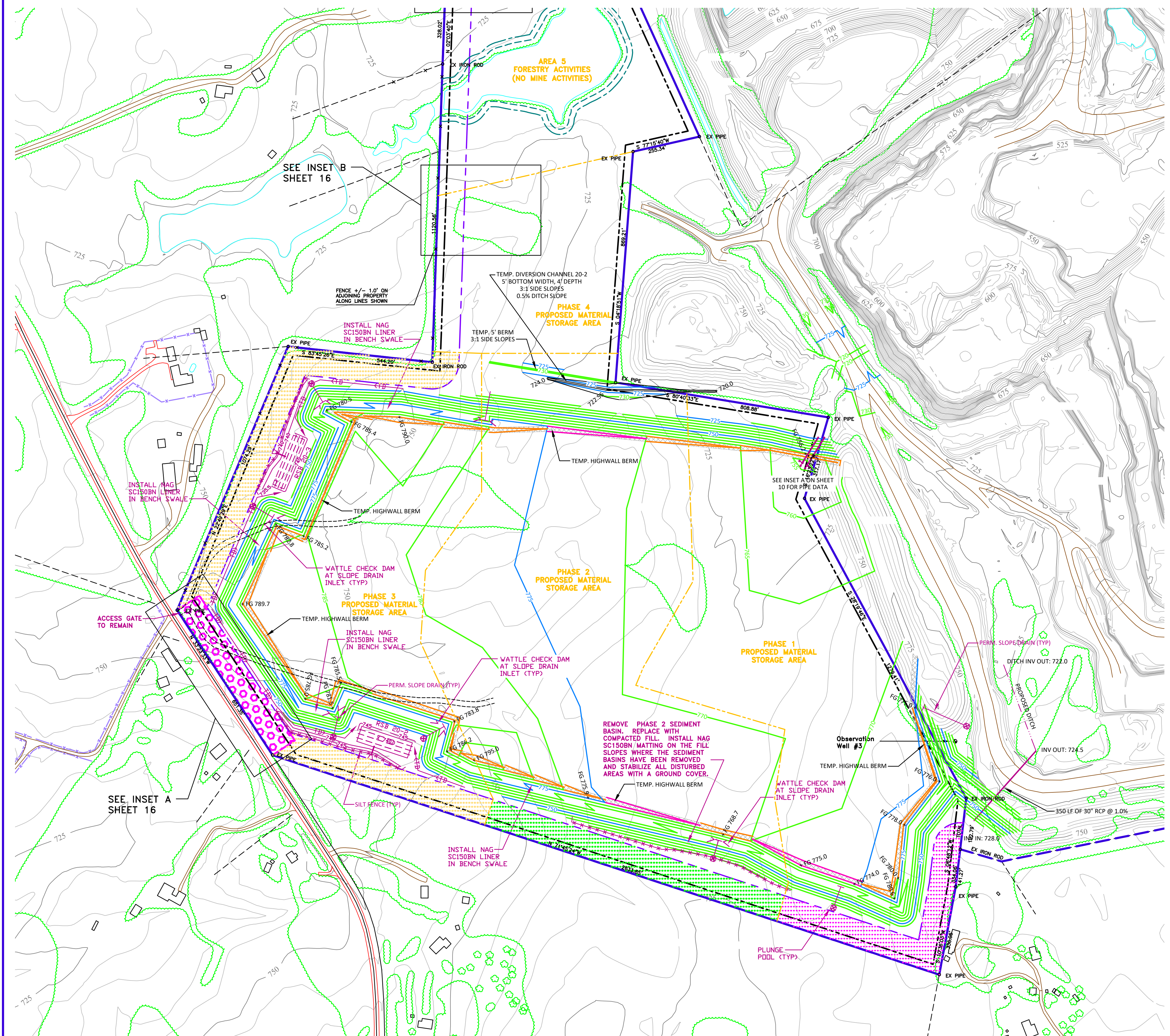
 3-23-21

alley, williams, carmen, & king, inc.
CONSULTING ENGINEERS
 FIRM LICENSE No. F-0203
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2020 CONDITIONAL USE REZONING REQUEST
 GOLD HILL QUARRY
 VULCAN MATERIALS COMPANY
 5300 GOLD HILL RD E., GOLD HILL, NC 28071

SCALE	DATE
1" = 200'	12-17-20
PROFILE	DRAWN BY: RCC
VERT.	CHECKED BY: GWV
	DWG No.:

JOB NO. 11526
 SHEET NO. 11
 OF 21

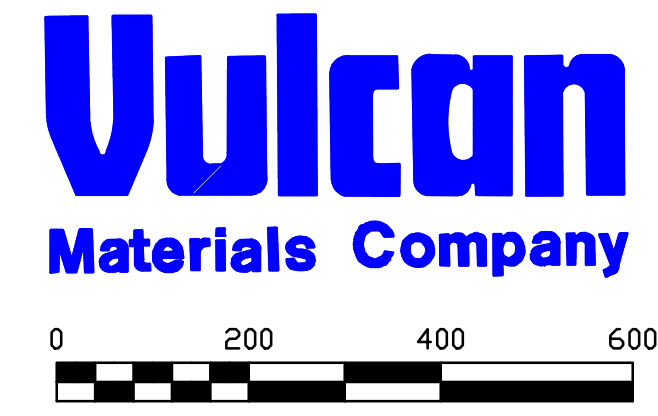


PHASED CONSTRUCTION NOTES:
 1. THE GRADING SHOWN ON THIS SHEET IS LOCATED IN PHASE 1, 2 AND 3 OF THE QUARRY MATERIAL STORAGE EXPANSION AREA. MATERIAL STORAGE IN PHASE 3 SHALL NOT OCCUR UNTIL THE APPLICABLE PERIMETER LANDSCAPE BUFFERS AND STREET YARD LANDSCAPE BUFFER HAVE BEEN APPROVED BY CABARRUS COUNTY PLANNING DEPARTMENT. SEE NOTE NO. 4 ON SHEET 2 FOR BUFFER NOTES.

EROSION CONTROL STRUCTURE LEGEND

SEDIMENT BASIN	
RISER SEDIMENT BASIN	
TEMPORARY DIVERSION DITCH	
SILT FENCE	

NOTE: OTHER SYMBOLS MAY BE USED TO DELINEATE EROSION CONTROL MEASURES. REFER TO SITE NOTES.



COMPILED BY:

 www.tuckmapping.com

DATE OF PHOTOGRAPHY :
 3/20/20

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 CONTOURS IN TREAED AREAS ARE APPROXIMATE
 COMBINED FACTOR:
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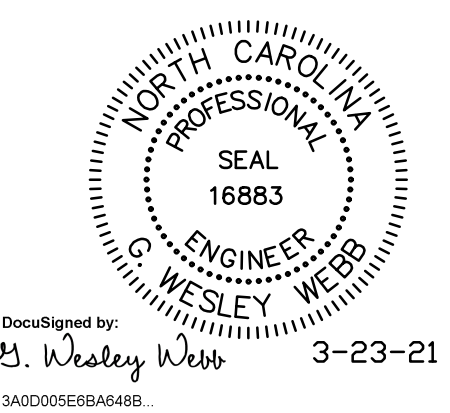
MINE LEGEND

VULCAN LANDS INC PROPERTY LINE	
ADJACENT PROPERTY LINE	
100' UNDISTURBED CLEARING LIMITS	
CABARRUS CO. ZONING BUILDING SETBACK	
WATERBODY BUFFER ZONE BUFFER	
WATERBODY BUFFER ZONE NO BUILD BUFFER	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
PROPOSED 100' PERIMETER LANDSCAPE BUFFER YARD	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
AREA 5	
STREET YARD LANDSCAPED BUFFER	

MAPPING LEGEND

HORIZONTAL CONTROL POINT	
VERTICAL CONTROL POINT	
INDEX CONTOUR	
INTERMEDIATE CONTOUR	
SPOT ELEVATION	
WATER	
PAVED ROAD	
DIRT ROAD	
BUILDING	
LOCATED OBJECT	
FENCE	
TREES	
PIPE	
POLE	
TOWER	

- WESTERN MATERIAL STORAGE AREA - PHASE 3 CONSTRUCTION SEQUENCE
- CLEAR ENOUGH AREA TO INSTALL THE EROSION CONTROL MEASURES IN PHASE 3.
 - INSTALL THE SILT FENCE, RSB 20-2, RSB 20-3, AND TEMPORARY DIVERSIONS IN THE LOCATIONS SHOWN ON THE PLAN.
 - CLEAR THE REST OF THE AREA WHERE MATERIAL WILL BE PLACED DURING PHASE 3.
 - FILL RSB 20-2 AND REMOVE THE TEMPORARY DIVERSION CHANNELS IN THIS AREA. STABILIZE THE DISTURBED AREAS WITH A GROUND COVER.
 - BEGIN PLACING MATERIAL IN THE STORAGE AREA. PLACE MATERIAL ALONG THE SOUTHERN AND WESTERN EDGES TO CONSTRUCT THE EXTERIOR SLOPES AS SOON AS POSSIBLE. ENSURE THAT ALL DISTURBED AREAS DRAIN TOWARDS THE PIT OR RISER BASINS. MAINTAIN A HIGHWALL BARRIER ALONG THE TOP OF SLOPES AT ALL TIMES.
 - BRING THE SOUTHERN AND WESTERN EDGES OF THE MATERIAL STORAGE AREA TO GRADE AND INSTALL THE TERRACE AND SLOPE DRAINS. WATTLES ARE TO BE INSTALLED AT THE INLET OF ALL SLOPE DRAINS AND A PLUNGE POOL WILL BE INSTALLED AT THE OUTLET OF ALL SLOPE DRAINS. SEED AND STABILIZE THE EXTERIOR SLOPES BELOW THIS ELEVATION. INSTALL A NORTH AMERICAN GREEN SISOBN CHANNEL LINER IN THE BENCH CHANNELS. DISTURBED AREAS IN THE STORAGE AREAS ARE TO BE DIVERTED TO DRAIN AWAY FROM THE SLOPE AND TOWARDS THE PIT AT ALL TIMES.
 - ONCE THE SLOPE ABOVE THE TERRACE HAS BEEN CONSTRUCTED, COMPLETE GRADING OF THE SOUTHERN AND WESTERN SLOPES AND PROVIDE A GROUND COVER ON THE EXTERIOR SLOPES.
 - CONTINUE TO PLACE MATERIAL IN THE STORAGE AREA. ENSURE THAT ALL DISTURBED AREAS DRAIN TOWARDS DIVERSION CHANNEL 20-2 OR THE INLETS INSTALLED DURING PHASE 1.
 - SEED AND STABILIZE AREAS AT THEY ARE GRADE. PROVIDE A TEMPORARY GROUNDCOVER ON EXTERIOR SLOPES AND INACTIVE FILL AREAS EVERY SPRING AND FALL.
 - KEEP ALL DISTURBED AREAS DRAINING INTO THE PIT AT ALL TIMES.
 - INSTALL HIGH WALL BARRIERS ALONG THE TOP OF THE SLOPE AS THE FILL IS BEING PLACED.
 - MONITOR ALL EROSION CONTROL MEASURES AFTER EACH RAINFALL. REMOVE ACCUMULATED SEDIMENT, AND REPAIR AND DAMAGE TO THE SEDIMENT BASINS, DIVERSION BERM, DITCHES, AND SILT FENCE.
 - ONCE THE MATERIAL STORAGE AREA HAS BEEN FILLED TO THE PHASE LIMITS, STABILIZE THE REMAINING SLOPES AND FILL AREA PER THE RECLAMATION DETAIL AND SEEDING SPECIFICATIONS.

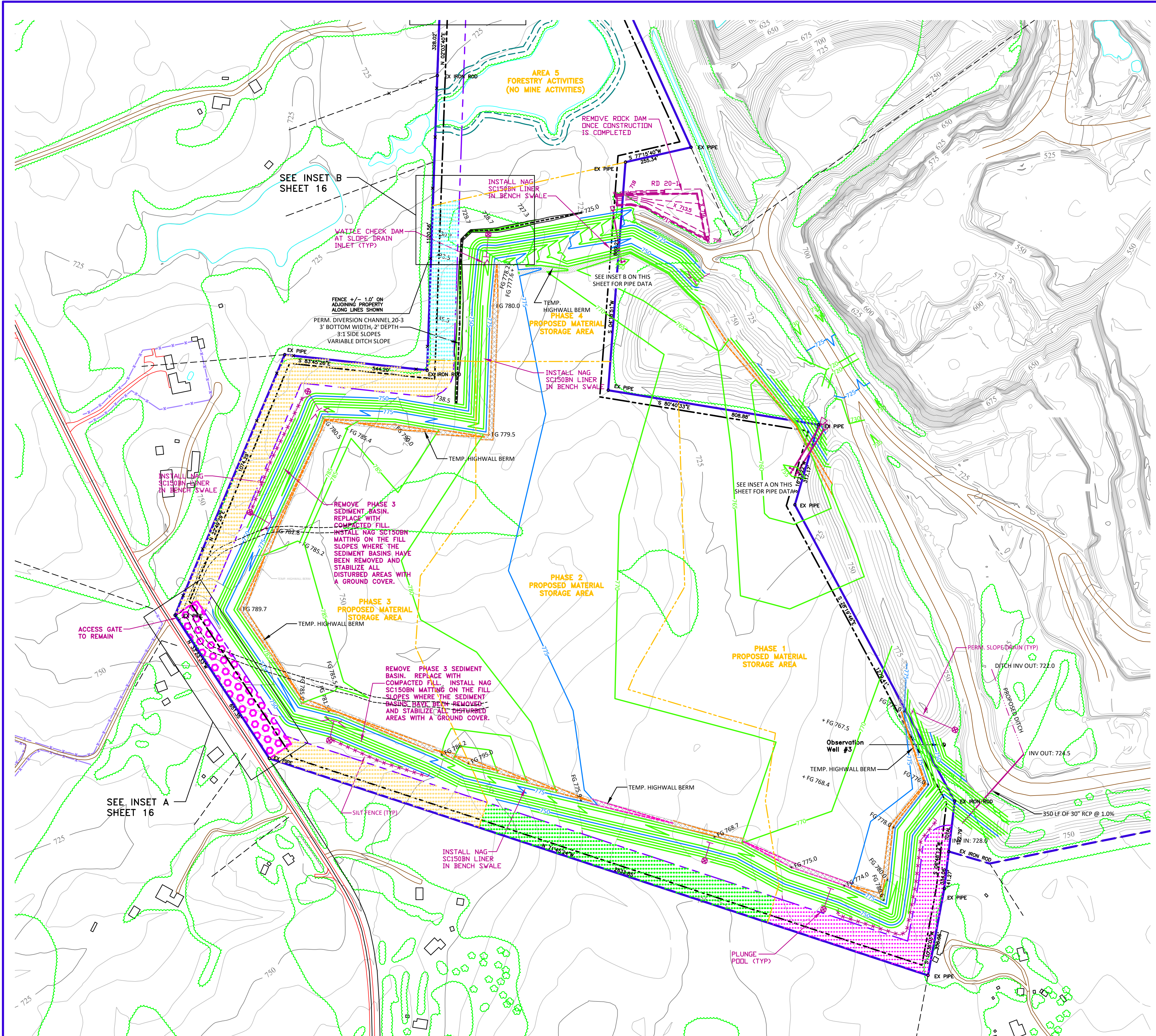


awck alley, williams, carmen, & king, inc.
 CONSULTING ENGINEERS
 FIRM LICENSE No. F-0203
 120 SOUTH MAIN STREET P.O. BOX 1248
 KANNAPOLIS, NC 28082 704/938-1515

2020 CONDITIONAL USE REZONING REQUEST
 GOLD HILL QUARRY
 VULCAN MATERIALS COMPANY
 5300 GOLD HILL RD E., GOLD HILL, NC 28071

SCALE	DATE
1" = 200'	12-18-20
PROFILE	DRAWN BY: RCC
VERT.	CHECKED BY: GWV
	DWG No.:

JOB NO.	11526
SHEET NO.	12
OF	21



PHASED CONSTRUCTION NOTES:
 1. THE GRADING SHOWN ON THIS SHEET IS LOCATED IN PHASE 1, 2, 3 AND 4 OF THE QUARRY MATERIAL STORAGE EXPANSION AREA. MATERIAL STORAGE IN PHASE 4 SHALL NOT OCCUR UNTIL THE APPLICABLE PERIMETER LANDSCAPE BUFFERS HAVE BEEN APPROVED BY CABARRUS COUNTY PLANNING DEPARTMENT. SEE SHEET 2 FOR NOTES CONCERNING THE PROPOSED PLANTINGS. SEE NOTE NO. 4 ON SHEET 2 FOR BUFFER NOTES.

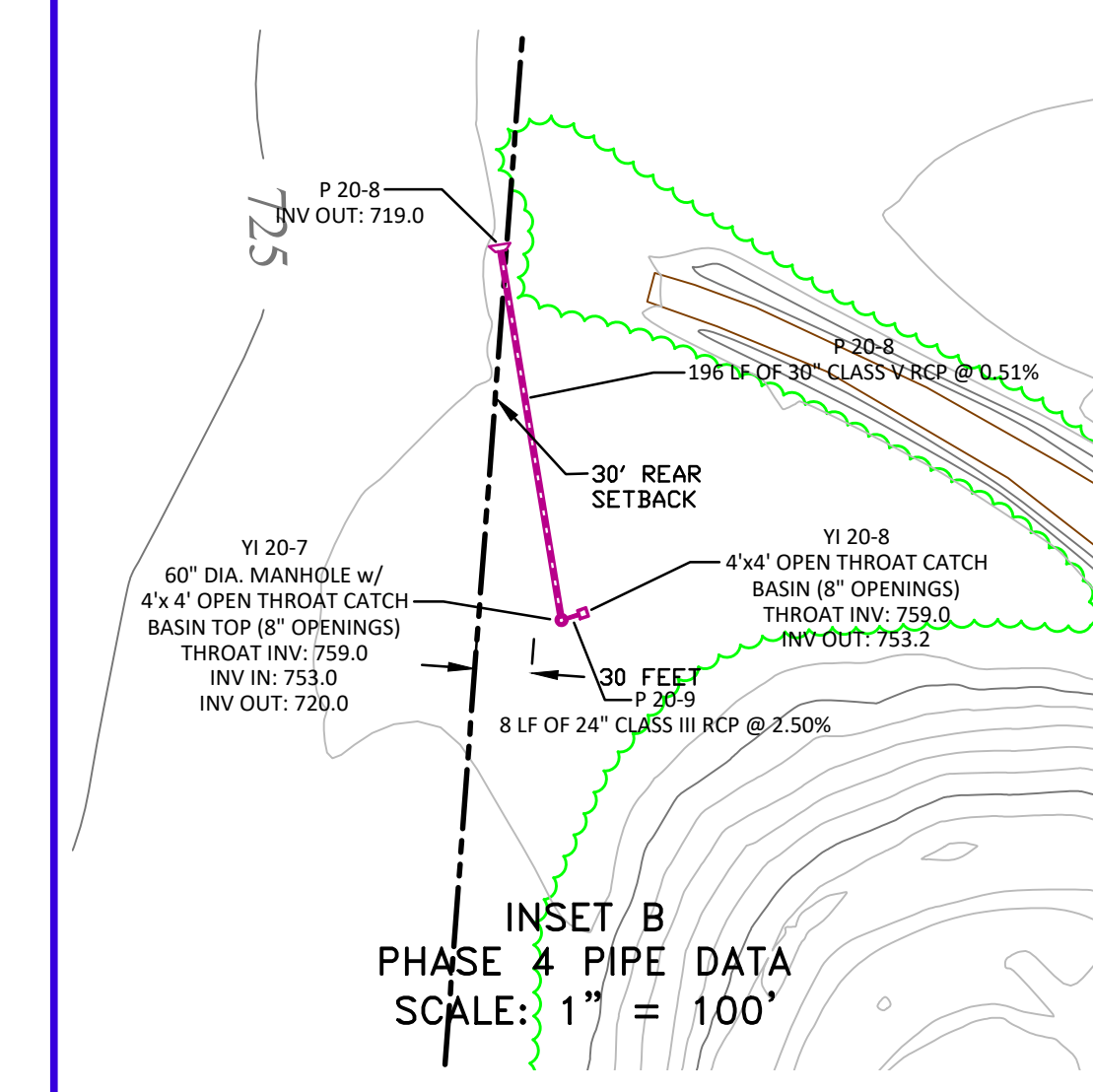
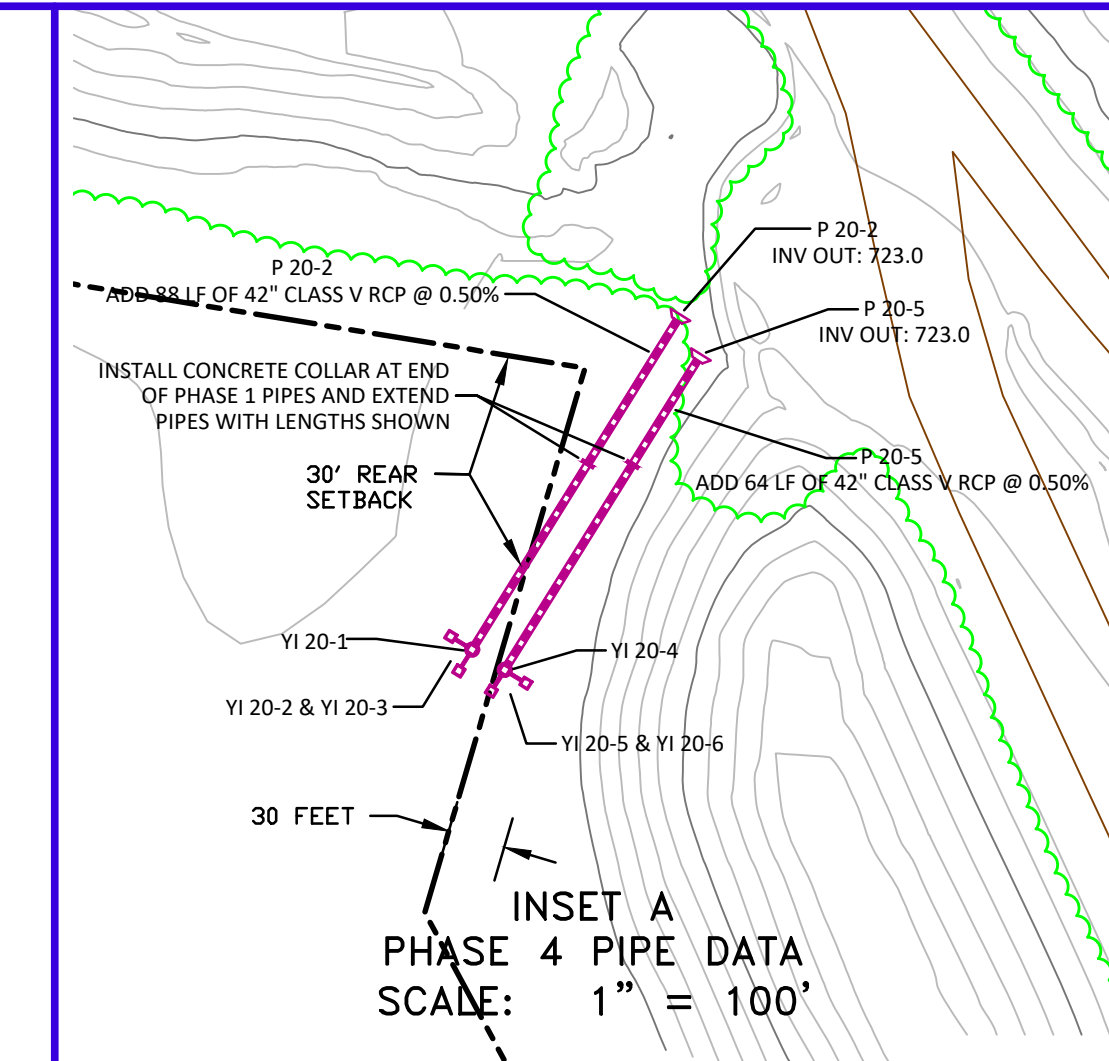
EROSION CONTROL STRUCTURE LEGEND

SEDIMENT BASIN	
RISER SEDIMENT BASIN	
TEMPORARY DIVERSION DITCH	
SILT FENCE	

NOTE: OTHER SYMBOLS MAY BE USED TO DELINEATE EROSION CONTROL MEASURES. REFER TO SITE NOTES.

Vulcan
Materials Company

0 200 400 600



- WESTERN MATERIAL STORAGE AREA - PHASE 4 CONSTRUCTION SEQUENCE
1. CLEAR ENOUGH AREA TO INSTALL THE EROSION CONTROL MEASURES IN PHASE 4.
 2. INSTALL ROCK DAM RD-20 AND DIVERSION CHANNEL 20-3. INSTALL A PERMANENT GROUND COVER IN DIVERSION CHANNEL 20-3.
 3. CLEAR THE REST OF THE AREA WHERE MATERIAL WILL BE PLACED DURING PHASE 4.
 4. INSTALL SILT FENCE BELOW THE SEDIMENT BASINS IN PHASE 3. FILL RSB 20-3 AND RSB 20-4 AND REMOVE THE TEMPORARY DIVERSION CHANNELS IN THIS AREA. STABILIZE THE DISTURBED AREAS WITH A GROUND COVER.
 5. BEGIN PLACING MATERIAL IN THE STORAGE AREA. PLACE MATERIAL ALONG THE WESTERN EDGE TO CONSTRUCT THE EXTERIOR SLOPES AS SOON AS POSSIBLE. ENSURE THAT ALL DISTURBED AREAS DRAIN TOWARDS THE PIT. MAINTAIN A HIGHWALL BARRIER ALONG THE TOP OF SLOPES AT ALL TIMES.
 6. BRING THE WESTERN EDGE OF THE MATERIAL STORAGE AREA TO GRADE AND INSTALL THE TERRACE AND SLOPE DRAINS. WATTLES ARE TO BE INSTALLED AT THE INLET OF ALL SLOPE DRAINS AND A PLUNGE POOL WILL BE INSTALLED AT THE OUTLET OF ALL SLOPE DRAINS. SEED AND STABILIZE THE EXTERIOR SLOPES BELOW THIS ELEVATION. INSTALL A NORTH AMERICAN GREEN S150BN CHANNEL LINER IN THE BENCH CHANNELS. DISTURBED AREAS IN THE STORAGE AREAS ARE TO BE DIVERTED TO DRAIN AWAY FROM THE SLOPE AND TOWARDS THE PIT AT ALL TIMES.
 7. ONCE THE SLOPE ABOVE THE TERRACE HAS BEEN CONSTRUCTED, COMPLETE GRADING OF THE WESTERN SLOPE AND PROVIDE A GROUND COVER ON THE EXTERIOR SLOPES.
 8. EXTEND PIPES 20-2 AND 20-5 AND BACKFILL WHILE STORAGE MATERIAL IS BEING PLACED IN THIS AREA. BRING THE AREA BETWEEN THE EXISTING STORAGE BERM AND YI 20-3 INSTALLED IN PHASE 1 TO GRADE.
 9. ONCE THE MATERIAL STORAGE PLACEMENT BEGINS IN THE NORTHERN END OF PHASE FOUR, INSTALL PIPE 20-8 AND MANHOLE YI 20-1. INSTALL THE MANHOLE IN SECTIONS AND USE THE OPEN MANHOLES FOR INLET DRAINS. INSTALL A STORAGE AREA AROUND THE INLET AND INSTALL A TEMPORARY TRASH RACK. ONCE THE AREAS SURROUNDING THE MANHOLE HAS BEEN FILLED, INSTALL ANOTHER SECTION OF THE MANHOLE RISER. SEE THE INLET SUMP DETAIL ON SHEET 8.
 10. CONTINUE TO PLACE MATERIAL IN THE STORAGE AREA. ENSURE THAT ALL DISTURBED AREAS DRAIN TOWARDS DIVERSION CHANNEL 20-3, ROCK DAM RD 20-1, INLET YI 20-1 OR THE INLETS INSTALLED DURING PHASE 1.
 11. AS THE MATERIAL STORAGE AREA IS BEING BROUGHT TO GRADE, INSTALL YI 20-2 AND PIPE P-8. INSTALL THE OPEN TOP CATCH BASIN INLETS ON THE MANHOLES.
 12. SEED AND STABILIZE AREAS AS THEY ARE BROUGHT TO GRADE. PROVIDE A TEMPORARY GROUND COVER ON EXTERIOR SLOPES AND INACTIVE FILL AREAS EVERY SPRING AND FALL.
 13. KEEP ALL DISTURBED AREAS DRAINING INTO THE PIT AT ALL TIMES.
 14. INSTALL HIGH WALL BARRIERS ALONG THE TOP OF THE SLOPE AS THE FILL IS BEING PLACED. ACCUMULATED SEDIMENT, AND REPAIR AND DAMAGE TO THE SEDIMENT BASINS, DIVERSION BERM, DITCHES, AND SILT FENCE.
 15. ONCE THE MATERIAL STORAGE AREA HAS BEEN FILLED TO THE PHASE LIMITS, STABILIZE THE REMAINING SLOPES AND FILL AREA PER THE RECLAMATION DETAIL AND SEEDING SPECIFICATIONS.
 16. ONCE STABILIZATION OF THE MATERIAL STORAGE AREA IS COMPLETED, ROCK DAM RD 20-1 MAY BE REMOVED. STABILIZE ANY DISTURBED AREAS.

COMPILED BY:

www.tuckmapping.com

DATE OF PHOTOGRAPHY :
3/20/20

THIS MAP MEETS OR EXCEEDS NATIONAL MAP ACCURACY STANDARDS FOR 1"=200', WITH A 5' CONTOUR INTERVAL, EXCLUDING AREAS MAPPED OUTSIDE OF EXISTING GROUND CONTROL OR IN DENSE TREE AREAS.

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HORIZONTAL DATUM: NORTH CAROLINA, NAD83, USFT
VERTICAL DATUM: NAVD88, GEOID 1999

CONTOURS IN TREE AREAS ARE APPROXIMATE

COMBINED FACTOR:
Grid to Ground = 0.9998450
Ground to Grid = 1.0001541

MINE LEGEND

VULCAN LANDS INC PROPERTY LINE	
ADJACENT PROPERTY LINE	
100' UNDISTURBED CLEARING LIMITS	
CABARRUS CO. ZONING BUILDING SETBACK	
WATERBODY BUFFER ZONE BUFFER	
WATERBODY BUFFER ZONE NO BUILD BUFFER	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
PROPOSED 100' PERIMETER LANDSCAPE BUFFER YARD	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
AREA 5	
STREET YARD LANDSCAPED BUFFER	

MAPPING LEGEND

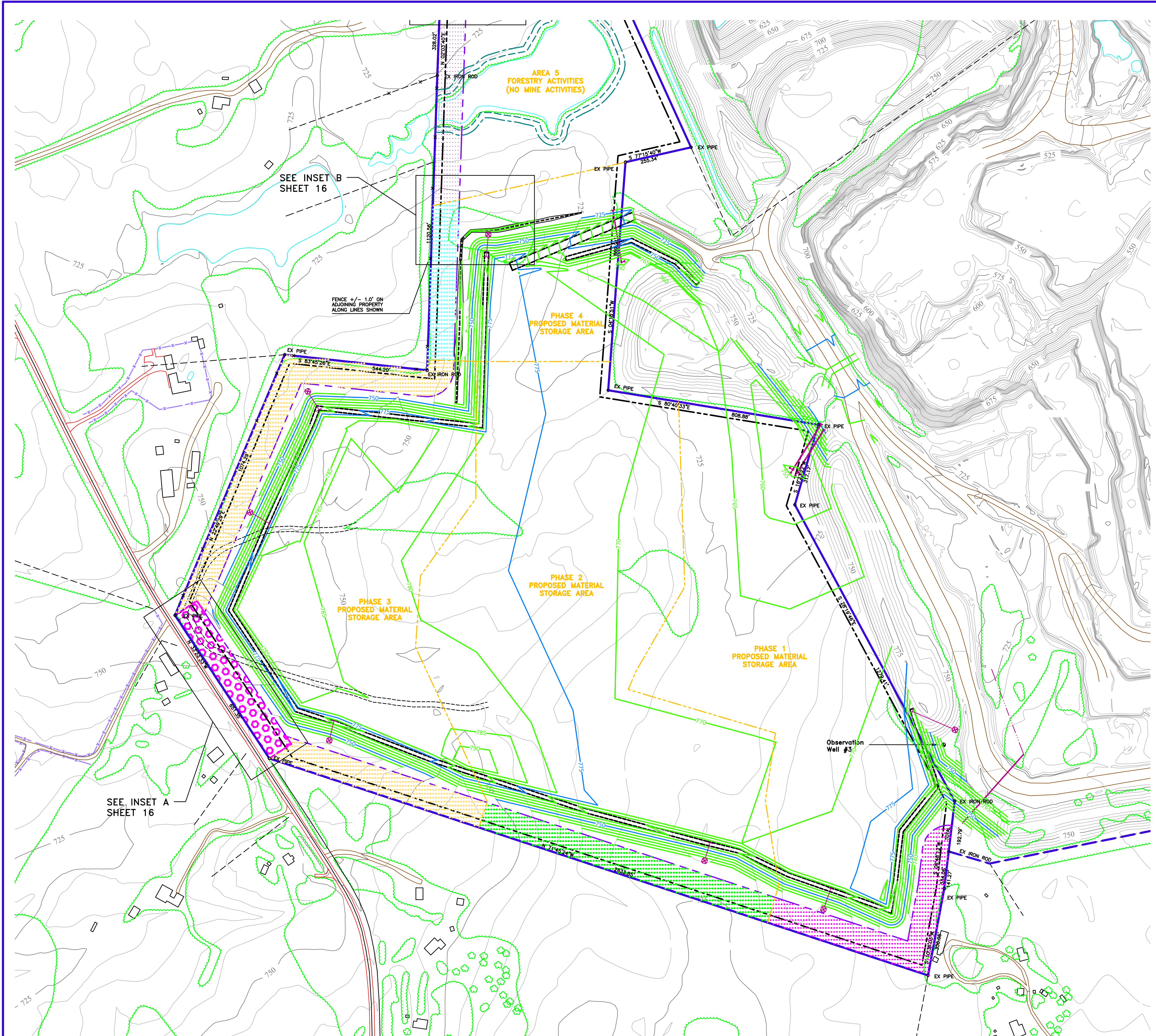
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VERTICAL CONTROL POINT	
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SPOT ELEVATION	
WATER	
PAVED ROAD	
DIRT ROAD	
BUILDING	
LOCATED OBJECT	
FENCE	
TREES	
PIPE	
POLE	
TOWER	

DocuSigned by:
B. Wesley Webb
3-23-21

alley, williams, carmen, & king, inc.
CONSULTING ENGINEERS
FIRM LICENSE No. F-0203
120 SOUTH MAIN STREET KANNAPOLIS, NC 28082
P.O. BOX 1248 704/938-1515

2020 CONDITIONAL USE REZONING REQUEST
GOLD HILL QUARRY
VULCAN MATERIALS COMPANY
5300 GOLD HILL RD E., GOLD HILL, NC 28071

SCALE	DATE	12-18-20
PLANE	VARIABLES	DRAWN BY: RCC
PROFILE	CHECKED BY:	GWV
HORIZ.	DWG No.:	
VERT.		
JOB NO.	11526	
SHEET NO.	13	
OF:	21	

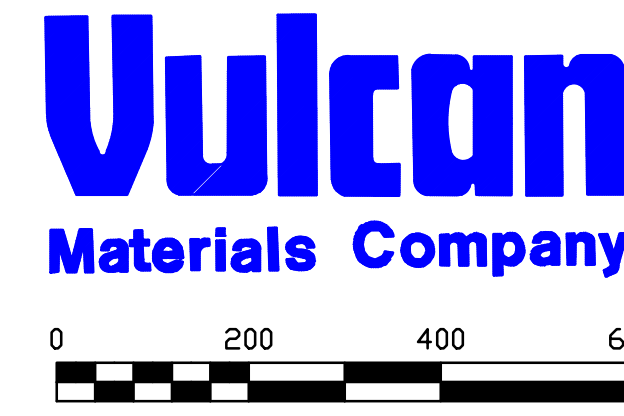


PHASED CONSTRUCTION NOTES:
 1. THE GRADING SHOWN ON THIS SHEET REFLECTS THE FINAL SITE DEVELOPMENT OF PHASES 1, 2, 3 AND 4 OF THE QUARRY MATERIAL STORAGE EXPANSION AREA. SEE NOTE NO. 4 ON SHEET 2 FOR BUFFER NOTES.

EROSION CONTROL STRUCTURE LEGEND

SEDIMENT BASIN	
RISER SEDIMENT BASIN	
TEMPORARY DIVERSION DITCH	
SILT FENCE	

NOTE: OTHER SYMBOLS MAY BE USED TO DELINEATE EROSION CONTROL MEASURES. REFER TO SITE NOTES.



COMPILED BY:

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DATE OF PHOTOGRAPHY :
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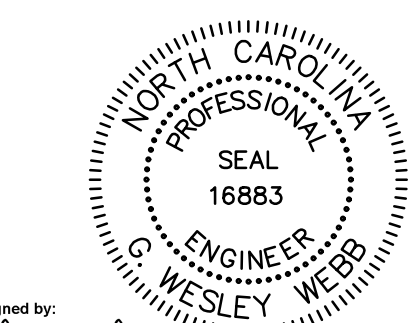
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MINE LEGEND

VULCAN LANDS INC PROPERTY LINE	
ADJACENT PROPERTY LINE	
100' UNDISTURBED CLEARING LIMITS	
CABARRUS CO. ZONING BUILDING SETBACK	
WATERBODY BUFFER ZONE BUFFER	
WATERBODY BUFFER ZONE NO BUILD BUFFER	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
PROPOSED 100' PERIMETER LANDSCAPE BUFFER YARD	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
AREA 5	
STREET YARD LANDSCAPED BUFFER	

MAPPING LEGEND

HORIZONTAL CONTROL POINT	
VERTICAL CONTROL POINT	
INDEX CONTOUR	
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WATER	
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DIRT ROAD	
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LOCATED OBJECT	
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TOWER	



DocuSigned by:
 W. Wesley Webb
 3A0000E6B6488 3-23-21

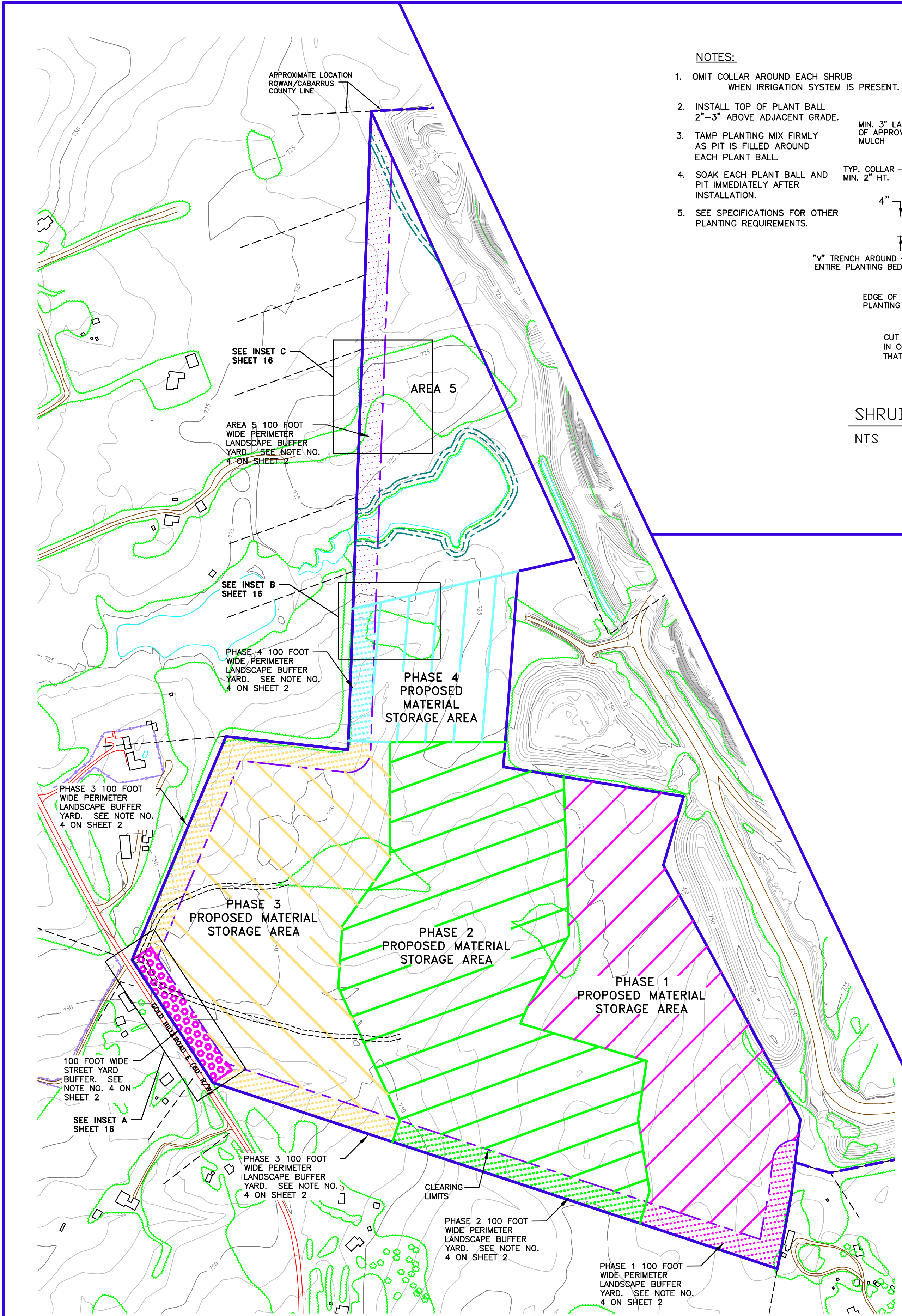
REV#1 PER CABARRUS COUNTY 3-23-21

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 FIRM LICENSE No. F-0203
 120 SOUTH MAIN STREET KANNAPOLIS, NC 28082 P.O. BOX 1248 704/938-1515

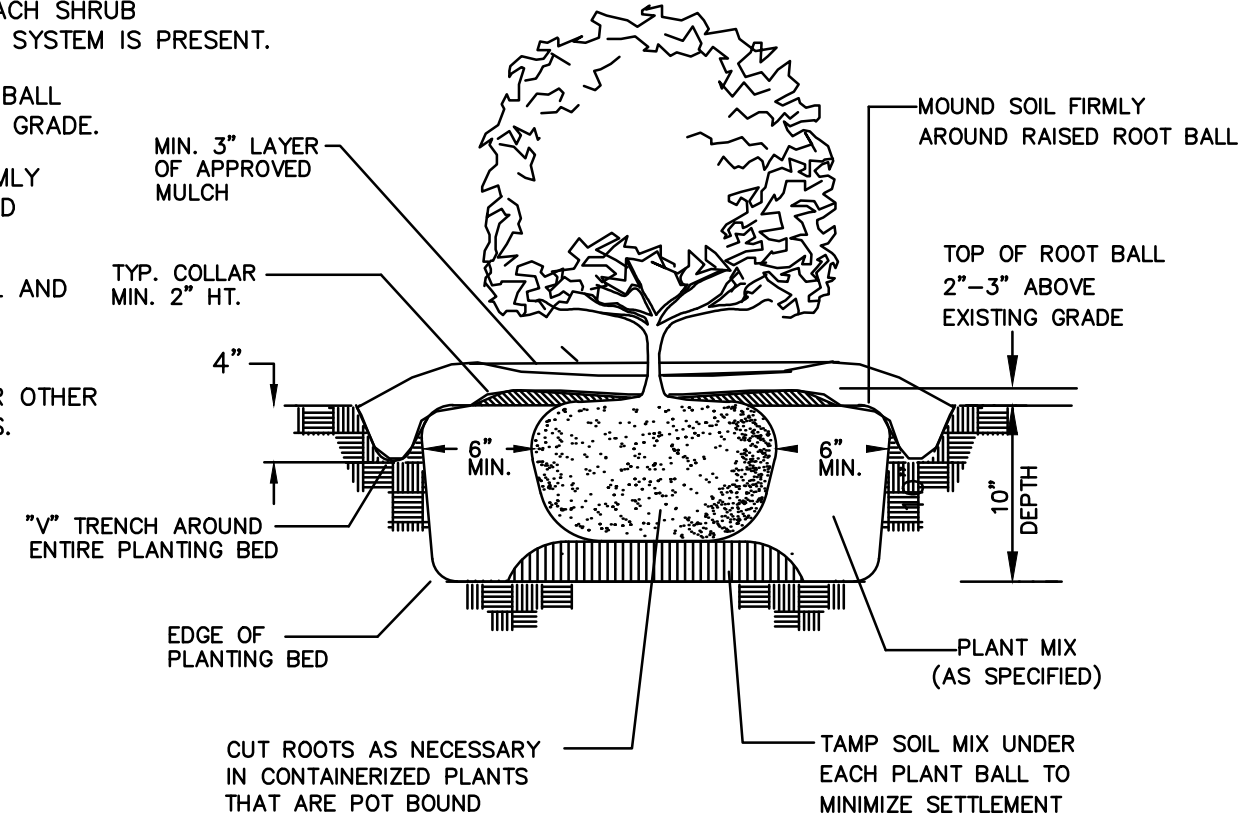
SCALE	DATE
1" = 200'	12-18-20
PROFILE	DRAWN BY:
	RCC
VERT.	CHECKED BY:
	GWV
	DWG No.:

2020 CONDITIONAL USE REZONING REQUEST
 GOLD HILL QUARRY
 VULCAN MATERIALS COMPANY
 5300 GOLD HILL RD E., GOLD HILL, NC 28071

FINAL SITE GRADING
 JOB NO. 11526
 SHEET NO. 14
 OF 21

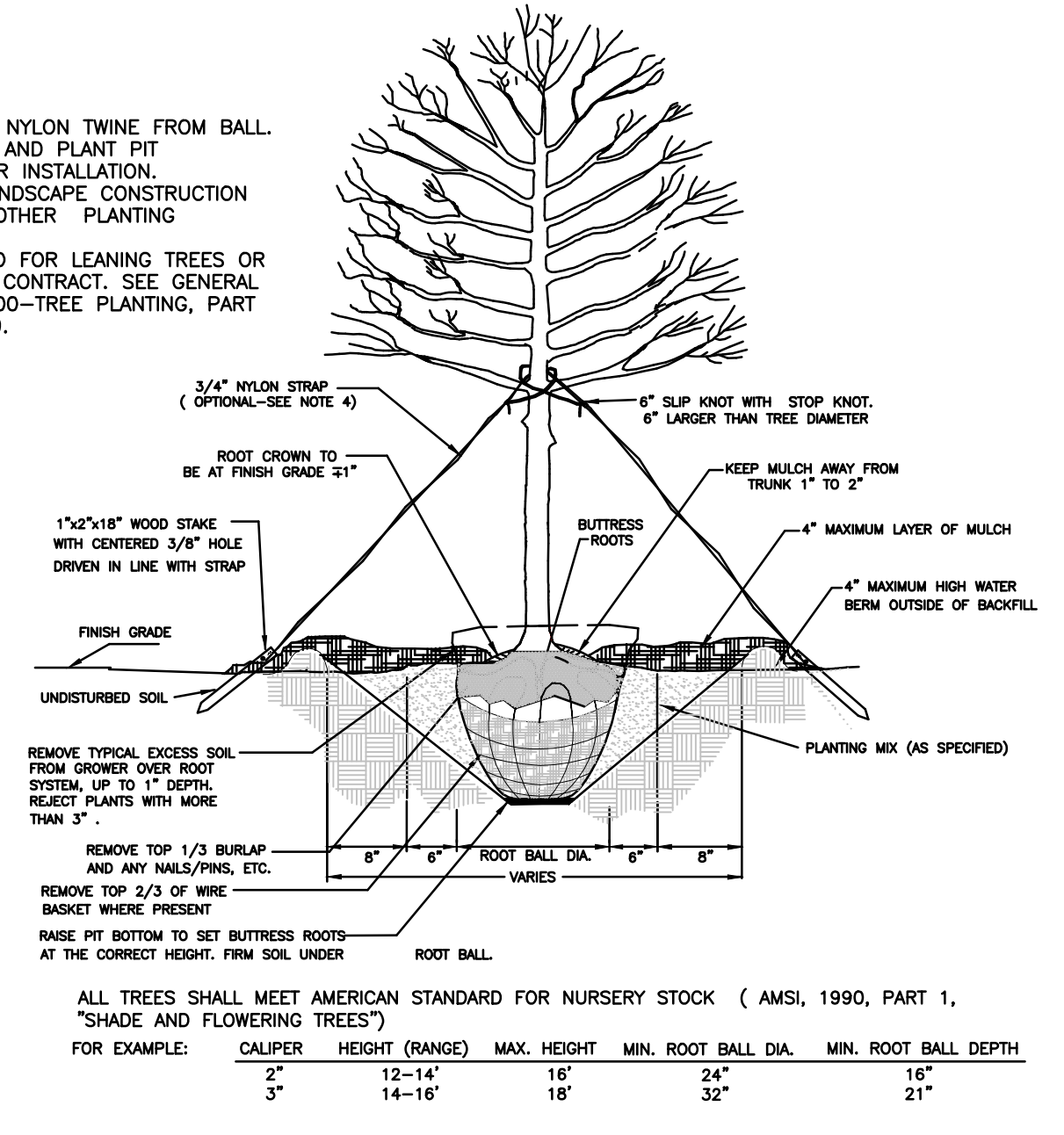


- NOTES:**
1. OMIT COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
 2. INSTALL TOP OF PLANT BALL 2"-3" ABOVE ADJACENT GRADE.
 3. TAMP PLANTING MIX FIRMLY AS PIT IS FILLED AROUND EACH PLANT BALL.
 4. SOAK EACH PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.
 5. SEE SPECIFICATIONS FOR OTHER PLANTING REQUIREMENTS.



SHRUB PLANTING DETAIL
NTS

- NOTES:**
1. REMOVE WIRE OR NYLON TWINE FROM BALL. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
 2. SEE ATTACHED LANDSCAPE CONSTRUCTION STANDARDS FOR OTHER PLANTING REQUIREMENTS.
 3. STAKING REQUIRED FOR LEANING TREES OR AS REQUIRED BY CONTRACT. SEE GENERAL NOTES: SEC. 04100-TREE PLANTING, PART 3 PARAGRAPH B.9.



TREE PLANTING
NTS

GOLD HILL QUARRY
CABARRUS COUNTY

REVEGETATION PLAN
SPRING - FALL - WINTER SEED MIXES

SPRING RATE MARCH - JUNE

Rye Grain	15 - 20 lbs. per acre
Tall Fescue	40 - 80 lbs. per acre
Switchgrass	8 lbs. per acre
Va 70 Shrub Lespedeza	20 lbs. per acre
Sericea Lespedeza	15 - 20 lbs. per acre
Dr Red Clover	8 - 14 lbs. per acre
Hulled Common Bermuda Grass	4 lbs. per acre
Dr Weeping Love Grass	2 - 4 lbs. per acre

FALL RATE (MID) AUGUST - OCTOBER

Rye Grain	40 lbs. per acre
Tall Fescue	80 lbs. per acre
Sericea Lespedeza (Unscarified)	40 lbs. per acre
Drchard Grass	30 lbs. per acre
White Clover	5 lbs. per acre

WINTER RATE NOVEMBER - FEBRUARY

Rye Grain	40 lbs. per acre
Unhulled Bermuda Grass	10 lbs. per acre
Unscarified Sericea Lespedeza	30 lbs. per acre
Tall Fescue	80 lbs. per acre

FERTILIZER ALL SEASONS

10 - 20 - 20	1500 lbs. per acre
Lime	4000 lbs. per acre
Mulch	70 bales per acre

Mulch to be anchored by one of the following methods:

1. Crimping with mulch anchoring tool; or
2. Tack with asphalt emulsion - 400 gal. per acre or
3. 1500 pounds/acre fiber mulch

PLANT MATERIAL SPECIFICATIONS

11.8.1. SIZE STANDARDS
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A. SHADE TREES
SHADE TREES SHALL MEASURE A MINIMUM 2 TO 2.5 INCH IN CALIPER AND 10 TO 12 FEET IN HEIGHT AT THE TIME OF PLANTING.

B. ORNAMENTAL TREES
ORNAMENTAL TREES SHALL MEASURE A MINIMUM 1.5 TO 2 INCHES IN CALIPER FOR SINGLE-STEM TREES OR 1 TO 1.5 INCHES IN CALIPER FOR MULTI-STEM TREES, AND 6 TO 8 FEET IN HEIGHT.

C. LARGE SHRUBS
LARGE SHRUBS, NORMALLY PLANTED FOR SCREENING, SHALL MEASURE A MINIMUM OF 3 TO 3 1/2 FEET IN HEIGHT AT THE TIME OF PLANTING.

D. SMALL SHRUBS
SMALL SHRUBS SHALL MEASURE A MINIMUM OF 18 TO 24 INCHES IN SPREAD AND/OR HEIGHT AT THE TIME OF PLANTING. A MIX OF DECIDUOUS AND EVERGREEN SHRUBS IS ENCOURAGED IN ORDER TO OBTAIN A VARIETY OF COLOR AND TEXTURE THROUGHOUT THE YEAR.

E. GROUND COVER (ORGANIC)
ORGANIC GROUND COVERS SHALL PROVIDE 100% COVERAGE ON THE GROUND WITHIN THREE (3) YEARS FROM THE DATE OF INSTALLATION. EXCEPT FOR SEEDING, GRASS OR TURF SHALL PROVIDE 100% COVERAGE UPON INSTALLATION. ORGANIC MULCH MAY BE USED AROUND PLANTINGS TO MAINTAIN SOIL MOISTURE AND PREVENT THE GROWTH OF WEEDS.

F. GROUND COVER (INORGANIC)
INORGANIC GROUND COVERS CONSISTING OF RIVER ROCK OR SIMILAR MATERIALS MAY BE USED PROVIDED THEY DO NOT EXCEED 20% COVERAGE OF THE REQUIRED LANDSCAPE PLANTING AREA.

11.8.2. SELECTION OF PLANT MATERIALS
ALL PLANT MATERIAL EXCEPT GROUND COVERS SHALL BE SELECTED FROM TABLE 9.1-1.- ACCEPTABLE PLANT SPECIES. CONSIDERATION SHALL BE GIVEN TO THE ENVIRONMENTAL CONDITIONS OF THE SITE, SUCH AS SOIL, TOPOGRAPHY, CLIMATE, MICROCLIMATE, PATTERN OF SUN MOVEMENT, PREVAILING WINDS AND PRECIPITATION, AND AIR MOVEMENT TO ENSURE THAT PLANT MATERIALS WILL BE ESTABLISHED SUCCESSFULLY. TREE SELECTION FOR STREET YARDS OR OTHER LOCATIONS WITHIN UTILITY RIGHTS-OF-WAYS SHALL CONSIDER THE PRESENCE OR PLANNED ADDITION OF OVERHEAD UTILITY LINES. SUCH TREES SHALL BE SMALL AND MEDIUM TREES THAT ARE PEST- AND DISEASE-RESISTANT AND ARE SLOW GROWING.

A. SUBSTITUTION OF PLANT MATERIALS
THE ADMINISTRATOR SHALL HAVE THE AUTHORITY TO APPROVE THE INSTALLATION OF COMPARABLE SUBSTITUTION PLANS MATERIALS TO SATISFY THE REQUIREMENTS OF THE APPROVED LANDSCAPE PLAN WHEN THE APPROVED PLANTS AND LANDSCAPE MATERIALS ARE NOT AVAILABLE AT THE TIME THAT INSTALLATIONS ARE TO OCCUR, OR WHEN OTHER UNFORESEEN CONDITIONS PREVENT THE USE OF THE EXACT MATERIALS SHOWN ON THE APPROVED LANDSCAPE PLAN.

B. MIX OF GENUS AND SPECIES ENCOURAGED
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COMPILED BY:



DATE OF PHOTOGRAPHY :
3/20/20

THIS MAP MEETS OR EXCEEDS NATIONAL MAP ACCURACY STANDARDS FOR 1"=200', WITH A 5' CONTOUR INTERVAL, EXCLUDING AREAS MAPPED OUTSIDE OF EXISTING GROUND CONTROL OR IN DENSE TREE AREAS.

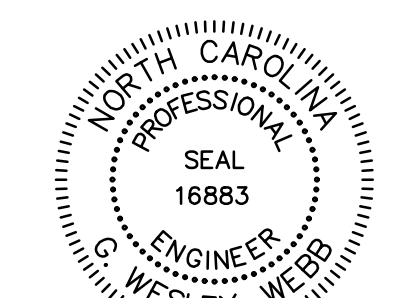
THE TOPOGRAPHIC MAP WAS ORIGINALLY ISSUED AND SEALED BY ROBERT H. TUCK, L-4122, ON 4-19-20.
PORTIONS OF THIS MAP HAVE BEEN COMPILED OUTSIDE THE LIMITS OF CONTROL AND THEREFORE DO NOT MEET THE NATIONAL MAP ACCURACY STANDARDS
HORIZONTAL DATUM: NORTH CAROLINA, NAD83, USFT
VERTICAL DATUM: NAVD88, GEOID 1999
CONTOURS IN TREE AREAS ARE APPROXIMATE
COMBINED FACTOR:
Grid to Ground = 0.9998459
Ground to Grid = 1.0001541

MINE LEGEND

VULCAN LANDS INC PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
100' UNDISTURBED CLEARING LIMITS	---
CABARRUS CO. ZONING BUILDING SETBACK	---
WATERBODY BUFFER ZONE BUFFER	---
WATERBODY BUFFER ZONE NO BUILD BUFFER	---
PHASE 1	---
PHASE 2	---
PHASE 3	---
PHASE 4	---
PROPOSED 100' PERIMETER LANDSCAPE BUFFER YARD	---
PHASE 1	---
PHASE 2	---
PHASE 3	---
PHASE 4	---
AREA 5	---
STREET YARD LANDSCAPED BUFFER	---

MAPPING LEGEND

HORIZONTAL CONTROL POINT	△
VERTICAL CONTROL POINT	○
INDEX CONTOUR	3500
INTERMEDIATE CONTOUR	751.6
SPOT ELEVATION	+ 751.6
WATER	---
PAVED ROAD	---
DIRT ROAD	---
BUILDING	---
LOCATED OBJECT	---
FENCE	---
TREES	---
PIPE	---
POLE	---
TOWER	---



DocuSigned by:
Wesley Webb
3-23-21

- BUFFER YARD NOTES:**
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 3. LANDSCAPE PLANTINGS AND LAYOUT DESIGNED BY JEFF YOUNG, RLA

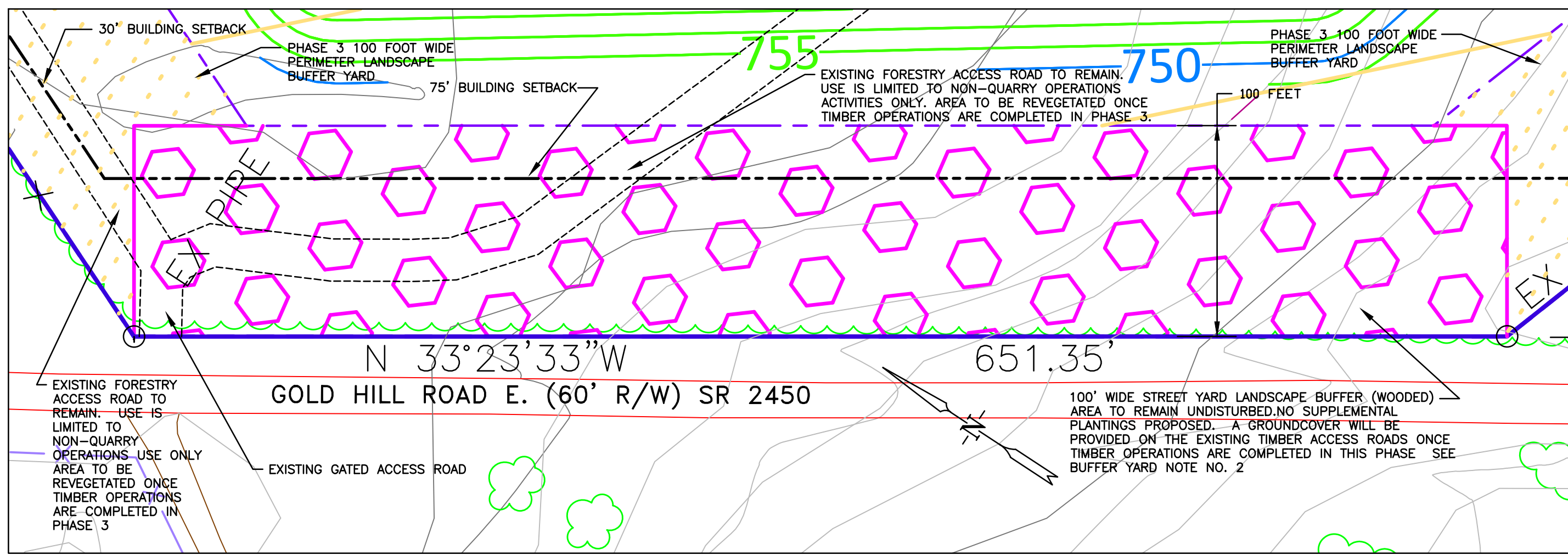


alley, williams, carmen, & king, inc.
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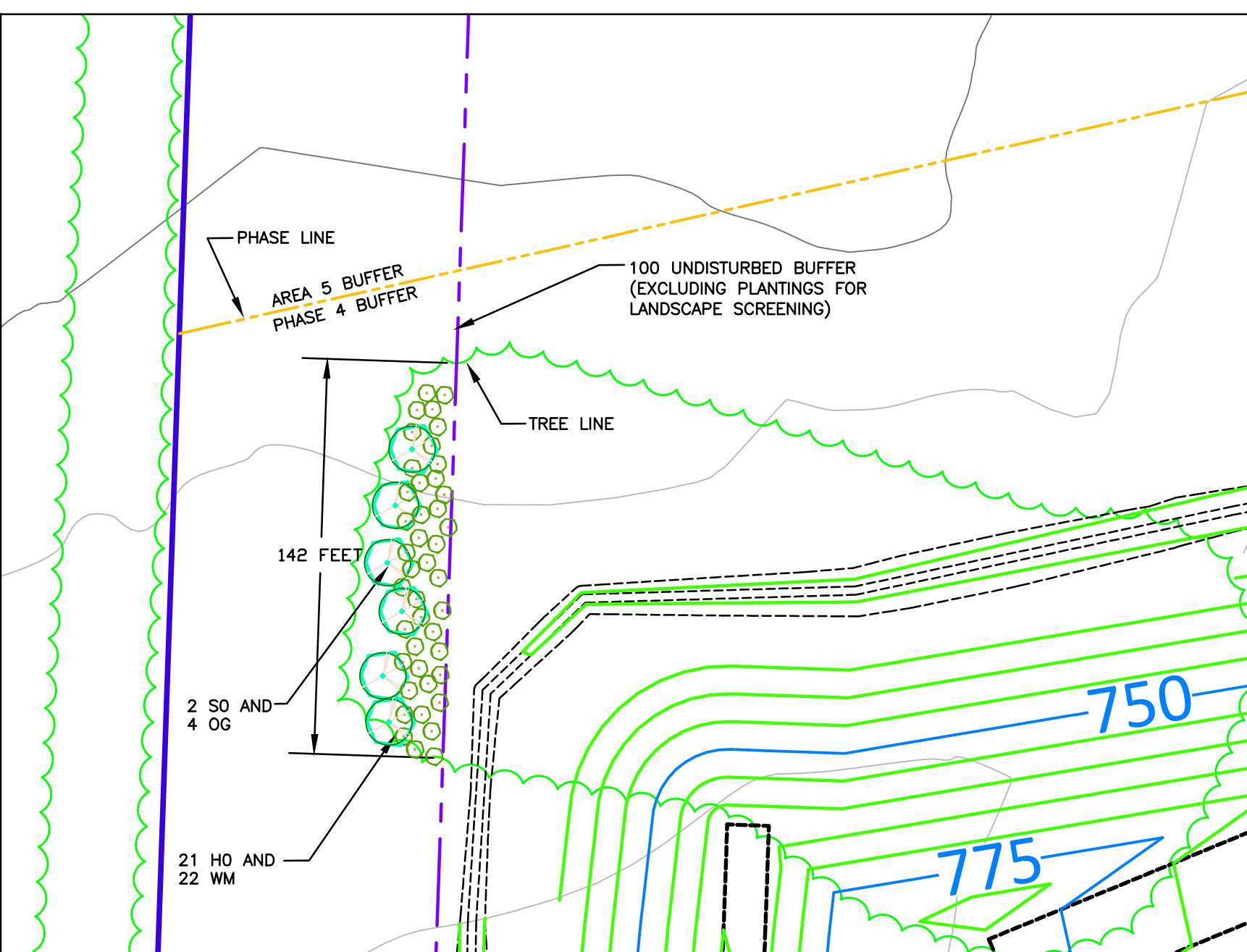
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VARIABLES	12-18-20
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5300 GOLD HILL RD E., GOLD HILL, NC 28071

JOB NO.	11526
SHEET NO.	15
OF	21

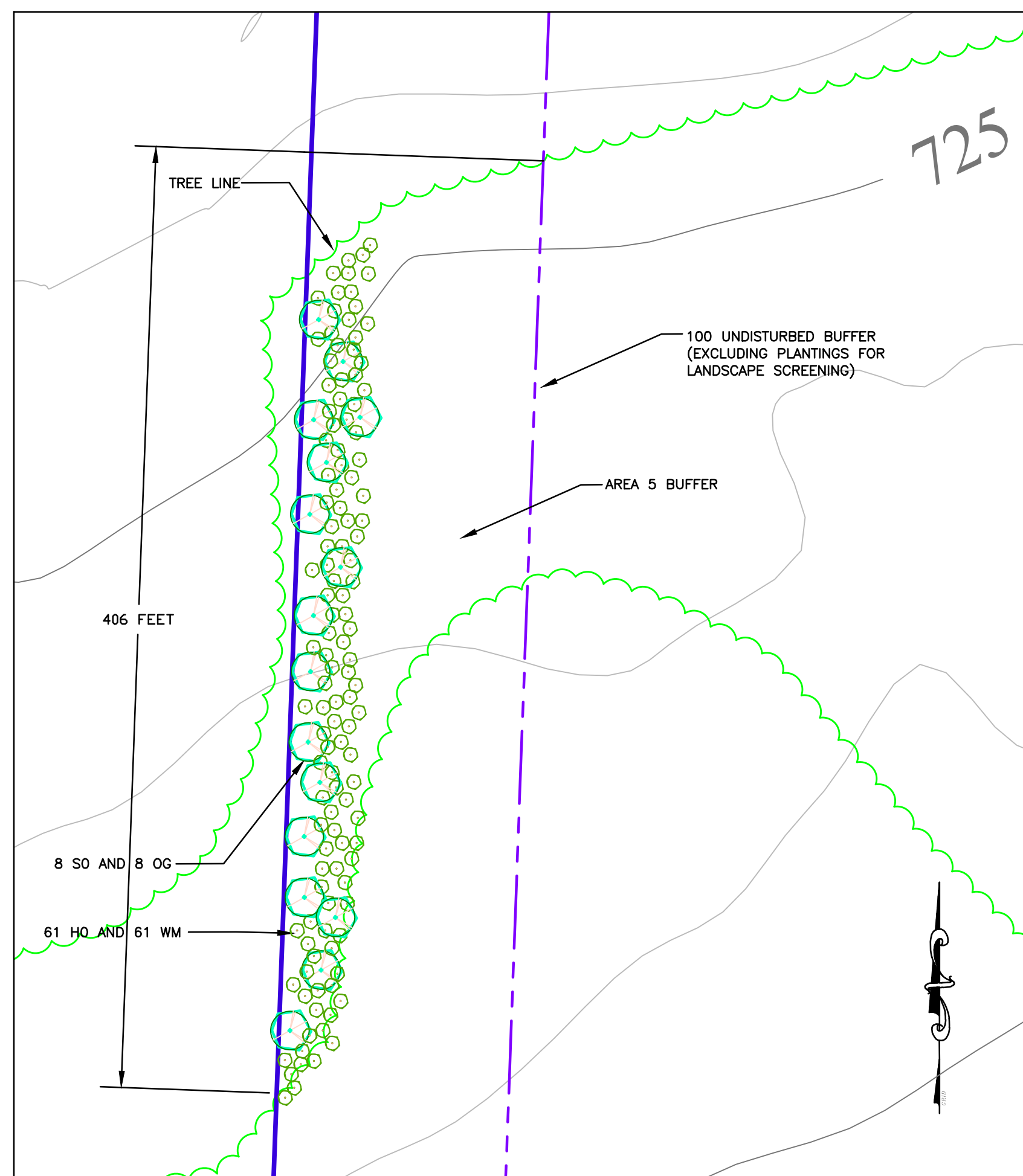


INSET A
PHASE 3 STREETYARD
1' = 50'



INSET B BUFFER YARD PLANTINGS. BUFFER YARD IS 100' WIDE AND 142' LONG
SUPPLEMENTAL PLANTINGS PROPOSED
ADD 2 SHADE TREES PER 50' FOR A TOTAL OF 6 SHADE TREES
ADD 15 SHRUBS PER 50' FOR A TOTAL OF 43 SHRUBS

INSET B
PHASE 4 PLANTINGS
1' = 50'



INSET C BUFFER YARD PLANTINGS. BUFFER YARD IS 100' WIDE AND 406' LONG
SUPPLEMENTAL PLANTINGS PROPOSED
ADD 2 SHADE TREES PER 50' FOR A TOTAL OF 16 SHADE TREES
ADD 15 SHRUBS PER 50' FOR A TOTAL OF 122 SHRUBS

INSET C
AREA 5 PLANTINGS
1' = 50'

Vulcan Lands, Inc. - Gold Hill - Plant List

Key	Common Name (Botanical Name)	Min. Size	Quantity
SO	Shumard Oak (Quercus shumardii)	3" cal. / 12'-14' ht. / 4'-5' spread	5
OG	October Glory Red Maple (Acer rubrum 'October Glory')	3" cal. / 14'-15' ht. / 4'-5' spread	6
HO	Holly Osmanthus (Osmanthus heterophyllus)	3 gal. container	82
WM	Southern Wax Myrtle (Myrica cerifera)	3 gal. container	83

General Notes:

- Mulch all plant beds with pine needles, or small size pine bark to a depth of 2 to 3 inches. Mulch beds around trees in lawn areas extending to a minimum radius of 4 feet from the tree trunk. Plant beds around shrubs shall extend a minimum of 1 foot beyond the spread of the shrubs.
- Irrigate regularly, but do not overwater.
- Conduct soil tests to determine soil amendment needs.
- Till all plant beds incorporating compost 6 to 8 inches deep into. Dig tree and shrub pits 2x as wide root ball.
- Adjustment of pH may be necessary to get soil pH to around 6.5.
- Plant beds should be built up 6" to 8" above grade.
- Shrubs shall be 2'-6" to 3' height at planting.
- Space, mix and arrange shrubs in a naturalistic manner to grow into a visual screen. Minimum spacing between shrubs should be no less than 5'. Maximum spacing of shrubs to the next nearest shrub should be no more than 7'.

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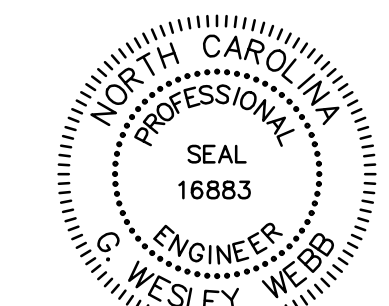
COMBINED FACTOR:
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MINE LEGEND

VULCAN LANDS INC PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
100' UNDISTURBED CLEARING LIMITS	---
CABARRUS CO. ZONING BUILDING SETBACK	---
WATERBODY BUFFER ZONE BUFFER	---
WATERBODY BUFFER ZONE NO BUILD BUFFER	---
PHASE 1	---
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PROPOSED 100' PERIMETER LANDSCAPE BUFFER YARD	---
PHASE 1	---
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PHASE 3	---
PHASE 4	---
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STREET YARD LANDSCAPED BUFFER	---

MAPPING LEGEND

HORIZONTAL CONTROL POINT	△
VERTICAL CONTROL POINT	○
INDEX CONTOUR	3500
INTERMEDIATE CONTOUR	751.6
SPOT ELEVATION	+
WATER	---
PAVED ROAD	---
DIRT ROAD	---
BUILDING	---
LOCATED OBJECT	---
FENCE	---
TREES	---
PIPE	---
POLE	---
TOWER	---



DocuSigned by:
Wesley Webb 3-23-21
340005959A6488

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DWG NO.: 11526 GOLD HILL QUARRY CABAR SHAFER REZONING.DWG

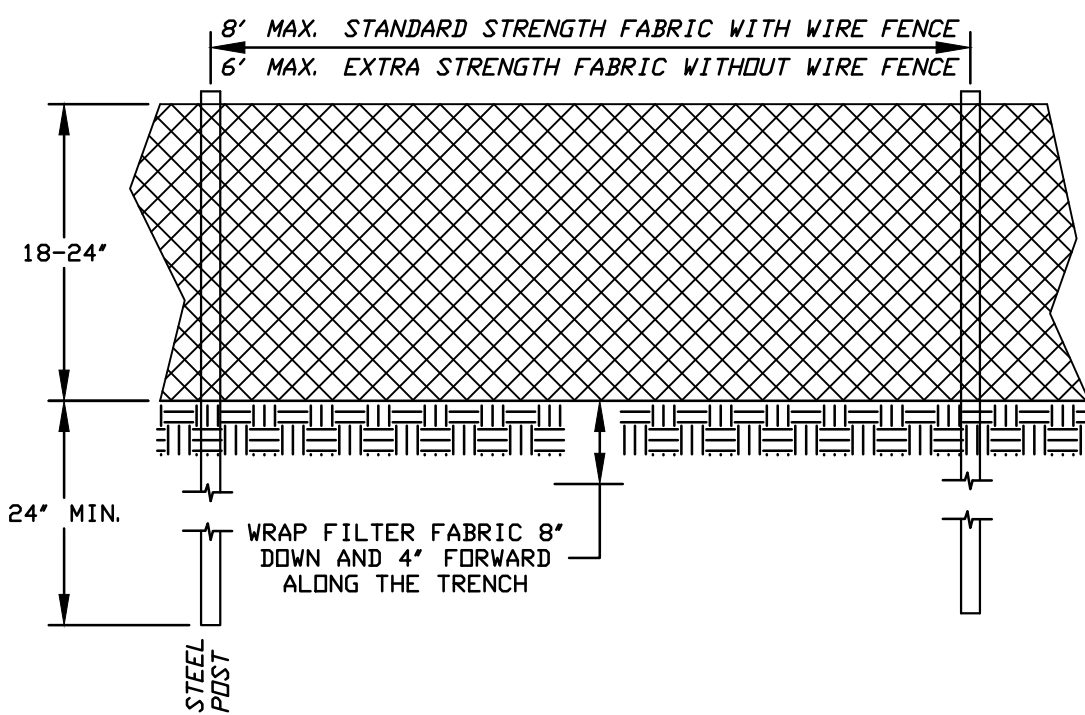


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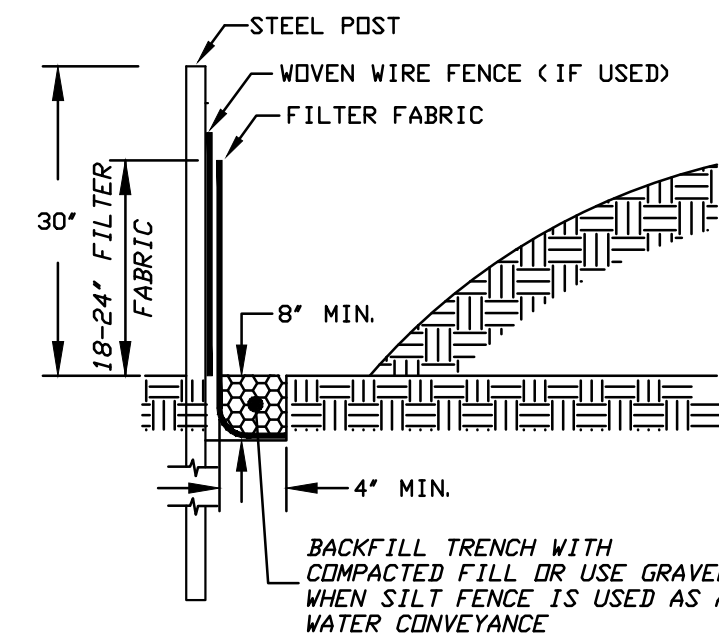
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HORIZ.	DWG No.:	
VERT.		

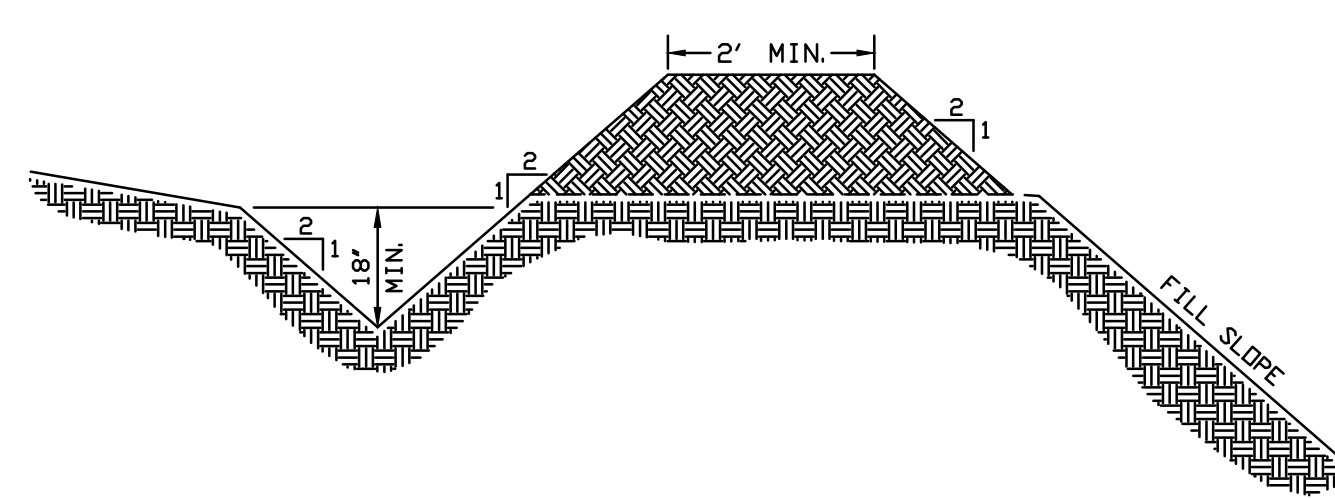
JOB NO.	11526
SHEET NO.	16
OF:	21



- GENERAL NOTES:**
1. WOVEN WIRE FENCE SHALL BE A MINIMUM OF 32" HIGH AND SHALL HAVE A MINIMUM OF 5 HORIZONTAL WIRES, VERTICAL WIRES WITH 12" SPACING, MINIMUM 10 GAUGE TOP AND BOTTOM WIRES, MINIMUM 12 1/2 GAUGE ALL OTHER WIRES.
 2. FILTER FABRIC SHALL BE MIRAFIX 100X FABRIC OR EQUIVALENT.
 3. STEEL POSTS SHALL BE 5'-0" IN HEIGHT AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE.
 4. WASHED STONE SHALL BE USED TO BURY SKIRT WHEN SILT FENCE IS USED ADJACENT TO A CHANNEL, CREEK OR POND.
 5. TURN SILT FENCE UP SLOPE AT ENDS.
 6. REMOVE SEDIMENT WHEN 12 INCHES DEPTH OF SEDIMENT HAS ACCUMULATED.
 7. PROVIDE 4" BETWEEN EACH RUN OF DOUBLE ROW SILT FENCE IN AREAS WHERE DOUBLE ROWS OF SILT FENCE WILL BE INSTALLED.



TEMPORARY SILT FENCE



TEMPORARY DIVERSION DITCH

NTS

DEFINITION

A sediment control barrier formed around a storm drain inlet by the use of standard concrete block & gravel.

PURPOSE

To help prevent sediment from entering storm drains before stabilizing the contributing watershed. This practice allows early use of the storm drain system.

CONSTRUCTION SPECIFICATIONS

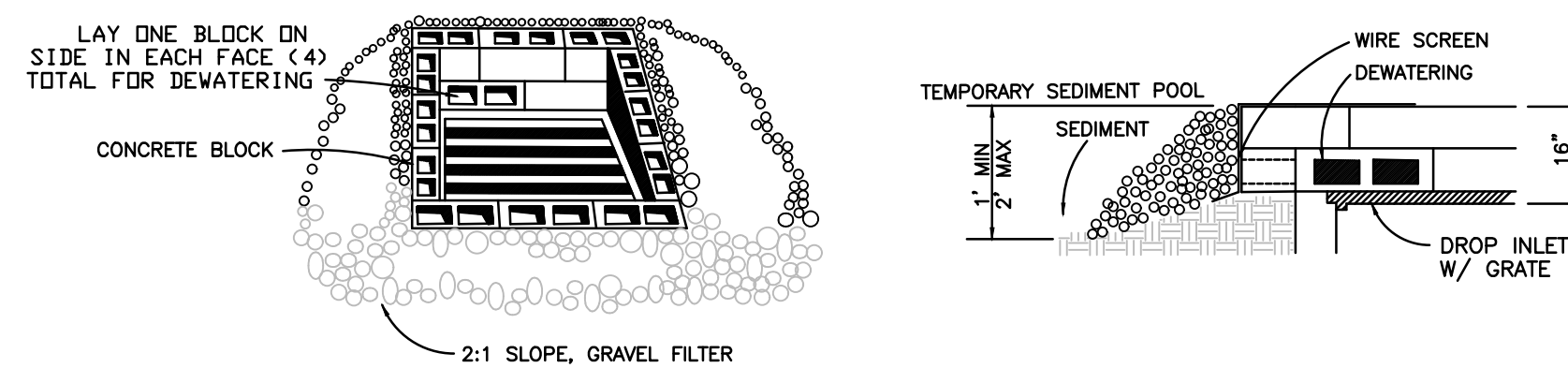
1. Lay one block on each side of the structure on its side in the bottom row to allow pool drainage. The foundation should be excavated at least 2 inches below the crest of the storm drain. Place the bottom row of blocks against the edge of the storm drain for lateral support and to avoid washouts when overflow occurs. If needed, give lateral support to subsequent rows by placing 2X4 wood studs through block openings.
2. Carefully fit hardware cloth or comparable wire mesh with 1/2 inch openings over all block openings to hold gravel in place.
3. Use clean gravel, 3/4 to 1/2 inch in diameter, placed 2 inches below the top of the block on a 2:1 slope or flatter and smooth it to an even grade. dot #57 washed stone is recommended.
4. If only stone and gravel are used, keep the slope toward the inlet no steeper than 3:1. Leave a minimum 1 ft. wide level stone area between the structure and around the inlet to prevent gravel from entering inlet. On the slope toward the inlet, use stone 3 inches in diameter or larger. On the slope away from the inlet use 1/2 - 3/4 inch gravel (nodot #57 washed stone) at a minimum thickness of 1 ft.

MAINTENANCE

Inspect the barrier after each rain and make repairs as needed.

Remove sediment as necessary to provide adequate storage volume for subsequent rains. When the contributing drainage area has been adequately stabilized, remove all materials and any unstable soil, and either salvage or dispose of it properly.

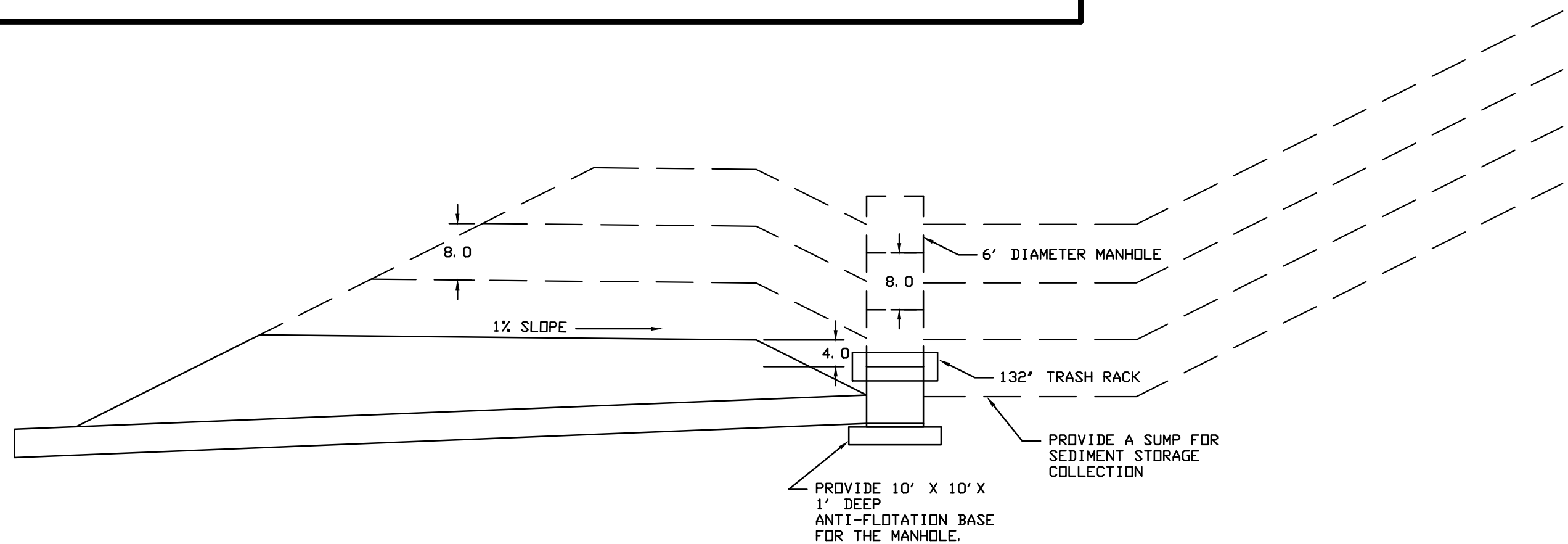
Bring disturbed area to proper grade, then smooth and compact it. Appropriately stabilize all bare areas around the inlet.



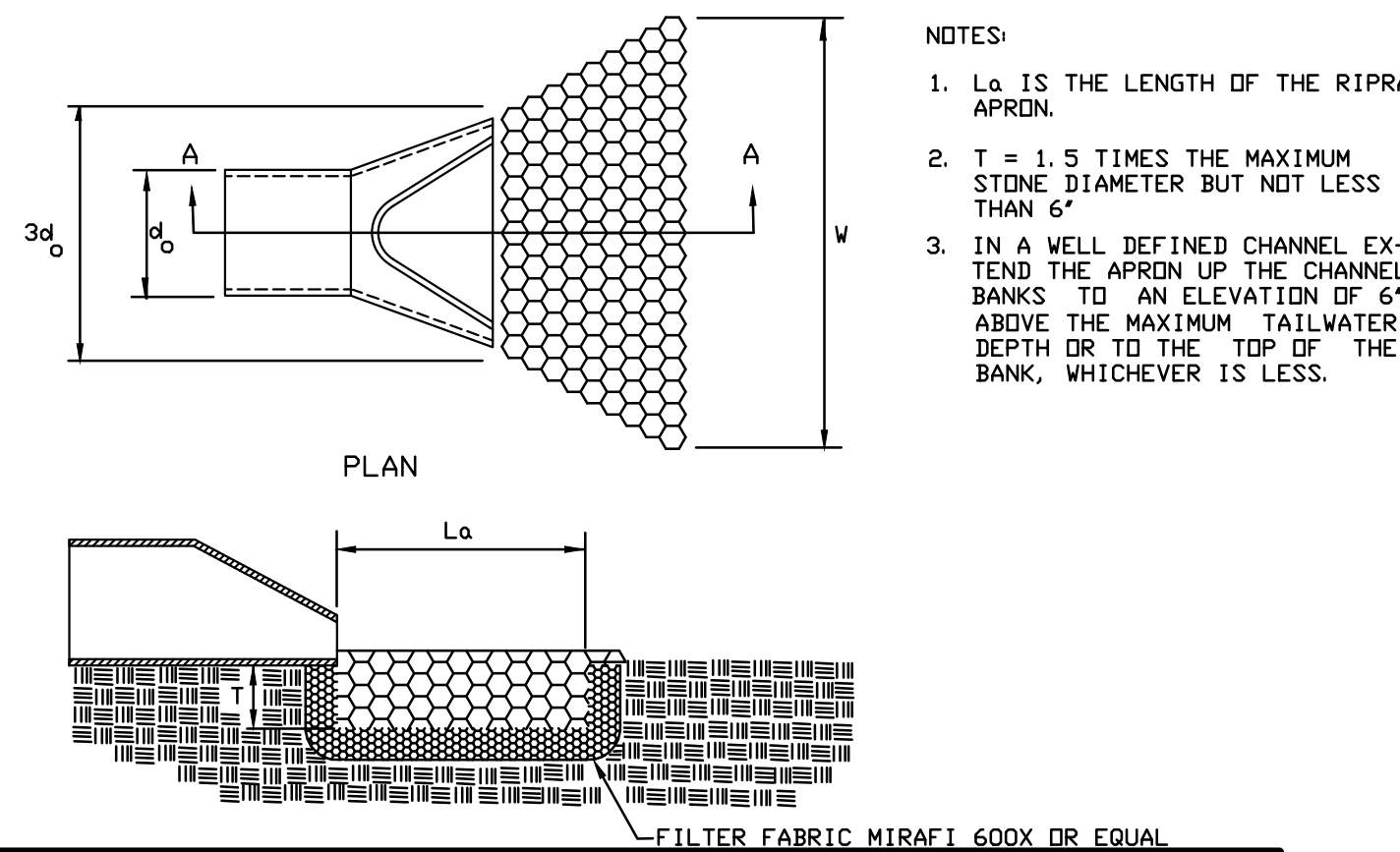
BLOCK & GRAVEL INLET PROTECTION

NOTE: THE PURPOSE OF THIS DETAIL IS TO PROVIDE A DRAINAGE COLLECTION SYSTEM IN FILL AREAS THAT EXCEED 15 FEET OF HEIGHT.

1. INSTALL THE DISCHARGE BARREL, ANTI-FLOTATION BASE, OUTLET PROTECTION, TRASH RACK AND THE FIRST MANHOLE SECTION.
2. INSTALL BACKFILL OVER THE STORM DRAINAGE PIPE. THE HEIGHT OF THE FIRST LIFT IS A MINIMUM OF 10 FEET. THE TOP OF MANHOLE SHOULD ALWAYS BE A MINIMUM OF 4 FEET BELOW THE EDGE OF THE EXTERIOR FILL SLOPE.
3. MAINTAIN A SUMP AROUND THE TOP OF THE MANHOLE TO HELP COLLECT SEDIMENT.
4. USE TEMPORARY DIVERSIONS TO DIVERT RUNOFF TOWARDS THE MANHOLE ONCE THE PLACEMENT OF FILL MAKES CONSTRUCTION OF TEMPORARY DIVERSIONS WITH A 1:1 MINIMUM SLOPE DIFFICULT, RAISE THE FILL OVER THE DISCHARGE PIPE IN 8 FOOT HIGH LIFTS.
5. REMOVE THE TRASH RACK AND INSTALL ANOTHER MANHOLE SECTION. MANHOLE JOINTS SHOULD BE WRAPPED WITH A SEALANT PRIOR TO BACKFILLING AGAINST THE STRUCTURE.
6. REINSTALL THE TRASH RACK AND PLACE COMPACTED FILL IN THE OLD SUMP.
7. CONTINUE TO PLACE FILL UPSTREAM OF THE RISER AND INSTALLING ADDITIONAL MANHOLE SECTIONS AS THE FILL HEIGHT INCREASES.
8. ONCE THE FILL HEIGHT HAS REACHED TO PROPOSED GRADE, REMOVE THE TRASH RACK AND INSTALL A MANHOLE TOP DESIGNED FOR A YARD INLET. CONSTRUCT THE YARD INLETS AND ANY ADDITIONAL DRAINAGE CONNECTIONS SHOWN ON THE PLANS.



STAGED FILL FOR MANHOLE STRUCTURES IN HIGH FILL AREAS



- NOTES:**
1. L_a IS THE LENGTH OF THE RIPRAP APRON.
 2. T = 1.5 TIMES THE MAXIMUM STONE DIAMETER BUT NOT LESS THAN 6"
 3. IN A WELL DEFINED CHANNEL EXTEND THE APRON UP THE CHANNEL BANKS TO AN ELEVATION OF 6' ABOVE THE MAXIMUM TAILWATER DEPTH OR TO THE TOP OF THE BANK, WHICHEVER IS LESS.

SECTION A-A

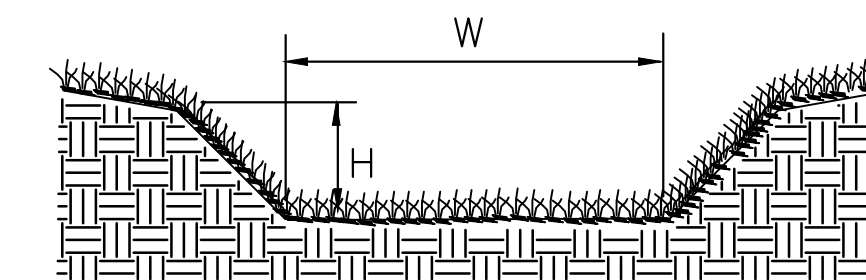
OUTLET PROTECTION

CONSTRUCTION SPECIFICATIONS

1. ENSURE THAT THE SUBGRADE FOR THE FILTER AND RIPRAP FOLLOWS THE REQUIRED LINES AND GRADES SHOWN IN THE PLAN. COMPACT ANY FILL REQUIRED IN THE SUBGRADE TO THE DENSITY OF THE SURROUNDING UNDISTURBED MATERIAL. LOW AREAS IN THE SUBGRADE ON UNDISTURBED SOIL MAY ALSO BE FILLED BY INCREASING THE RIPRAP THICKNESS.
2. THE RIPRAP AND GRAVEL FILTER MUST CONFORM TO THE SPECIFIED GRADING LIMITS SHOWN ON THE PLANS.
3. FILTER FABRIC MUST MEET DESIGN REQUIREMENTS AND BE PROPERLY PROTECTED FROM PUNCHING OR TEARING DURING INSTALLATION. REPAIR ANY DAMAGE BY REMOVING THE RIPRAP AND PLACING ANOTHER PIECE OF FILTER CLOTH OVER THE DAMAGED AREA. ALL CONNECTING JOINTS SHOULD OVERLAP A MINIMUM OF 1 FT. IF THE DAMAGE IS EXTENSIVE, REPLACE THE ENTIRE FILTER CLOTH.
4. RIPRAP MAY BE PLACED BY EQUIPMENT, BUT TAKE CARE TO AVOID DAMAGING THE FILTER.
5. THE MINIMUM THICKNESS OF THE RIPRAP SHOULD BE 1.5 TIMES THE MAXIMUM STONE DIAMETER.
6. RIPRAP MAY BE FIELD STONE OR ROUGH QUARRY STONE. IT SHOULD BE HARD, ANGULAR, HIGHLY WEATHER-RESISTANT AND WELL GRADED.
7. CONSTRUCT THE APRON ON ZERO GRADE WITH NO OVERFALL AT THE END. MAKE THE TOP OF THE RIPRAP AT THE DOWNSTREAM END LEVEL WITH THE RECEIVING AREA OR SLIGHTLY BELOW IT.
8. ENSURE THAT THE APRON IS PROPERLY ALIGNED WITH THE RECEIVING STREAM AND PREFERABLY STRAIGHT THROUGHOUT ITS LENGTH. IF A CURVE IS NEEDED TO FIT SITE CONDITIONS, PLACE IT IN THE UPPER SECTION OF THE APRON.
9. IMMEDIATELY AFTER CONSTRUCTION, STABILIZE ALL DISTURBED AREAS WITH VEGETATION.

MAINTENANCE
INSPECT RIPRAP OUTLET STRUCTURES AFTER HEAVY RAINS TO SEE IF ANY EROSION AROUND OR BELOW THE RIPRAP HAS TAKEN PLACE OR IF STONES HAVE BEEN DISLODGED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.

Location	Pipe Size (in)	Length (ft)	Width (ft)	Use
RSB 20-1	48	21	25	18" OF CLASS I RIPRAP
RSB 20-2	30	16	18.5	18" OF CLASS I RIPRAP
RSB 20-3	30	15	17.5	18" OF CLASS I RIPRAP
P 20-2	42	23	26.5	18" OF CLASS I RIPRAP
P 20-5	42	23	26.5	18" OF CLASS I RIPRAP
P 20-8	30	14	16.5	18" OF CLASS I RIPRAP



GRASS LINED CHANNELS

CONSTRUCTION SPECIFICATIONS

1. REMOVE ALL TREES, BRUSH, STUMPS, AND OTHER OBJECTIONABLE MATERIAL FROM THE FOUNDATION AREA AND DISPOSE OF PROPERLY.
2. EXCAVATE THE CHANNEL AND SHAPE IT TO NEAT LINES AND DIMENSIONS SHOWN ON THE PLANS PLUS A 0.2-FT OVERCUT AROUND THE CHANNEL PERIMETER TO ALLOW FOR BULKING DURING SEEDBED PREPARATIONS AND SOIL BUILDUP.
3. REMOVE AND PROPERLY DISPOSE OF ALL EXCESS SOIL SO THAT SURFACE WATER MAY ENTER THE CHANNEL FREELY.
4. THE PROCEDURE USED TO ESTABLISH GRASS IN THE CHANNEL WILL DEPEND UPON THE SEVERITY OF THE CONDITIONS AND SELECTION OF SPECIES. PROTECT THE CHANNEL WITH MULCH OR A TEMPORARY LINER AS NOTED ON THE PLANS TO WITHSTAND ANTICIPATED VELOCITIES DURING THE ESTABLISHMENT PERIOD.

MAINTENANCE

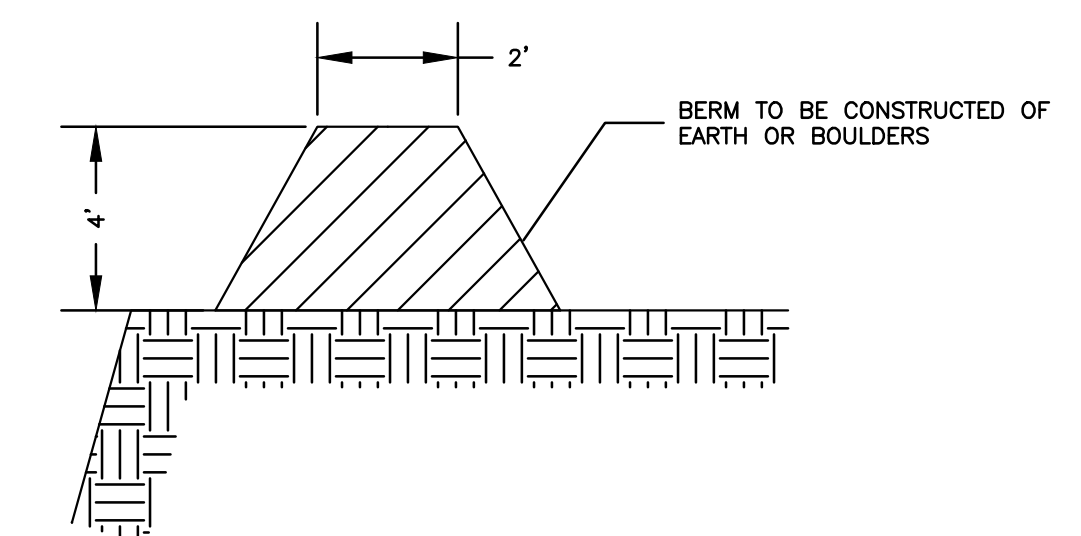
DURING THE ESTABLISHMENT PERIOD, CHECK GRASS-LINED CHANNELS AFTER EVERY RAINFALL. AFTER GRASS IS ESTABLISHED, PERIODICALLY CHECK THE CHANNEL. CHECK IT AFTER EVERY HEAVY RAINFALL EVENT. IMMEDIATELY MAKE REPAIRS. IT IS PARTICULARLY IMPORTANT TO CHECK THE CHANNEL OUTLET FOR BANK STABILITY AND EVIDENCE OF PIPING OR SCOUR HOLES. REMOVE ALL SIGNIFICANT SEDIMENT ACCUMULATIONS TO MAINTAIN THE DESIGNED CARRYING CAPACITY.

CHANNEL	W (ft)	H (ft)	SIDE SLOPE	TEMPORARY LINING
20-1A	2.0	2.5	2:1	NONE
20-1B	6.0	2.5	2:1	NONE
20-2	5.0	4.0	3:1	NONE
20-3	3.0	2.0	3:1	NORTH AMERICAN GREEN SC150BN

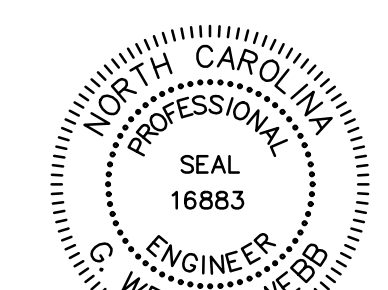
DIVERSION CHANNEL

SITE NOTES:

1. THIS PLAN DOES NOT PURPORT TO SHOW ALL EXISTING UTILITIES, LINES, APPURTENANCES, ETC., AND THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES, PIPES, VALVES, ETC., AS SHOWN ARE IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES, LINES, PIPES, ETC., BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, PIPES AND VALVES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS WITH EXISTING OR PROPOSED FACILITIES TO DETERMINE IF AN ITEM WILL NEED TO BE RELOCATED.
2. THE ENGINEER HAS MADE NO EXAMINATION TO DETERMINE WHETHER ANY HAZARDOUS OR TOXIC MATERIALS ARE PRESENT OR CONTAINED IN, UNDER OR ON THE SUBJECT PROPERTY OR ITS WATERS, OR IF ANY HAZARDOUS OR TOXIC MATERIALS HAVE CONTAMINATED THIS OR OTHER PROPERTIES OR ITS WATERS IN ANY WAY WHATSOEVER, NO SUBSURFACE EXAMINATION OF ANY TYPE HAS BEEN MADE BY THE ENGINEER, AND ACCORDINGLY, NO OPINION IS RENDERED AS TO ANY VIOLATION OF ANY ENVIRONMENTAL LAWS OR REGULATIONS, EITHER FEDERAL, STATE, OR LOCAL RELATED TO THE INFORMATION SHOWN ON THIS PLAN AND THE ENGINEER IS IN NO WAY LIABLE FOR ANY VIOLATION OF SUCH ENVIRONMENTAL LAWS SHOULD SUCH EXIST.
3. TO ENSURE PROPER LOCATION OF EXISTING UTILITIES, THE CONTRACTOR SHALL CONTACT NORTH CAROLINA 811 (1-800-632-4949), AT LEAST 48-HOURS PRIOR TO THE START OF ANY SITE EXCAVATION.
4. THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THE CONTRACTOR SHALL DEFEND, INDEMNIFY THE OWNER, HIS AGENTS, THE OWNER'S REPRESENTATIVES AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FROM LIABILITY ARISING FROM THE SOLE NEGLIGENCE ON THE OWNER'S REPRESENTATIVE OR THE ENGINEER.
5. THE CONTRACTOR SHALL VERIFY ALL SITE ELEVATIONS, CONDITIONS AND SOIL CONDITIONS PRIOR TO CONSTRUCTION. ANY SIGNIFICANT VARIATIONS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.



TEMPORARY HIGHWALL BERM

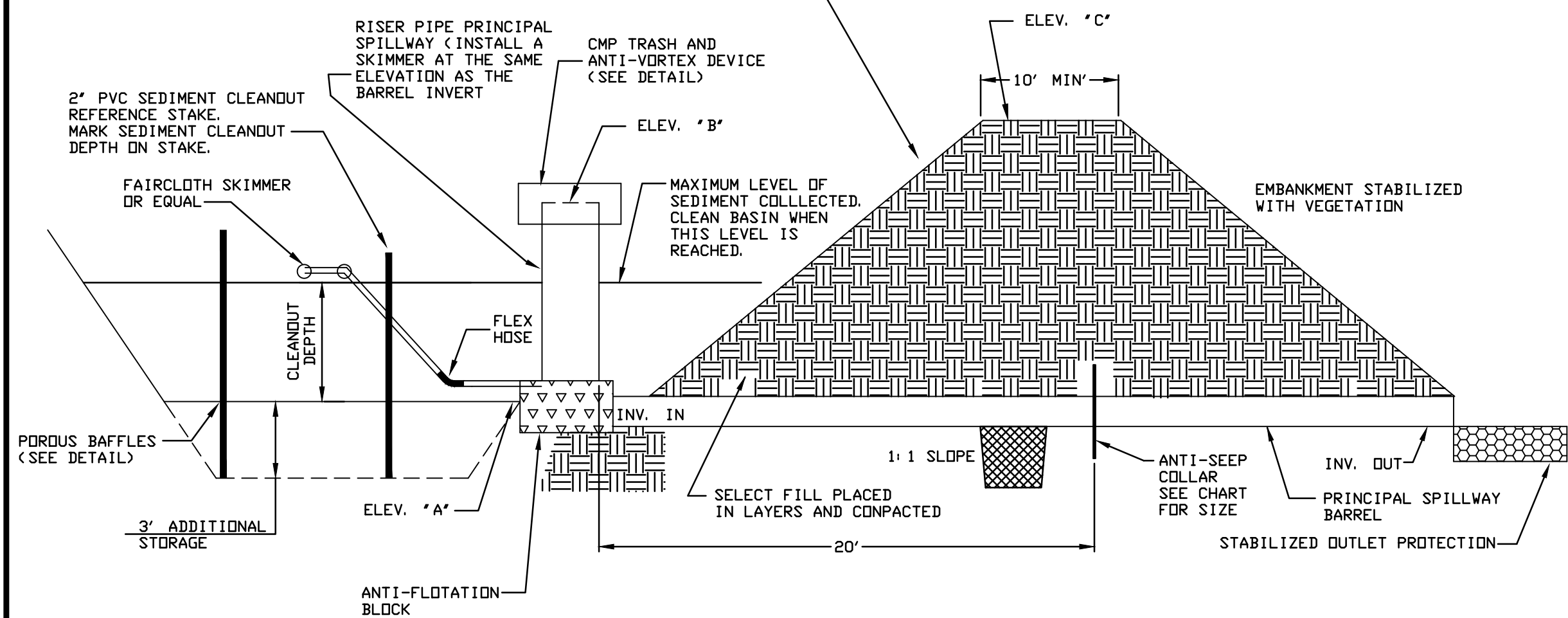


Drawn by: B. Wesley West
3-23-21

DWG NO.: 11526 GOLD HILL QUARRY REZONING DETAILS.DWG

REVISION No.	DESCRIPTION	DATE	INITIAL	SCALE	DATE
1	PER CABARRUS CNTY REVIEW	3-23-21	GWV	PLAN	12-18-20
				PROFILE	
				HORIZ.	
				VERT.	

NOTE: CONSTRUCT AN ACCESS PIER WITH HANDRAILS TO PROVIDE ACCESS TO THE RISER FOR SAMPLING. DESIGN TO BE PROVIDED BY OTHERS.



THE BASIN MAY ALSO BE DEWATERED BY PERFORATING THE RISER WITH 1/2-INCH HOLES WITH A SPACING OF APPROXIMATELY 3 INCHES IN EACH OUTSIDE VALLEY.
 TRASH GUARD - INSTALL A TRASH GUARD ON THE TOP OF THE RISER TO PREVENT TRASH AND OTHER DEBRIS FROM CLOGGING THE CONDUIT.

CONSTRUCTION SPECIFICATIONS

- SITE PREPARATIONS** - CLEAR, GRUB, AND STRIP TOPSOIL FROM AREAS UNDER THE EMBANKMENT TO REMOVE TREES, VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. TO FACILITATE SEDIMENT CLEANOUT AND RESTORATION, CLEAR THE POOL AREA OF ALL BRUSH, TREES, AND OTHER OBJECTIONABLE MATERIALS. STOCKPILE ALL TOPSOIL OR SOIL CONTAINING ORGANIC MATTER FOR USE ON THE OUTER SHELL OF THE EMBANKMENT TO FACILITATE VEGETATIVE ESTABLISHMENT.
- CUT-OFF TRENCH** - EXCAVATE A CUT-OFF TRENCH ALONG THE CENTERLINE OF THE EARTH FILL EMBANKMENT. CUT THE TRENCH TO STABLE SOIL MATERIAL, BUT IN NO CASE MAKE IT LESS THAN 2 FT DEEP. THE CUT-OFF TRENCH MUST EXTEND INTO BOTH ABUTMENTS TO AT LEAST THE ELEVATION OF THE RISER CREST. MAKE THE MINIMUM BOTTOM WIDTH WIDE ENOUGH TO PERMIT OPERATION OF EXCAVATION AND COMPACTION EQUIPMENT BUT IN NO CASE LESS THAN 2 FT. MAKE SIDE SLOPES OF THE TRENCH NO STEEPER THAN 1:1. COMPACTION REQUIREMENTS ARE THE SAME AS THOSE FOR THE EMBANKMENT. KEEP THE TRENCH DRY DURING BACKFILLING AND COMPACTION OPERATIONS.
- EMBANKMENT** - THE EMBANKMENT SHOULD BE CLEAN MINERAL SOIL, FREE OF ROOTS, WOODY VEGETATION, ROCKS, AND OTHER OBJECTIONABLE MATERIAL. SCARIFY AREAS ON WHICH FILL IS TO BE PLACED BEFORE PLACING FILL. THE FILL MATERIAL MUST CONTAIN SUFFICIENT MOISTURE SO IT CAN BE FORMED BY HAND INTO A BALL WITHOUT CRUMBLING. IF WATER CAN BE SQUEEZED OUT OF THE BALL, IT IS TOO WET FOR PROPER COMPACTION. PLACE FILL MATERIAL IN 6 TO 8-INCH CONTINUOUS LAYERS OVER THE ENTIRE LENGTH OF THE FILL AREA AND THEN COMPACT IT. COMPACTION MAY BE OBTAINED BY ROUTING THE CONSTRUCTION HAULING EQUIPMENT OVER THE FILL SO THAT THE ENTIRE SURFACE OF EACH LAYER IS TRAVERSED BY AT LEAST ONE WHEEL OR TREAD TRACK OF THE HEAVY EQUIPMENT. OR A COMPACTOR MAY BE USED. CONSTRUCT THE EMBANKMENT TO AN ELEVATION 10% HIGHER THAN THE DESIGN HEIGHT TO ALLOW FOR SETTLING.
- CONDUIT SPILLWAYS** - SECURELY ATTACH THE RISER TO THE BARREL OR BARREL STUB TO MAKE A WATERTIGHT STRUCTURAL CONNECTION. SECURE ALL CONNECTIONS BETWEEN BARREL SECTIONS BY APPROVED WATERTIGHT ASSEMBLIES. PLACE THE BARREL AND RISER ON A FIRM, SMOOTH FOUNDATION OF IMPERVIOUS SOIL. DO NOT USE PERVIOUS MATERIAL SUCH AS SAND, GRAVEL, OR CRUSHED STONE AS BACKFILL AROUND THE PIPE OR ANTI-SEEP COLLARS. PLACE THE FILL MATERIAL AROUND THE PIPE SPILLWAY IN 4-INCH LAYERS AND COMPACT IT UNDER AND AROUND THE PIPE TO AT LEAST THE SAME DENSITY AS THE ADJACENT EMBANKMENT. CARE MUST BE TAKEN NOT TO RAISE THE PIPE FROM FIRM CONTACT WITH ITS FOUNDATION WHEN COMPACTION UNDER THE PIPE HAUNCHES. PLACE A MINIMUM DEPTH OF 2 FT OF HAND-COMPACTED BACKFILL OVER THE PIPE SPILLWAY BEFORE CROSSING IT WITH CONSTRUCTION EQUIPMENT. ANCHOR THE RISER IN PLACE BY CONCRETE OR OTHER SATISFACTORY MEANS TO PREVENT FLOTATION. IN NO CASE SHOULD THE PIPE CONDUIT BE INSTALLED BY CUTTING A TRENCH THROUGH THE DAM AFTER THE EMBANKMENT IS COMPLETE.
- SKIMMER** - SHAPE THE BASIN TO THE SPECIFIED DIMENSIONS. PREVENT THE SKIMMING DEVICE FROM SETTLING INTO THE MUD BY EXCAVATING A SHALLOW PIT UNDER THE SKIMMER OR PROVIDING A LIM SUPPORT UNDER THE SKIMMER OF STONE OR TIMBER. SKIMMER HORIZONTAL MOVEMENT IS TO BE LIMITED BY METAL STAKES OR 2x4'S. INSTALL SKIMMER PER MANUFACTURER'S RECOMMENDATIONS. ASSEMBLE THE SKIMMER FOLLOWING THE MANUFACTURER'S INSTRUCTIONS, OR AS DESIGNED. 6. LAY THE ASSEMBLED SKIMMER ON THE BOTTOM OF THE BASIN WITH THE FLEXIBLE JOINT AT THE INLET OF THE BARREL PIPE. ATTACH THE FLEXIBLE JOINT TO THE BARREL PIPE AND POSITION THE SKIMMER OVER THE EXCAVATED PIT OR SUPPORT. BE SURE TO ATTACH A ROPE TO THE SKIMMER AND ANCHOR IT TO THE SIDE OF THE BASIN. THIS WILL BE USED TO PULL THE SKIMMER TO THE SIDE FOR MAINTENANCE.

MAINTENANCE

INSPECT SKIMMER SEDIMENT BASINS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (ONE-HALF INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY.

REMOVE SEDIMENT AND RESTORE THE BASIN TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT ACCUMULATES TO ONE-HALF THE HEIGHT OF THE FIRST BAFFLE. PULL THE SKIMMER TO ONE SIDE SO THAT THE SEDIMENT UNDERNEATH IT CAN BE EXCAVATED. EXCAVATE THE SEDIMENT FROM THE ENTIRE BASIN, NOT JUST AROUND THE SKIMMER OR THE FIRST CELL. MAKE SURE VEGETATION GROWING IN THE BOTTOM OF THE BASIN DOES NOT HOLD DOWN THE SKIMMER.

CHECK THE EMBANKMENT, SPILLWAYS, AND OUTLET FOR EROSION DAMAGE, AND INSPECT THE EMBANKMENT FOR PIPING AND SETTLEMENT. MAKE ALL NECESSARY REPAIRS IMMEDIATELY. REMOVE ALL TRASH AND OTHER DEBRIS FROM THE RISER AND POOL AREA.

IF THE SKIMMER IS CLOGGED WITH TRASH AND THERE IS WATER IN THE BASIN, USUALLY JERKING ON THE ROPE WILL MAKE THE SKIMMER BOB UP AND DOWN AND DISLodge THE DEBRIS AND RESTORE FLOW. IF THIS DOES NOT WORK, PULL THE SKIMMER OVER TO THE SIDE OF THE BASIN AND REMOVE THE DEBRIS. ALSO CHECK THE ORIFICE INSIDE THE SKIMMER TO SEE IF IT IS CLOGGED; IF SO REMOVE THE DEBRIS. IF THE SKIMMER ARM OR BARREL PIPE IS CLOGGED, THE ORIFICE CAN BE REMOVED AND THE OBSTRUCTION CLEARED WITH A PLUMBER'S SNAKE OR BY FLUSHING WITH WATER. BE SURE AND REPLACE THE ORIFICE BEFORE REPOSITIONING THE SKIMMER.

FREEZING WEATHER CAN RESULT IN ICE FORMING IN THE BASIN. SOME SPECIAL PRECAUTIONS SHOULD BE TAKEN IN THE WINTER TO PREVENT THE SKIMMER FROM PLUGGING WITH ICE.

BASIN NO.	FAIRCLOTH SKIMMER		
	SIZE (IN)	ORIFICE DIA. (IN)	ARM SIZE
RSB 20-1	4.0	3.5	8" x 3.0" dia.
RSB 20-2	2.5	2.5	6" x 1.5" dia.
RSB 20-3	2.5	2.0	6" x 1.5" dia.

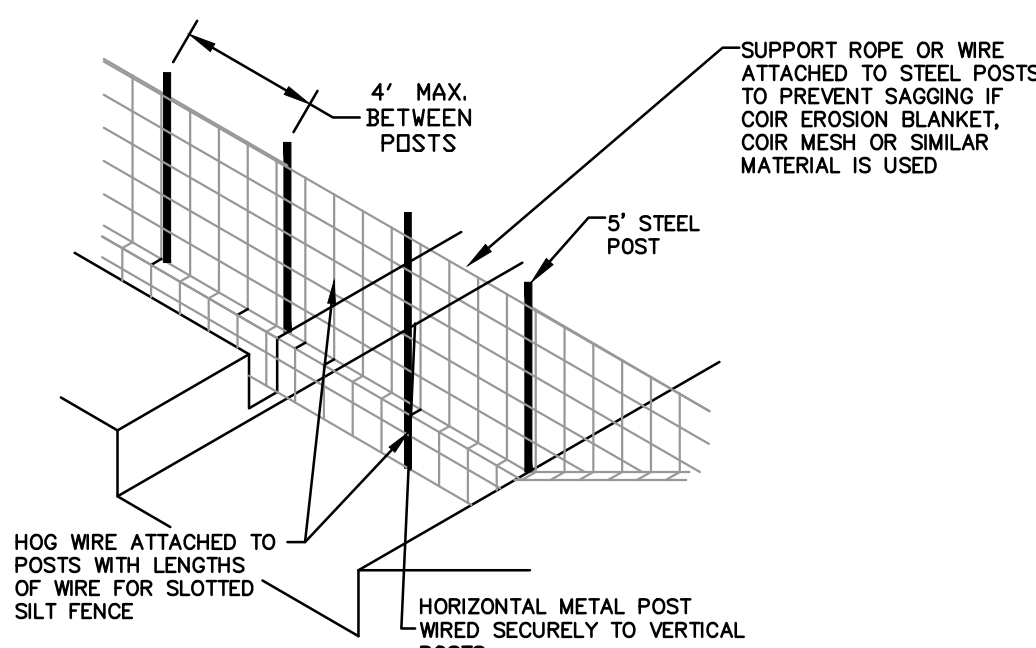
BASIN NO.	STORAGE AREA						CLEANOUT DEPTH (D3)	SEDIMENT STORAGE (CFT3)	SURFACE AREA (SQ FT)
	W1	L1	D1	W2	L2	D2			
RSB 20-1	100.0	250.0	2.0	109.0	258.0	9.5	VARIES	52,864.0	27,864.0
RSB 20-2	60.0	200.0	1.5	66.0	206.0	5.0	VARIES	19,197.0	13,596.0
RSB 20-3	45.0	200.0	1.5	51.0	206.0	5.5	VARIES	14,629.5	10,506.0

BASIN NO.	RISER DIA. (IN)	BARREL DIA. (IN)	BARREL LENGTH (FT)	BARREL INV. IN	BARREL INV. OUT	ANTI-FLOTATION BLOCK WIDTH (FT)	ANTI-FLOTATION BLOCK LENGTH (FT)	ANTI-FLOTATION BLOCK DEPTH (FT)	ELEV. "A"	ELEV. "B"	ELEV. "C"		
												L1	L2
RSB 20-1	72	(CMP)	48	(CMP)	45	726.5	726.0	10.0	2.50	726.5	732.0	735.0	
RSB 20-2	42	(CMP)	30	(CMP)	32	739.5	739.0	6.0	6.0	1.50	740.0	743.0	745.0
RSB 20-3	42	(CMP)	30	(CMP)	33	735.5	735.0	6.0	6.0	1.50	735.5	739.0	741.0

L1 = BASIN LENGTH AT THE BOTTOM OF THE BASIN
 W1 = BASIN WIDTH AT THE BOTTOM OF THE BASIN
 L2 = BASIN LENGTH AT THE TOP OF THE SEDIMENT STORAGE
 W2 = BASIN WIDTH AT TOP OF THE SEDIMENT STORAGE
 L3 = BASIN LENGTH AT THE TOP OF THE EMBANKMENT
 W3 = BASIN WIDTH AT THE TOP OF THE EMBANKMENT
 D1 = THE DEPTH OF SEDIMENT STORAGE
 D2 = THE OVERALL DEPTH OF THE SEDIMENT BASIN
 D3 = THE CLEANOUT DEPTH OF THE SEDIMENT BASIN
 A2 = SURFACE AREA AT THE TOP OF THE SEDIMENT STORAGE

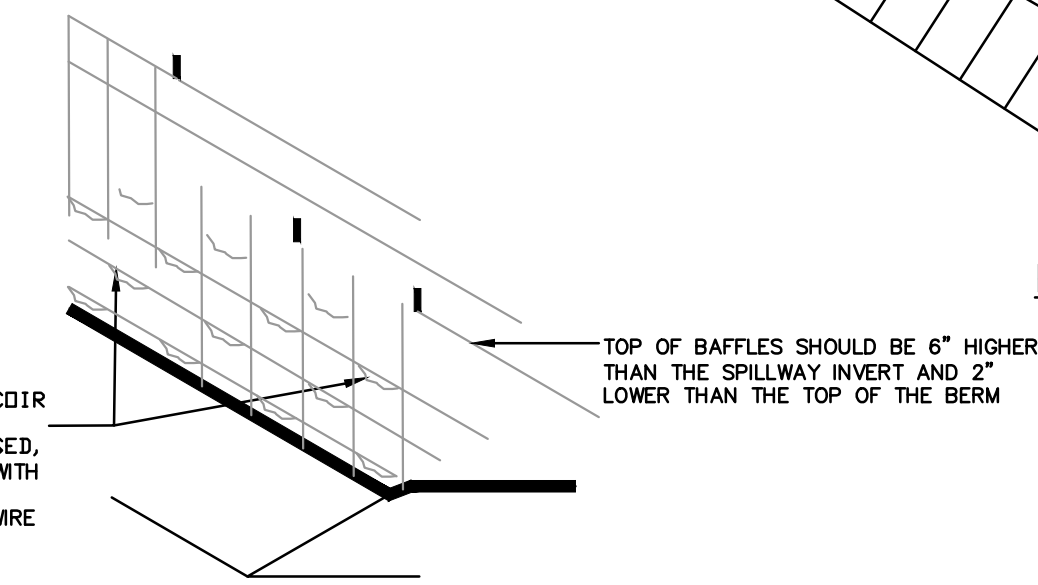
- DESIGN NOTES:
- SEDIMENT STORAGE = 1800 CUBIC FEET PER DISTURBED ACRE
 - REQUIRED SURFACE AREA = 0.01*Q10*43560
 - CLEANOUT DEPTH = 60% OF THE DESIGN STORAGE
 - SEDIMENT VOLUME CALCULATIONS ASSUME 2:1 SLOPES IN THE BASIN
 - DESIGN STORM IS 50 YEAR TO PASS THROUGH RISER/BARREL (NO EMERGENCY SPILLWAY)

RISER PIPE SEDIMENT BASIN



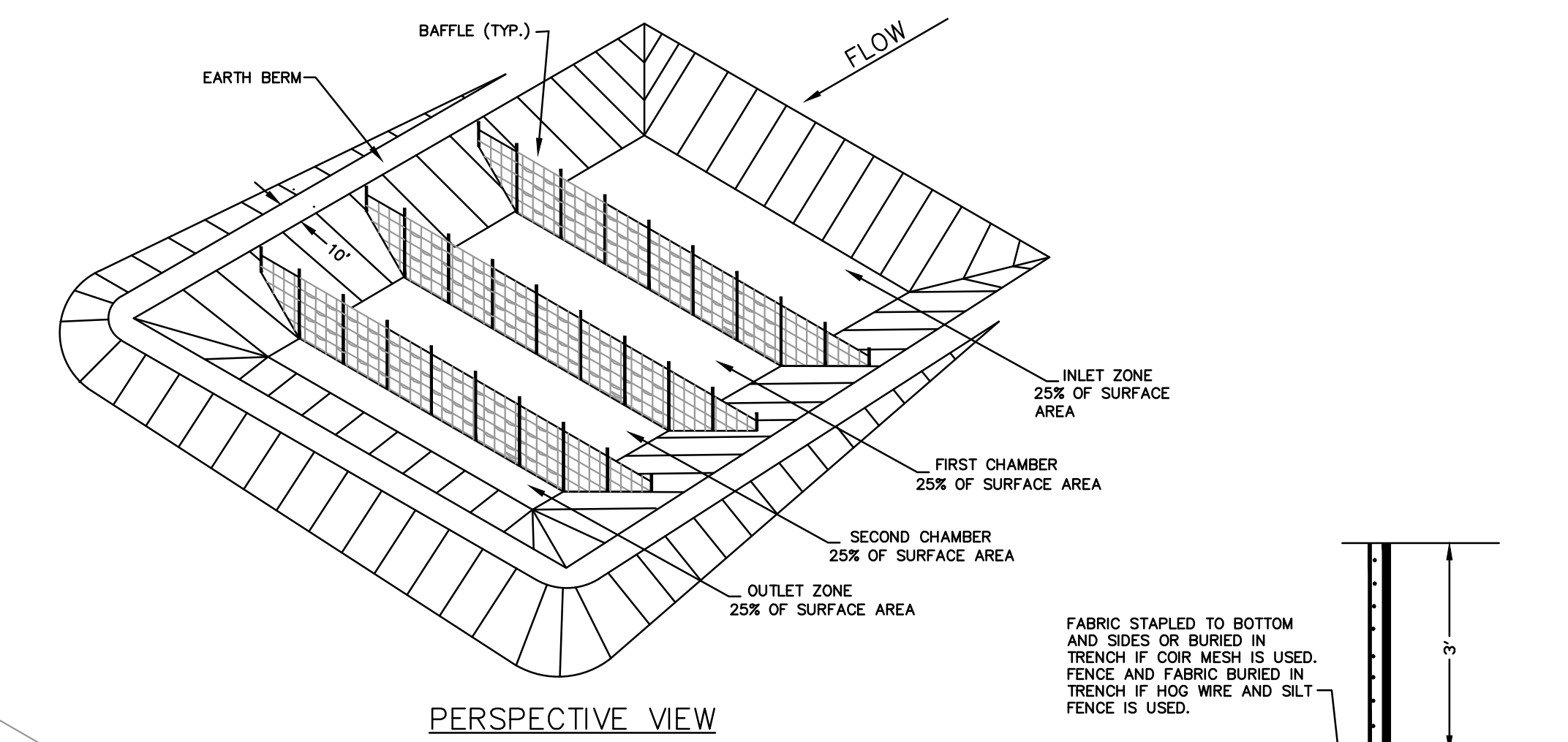
BAFFLE INSTALLATION - STEP 1

- NOTES:
- DRIVE 5" STEEL POST AT LEAST 24" INTO SOLID GROUND.
 - USE STAPLES 1" APART HORIZONTALLY AND VERTICALLY TO ATTACH THE FABRIC TO THE HOG WIRE.
 - THE FLOOR OF THE BASIN IN THE OUTLET ZONE AND BERMS SHOULD BE SEEDS IMMEDIATELY AFTER THE BASIN IS CONSTRUCTED.

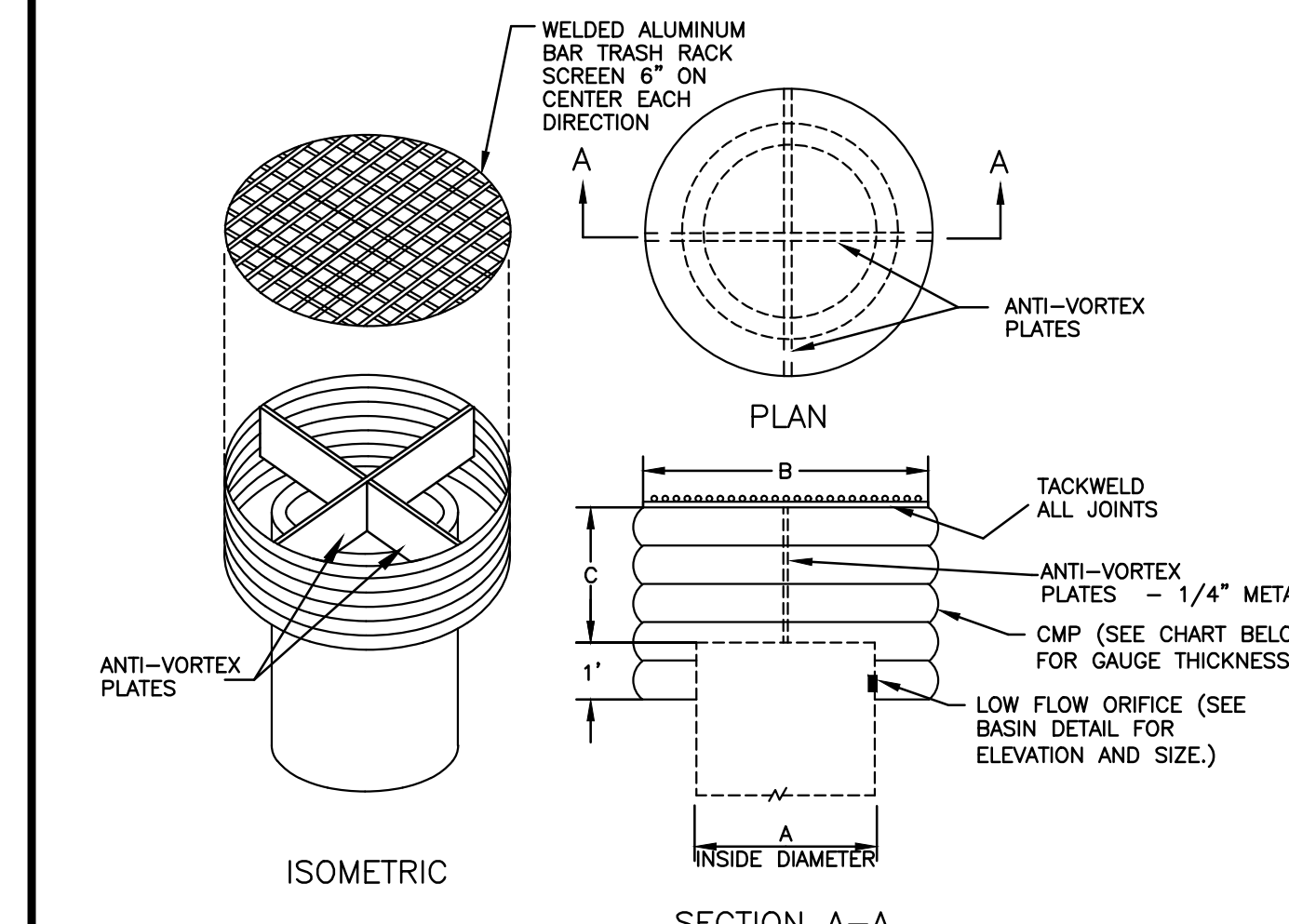


BAFFLE INSTALLATION - STEP 2

POROUS BAFFLES



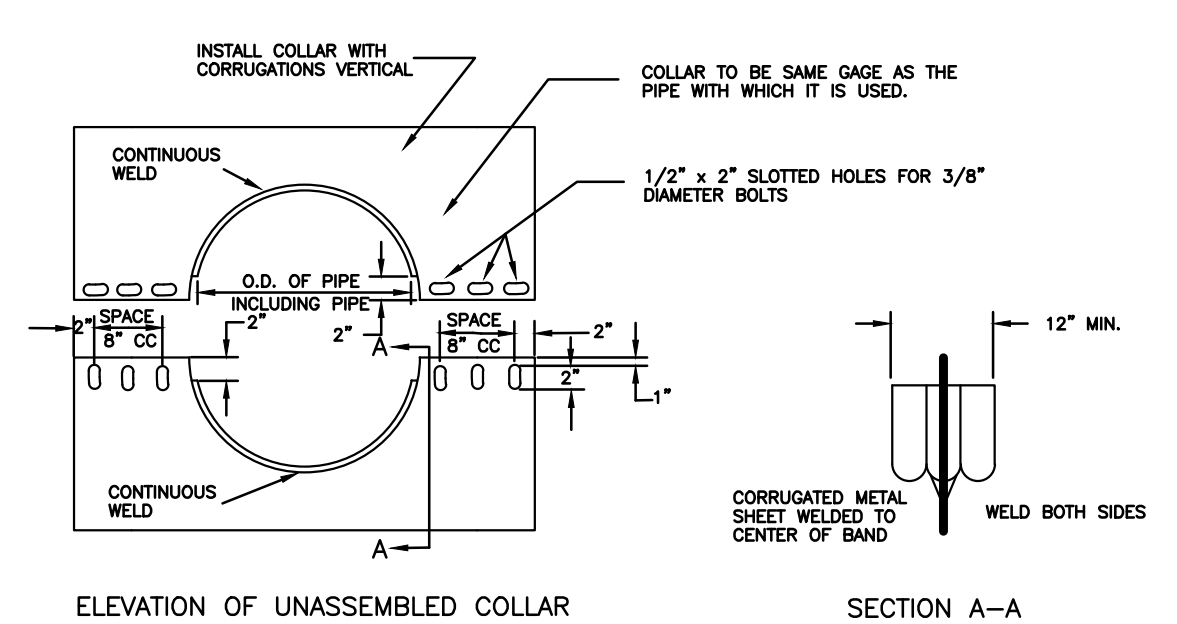
PERSPECTIVE VIEW



A	B	C	GAUGE	MIN. SIZE SUPPORT BAR
72"	102"	36"	14	2" x 2" x 3/8" ANGLE
48"	72"	21"	21	1.25" x 1.25" x .25" ANGLE
42"	60"	19"	19	1.25" x 1.25" x .25" ANGLE

- NOTES:
- COORDINATE THE SIZE OF THE SAMPLING GATE WITH THE OWNER.
 - PROVIDE AN ACCESS WALKWAY WITH HANDRAILS FROM THE TOP OF DAM TO THE TOP OF THE TRASH RACK.
 - MANUFACTURER TO DESIGN AND SUBMIT SHOP DRAWINGS FOR ALL COMPONENTS OF THE ANTI-VORTEX DEVICE.

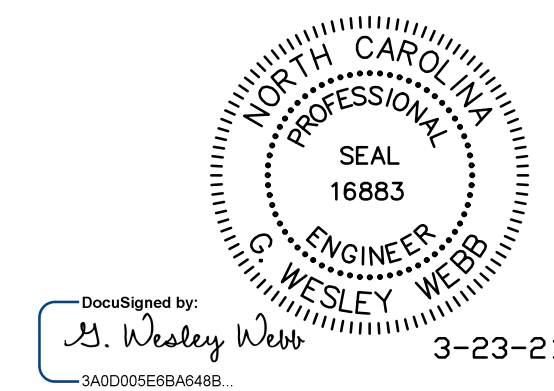
ANTI - VORTEX DEVICE



BASIN NO.	LENGTH	WIDTH
RSB 12-3	9.5 FEET	9.5 FEET
RSB 12-4	6.0 FEET	6.0 FEET
RSB 12-5	6.0 FEET	6.0 FEET

- NOTES FOR COLLARS:
- ALL MATERIAL TO BE IN ACCORDANCE WITH CONSTRUCTION AND CONSTRUCTION MATERIAL SPECIFICATIONS.
 - WHEN SPECIFIED ON THE PLANS, COATING OF COLLARS SHALL BE IN ACCORDANCE WITH CONSTRUCTION AND CONSTRUCTION MATERIAL SPECIFICATIONS.
 - UNASSEMBLED COLLARS SHALL BE MARKED BY PAINTING OR TAGGING TO IDENTIFY MATCHED PAIRS.
 - THE LAP BETWEEN THE TWO HALF SECTIONS AND BETWEEN THE PIPE AND THE CONNECTING BAND SHALL BE CAULKED WITH ASPHALT MASTIC AT TIME OF INSTALLATION.
 - EACH COLLAR SHALL BE FURNISHED WITH TWO 1/2" DIAMETER RODS WITH STANDARD TANK LUGS FOR CONNECTING COLLARS TO PIPE.

DETAILS OF CORRUGATED METAL ANTI-SEEP COLLARS



DWG NO.: 11526 GOLD HILL QUARRY REZONING DETAILS.DWG

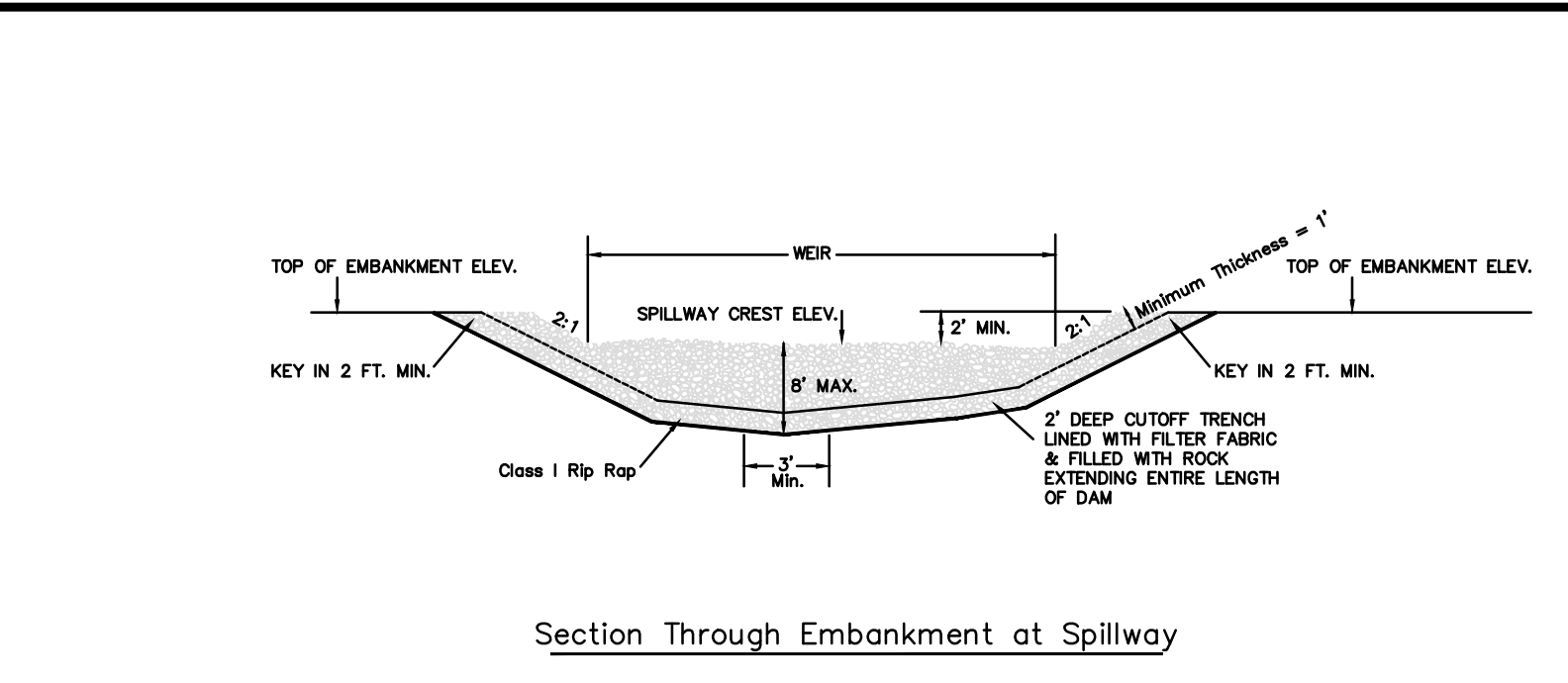
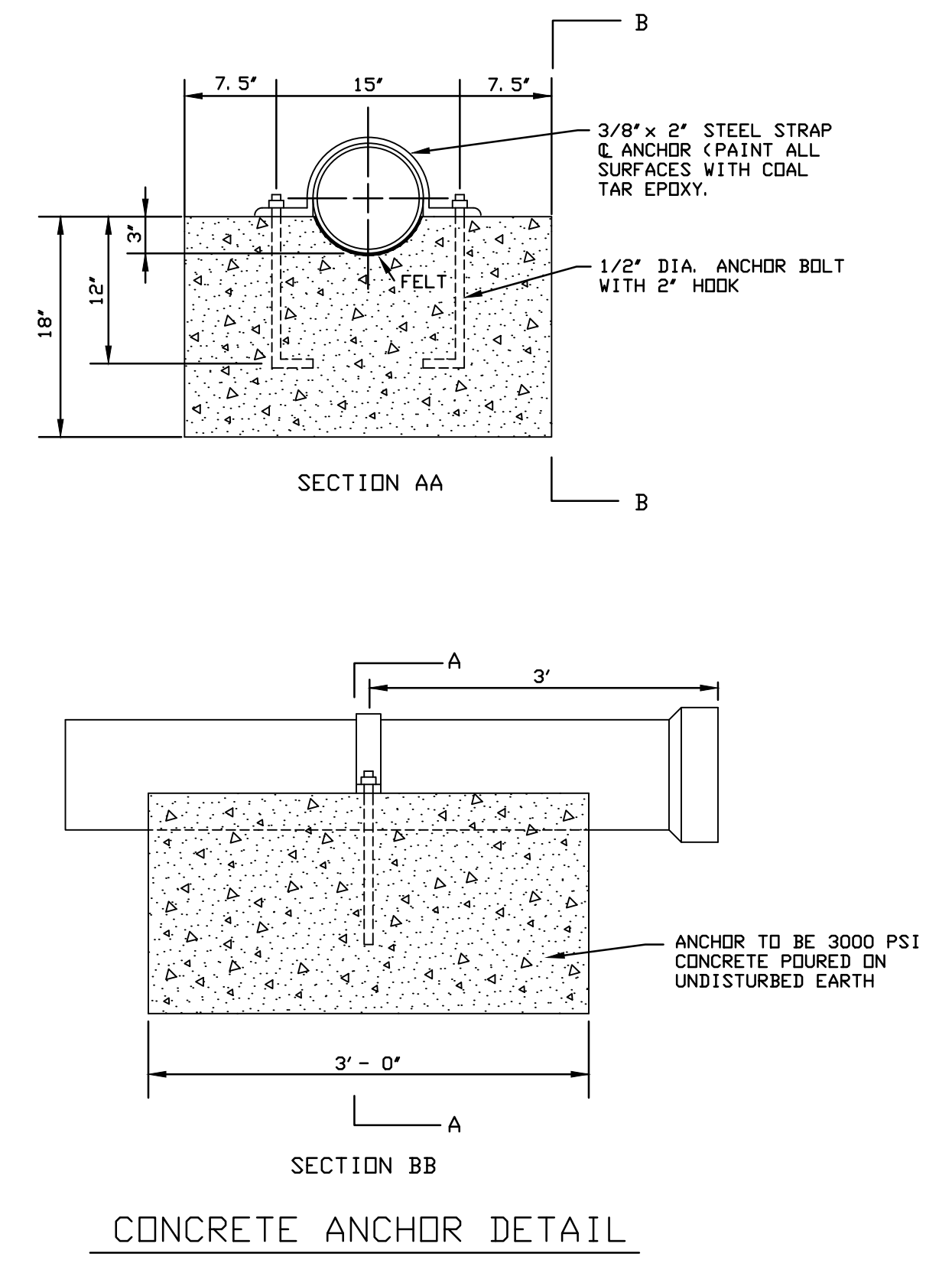
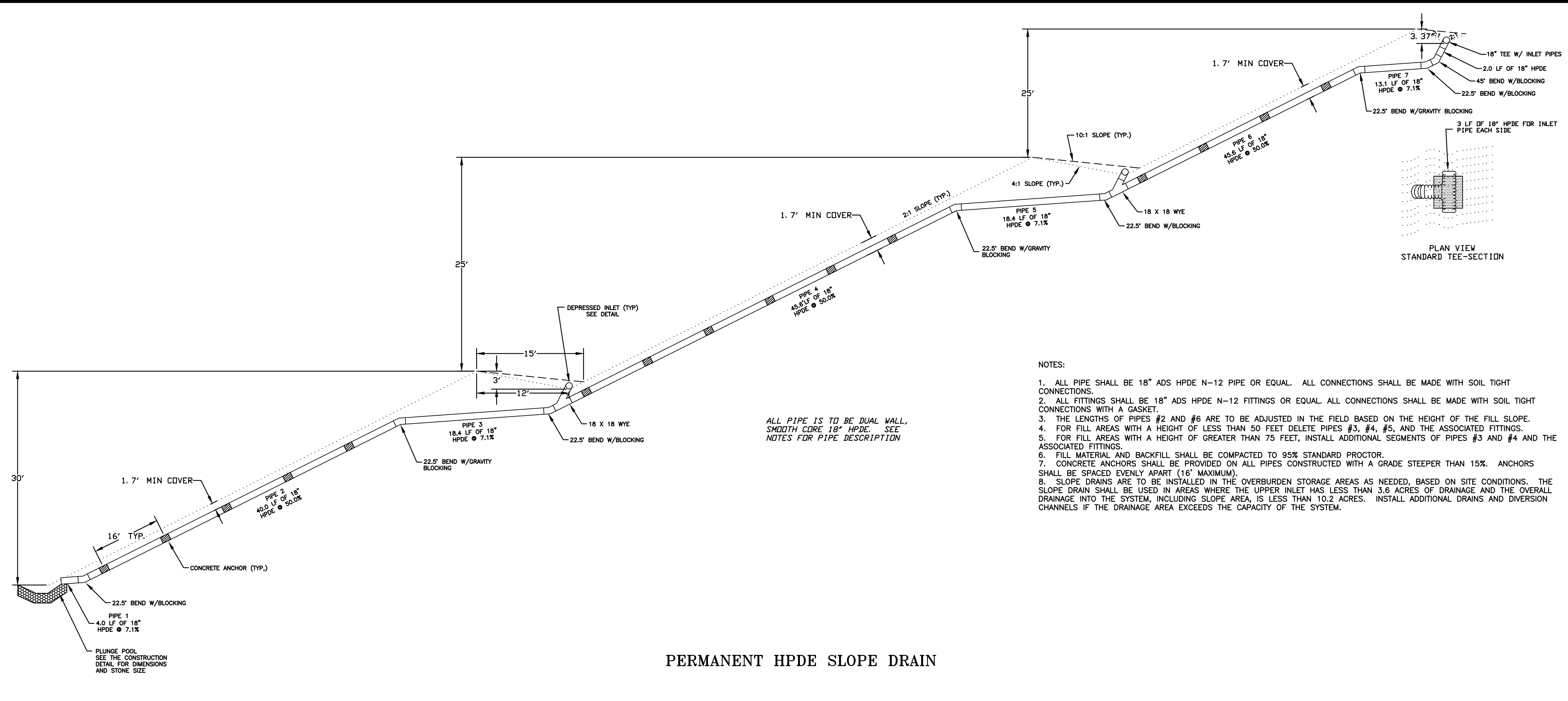
alley, williams, carmen, & king, inc.
 CONSULTING ENGINEERS
 FIRM LICENSE # F-0203
 120 SOUTH MAIN STREET
 KANNAPOLIS, NC 28082

2020 CONDITIONAL USE REZONING REQUEST
 GOLD HILL QUARRY
 VULCAN MATERIALS COMPANY
 5300 GOLD HILL RD E., GOLD HILL, NC 28071

REVISION No.	DESCRIPTION	DATE	INITIAL	SCALE	DATE
1	PER CABARRUS CNTY REVIEW	3-23-21	GWV	PLAN:	12-18-20
				PROFILE	
				HORIZ.:	
				VERT.:	

CONSTRUCTION DETAILS

JOB NO. 11526
 SHEET NO. 18
 OF 21



BASIN	MIN WEIR LENGTH (FT)	DEPTH (FT)
RD 12-5	40.0	3.0

NOTE THE SPILLWAY LENGTH SHOULD BE INSTALLED WITH A WIDTH AS LARGE AS POSSIBLE.

ELEVATION (SF)	SURFACE AREA (SF)	VOLUME (FT ³)	STORAGE VOLUME (FT ³)	NOTES
713.50	24,624	0.00	0.00	BASIN FLOOR
714.00	25,349	12,618	12,618	TOP OF SEDIMENT STORAGE / SPILLWAY ELEVATION
716.00	29,042	54,891	67,509	TOP OF ROCK DAM

Construction Specifications

- Clear the areas under the embankment and strip of roots another objectionable material. Delay clearing the reservoir area until the dam is in place.
- Cover the foundation area including the abutments with extra-strength filter fabric before backfilling with rock. If a cutoff trench is required, excavate at center line of dam, extending all the way up the earth abutments. Apply filter fabric under the rock fill embankment, from the upstream edge of the dam to the downstream edge of the apron. Overlap fill material a minimum of 1 foot at all joints, with the upstream strip laid over the downstream strip.
- Construct the embankment with well-graded rock and gravel to the size and dimensions shown on the drawings. It is important that rock abutments be at least 2 feet higher than the spillway crest and at least 1 foot higher than the dam, all the way to the downstream toe, to prevent scour and erosion of the abutments.
- Sediment-laden water from the construction site should be diverted into the basin reservoir at the furthest area from the dam.
- Construct the rock dam before the basin area is cleared to minimize sediment yield from construction of the basin. Stabilize immediately all areas disturbed during the construction of the dam except the sediment pool (Reference: Surface Stabilization).
- Safety - Sediment basins should be considered dangerous because they attract children. Steep side slopes should be avoided. Fences with warning signs may be needed if trespassing is likely. All state and local requirements must be followed.

Maintenance

Check sediment basins after each rainfall. Remove sediment and restore original volume when sediment accumulates to about one-half the design volume.

Check the structure for erosion, piping, and rock replacement after each significant rainstorm and repair immediately.

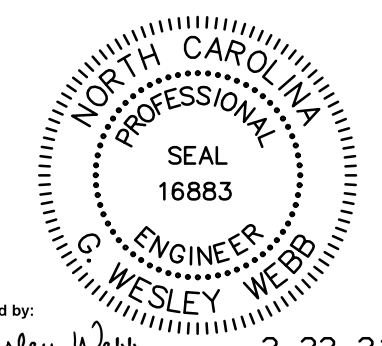
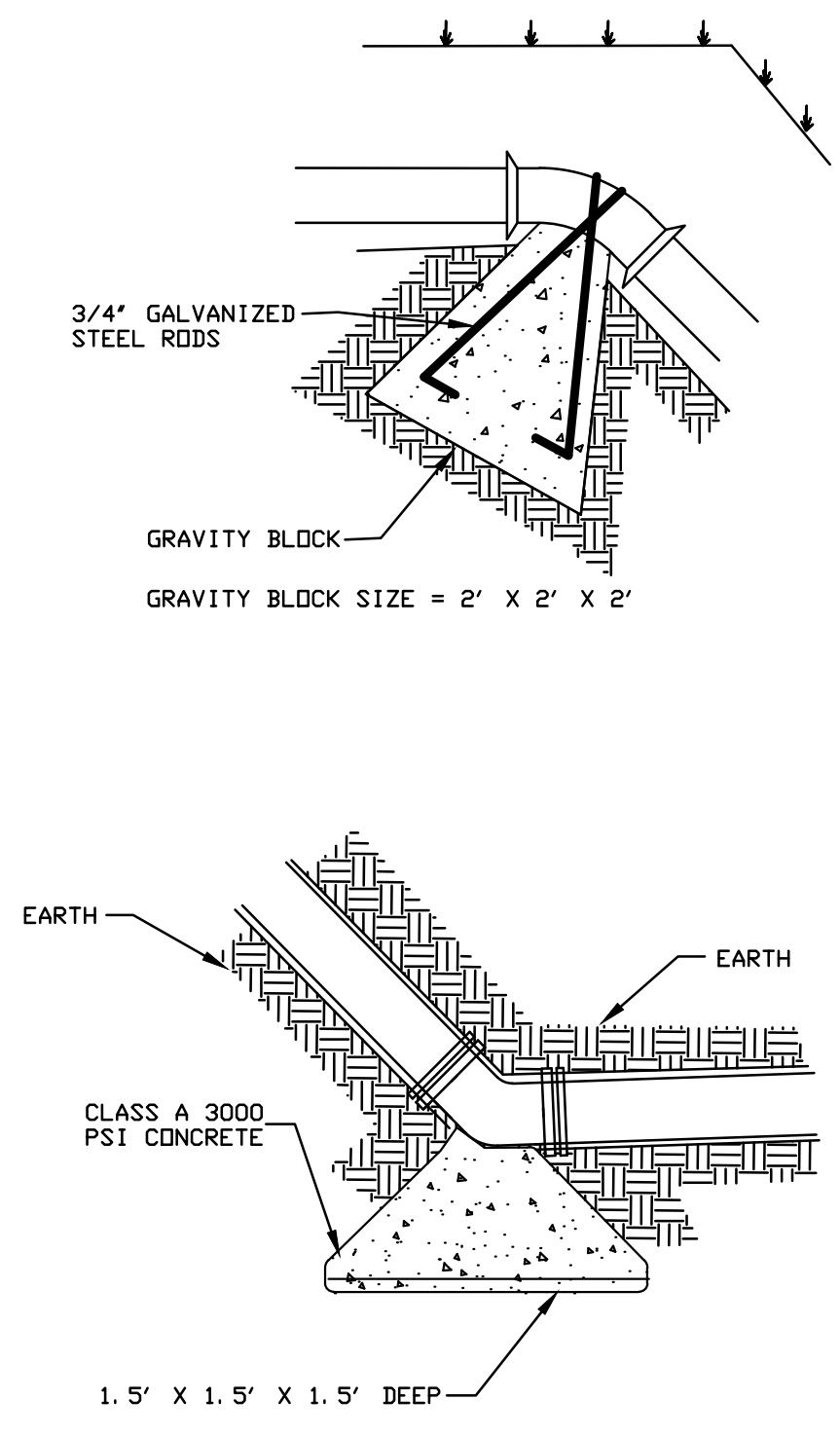
Remove the structure and any unstable sediment immediately after the construction site has been permanently stabilized. Smooth the basin site to blend with the surrounding area and stabilize. All water and sediment should be removed from the basin prior to dam removal. Sediment should be placed in designated disposal areas and not allowed to flow into streams or drainage ways during structure removal.

Rock Dam
Not To Scale

BASIN	STORAGE AREA								CLEANOUT DEPTH D3	SEDIMENT STORAGE (FT ³)	SURFACE AREA A2
	W1	L1	D1	W2	L2	D2	W3	L3			
RD 20-1	VARIES	VARIES	2.5	VARIES	VARIES	5.5	VARIES	VARIES	1.5	67,509.0	29,042.0

L1 = BASIN LENGTH AT THE BOTTOM OF THE BASIN
 W1 = BASIN WIDTH AT THE BOTTOM OF THE BASIN
 L2 = BASIN LENGTH AT THE TOP OF THE SEDIMENT STORAGE
 W2 = BASIN WIDTH AT THE TOP OF THE SEDIMENT STORAGE
 L3 = BASIN LENGTH AT THE TOP OF THE EMBANKMENT
 W3 = BASIN WIDTH AT THE TOP OF THE EMBANKMENT
 D1 = THE DEPTH OF SEDIMENT STORAGE
 D2 = THE OVERALL DEPTH OF THE SEDIMENT BASIN
 D3 = THE CLEANOUT DEPTH OF THE SEDIMENT BASIN
 A2 = SURFACE AREA AT THE TOP OF THE SEDIMENT STORAGE

Profile Along Embankment at Spillway



Drawn by: G. Wesley Webb
 3-23-21

DWG NO.: 11526 GOLD HILL QUARRY REZONING DETAILS.DWG

alley, williams, carmen, & king, inc.
 CONSULTING ENGINEERS
 FIRM LICENSE # F-0203
 120 SOUTH MAIN STREET
 KANNAPOLIS, NC 28082

P.O. BOX 1248
 704/938-1515

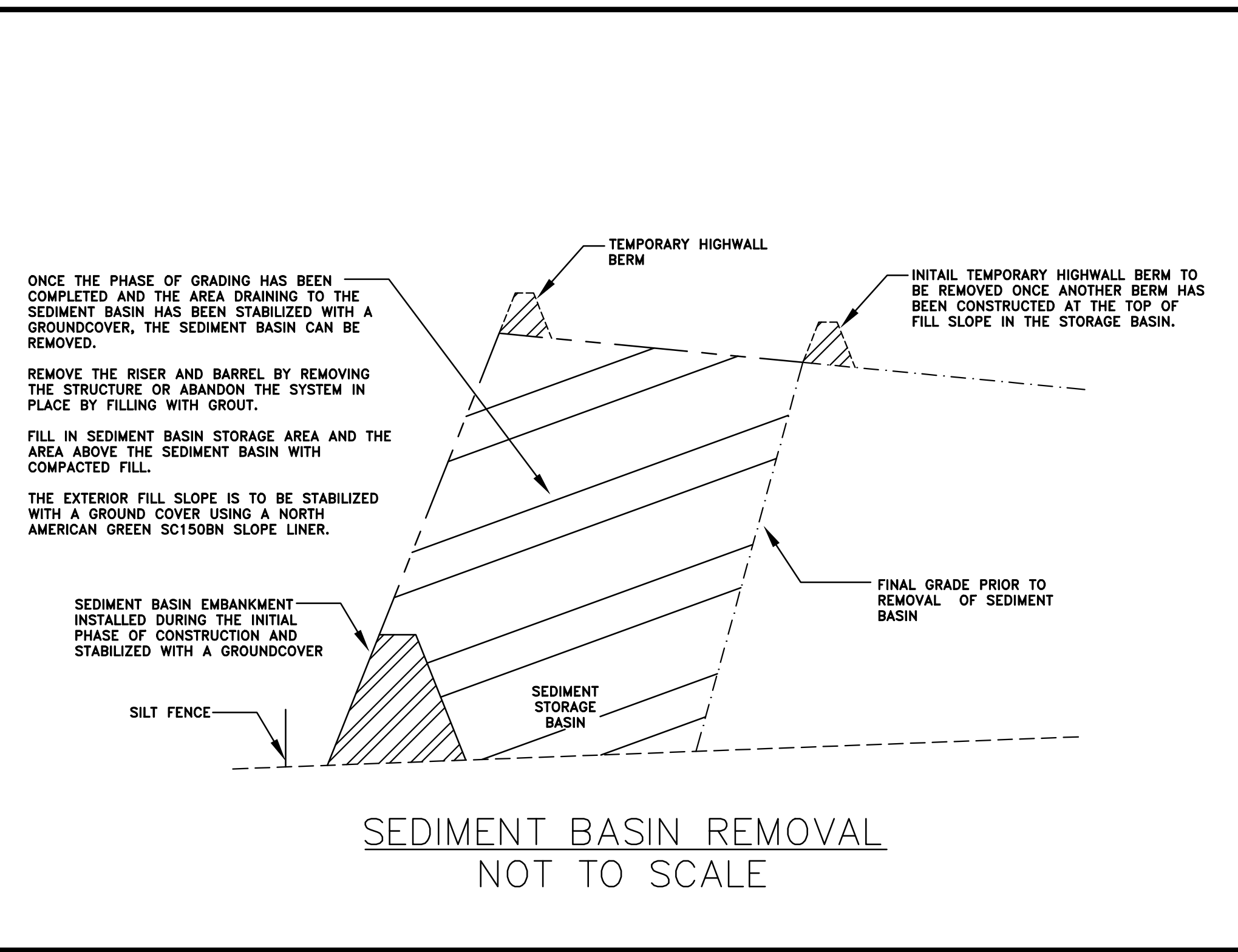
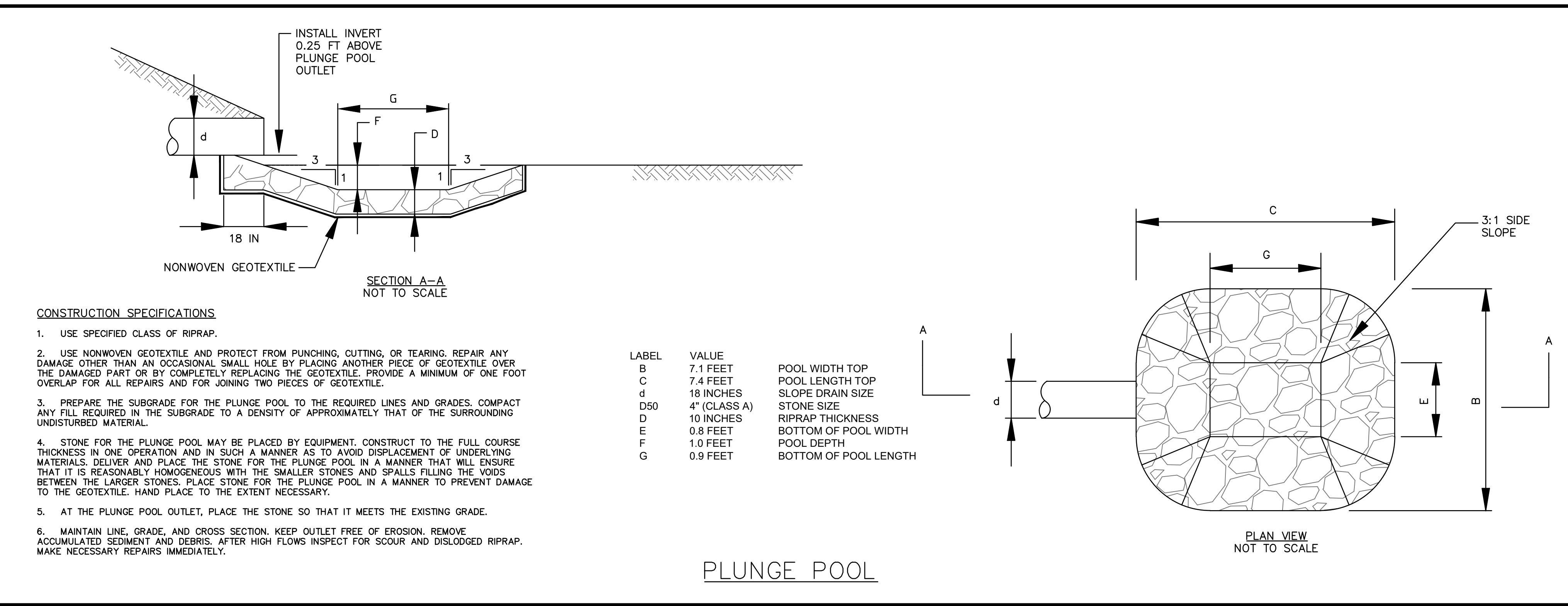
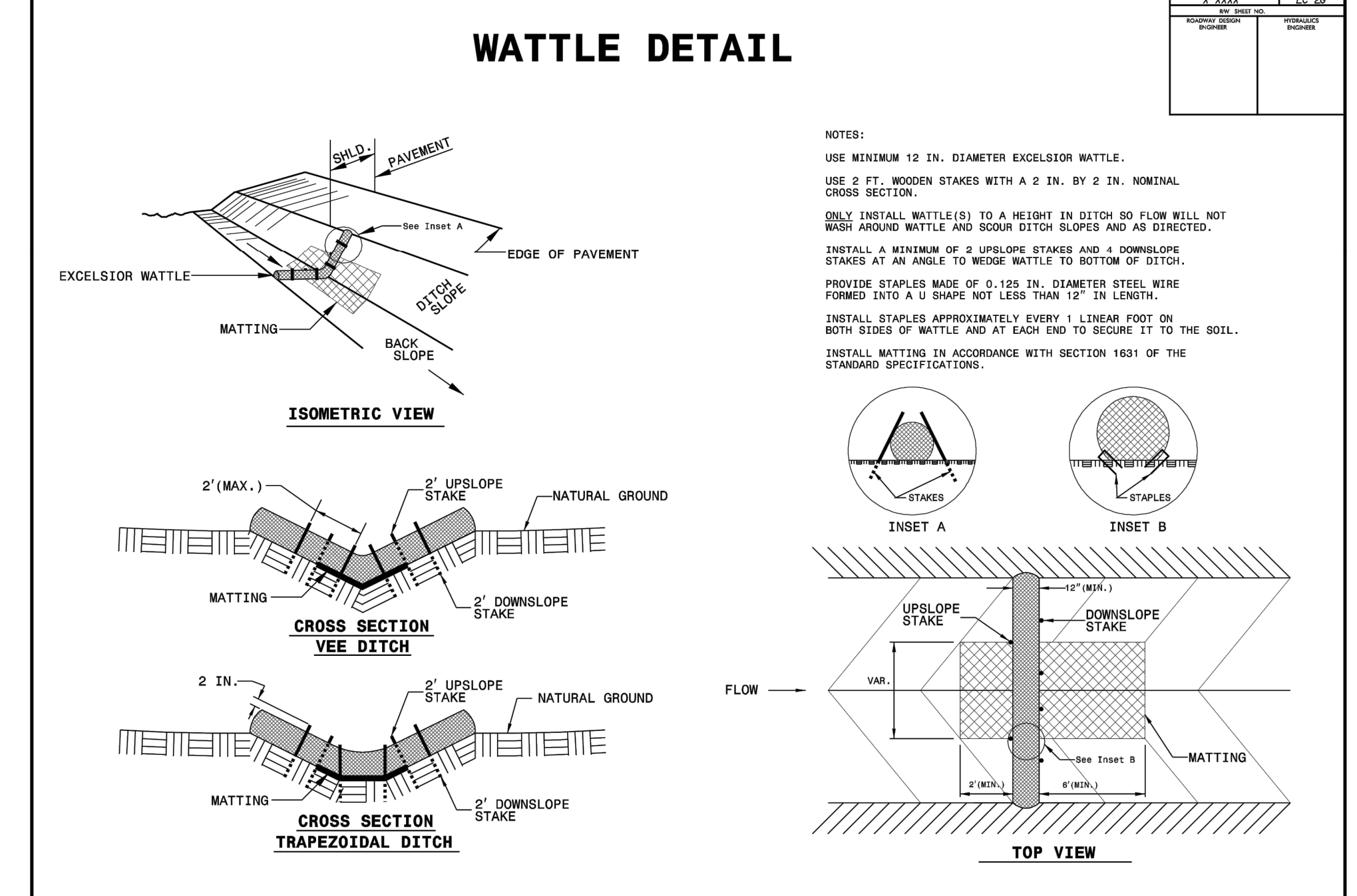
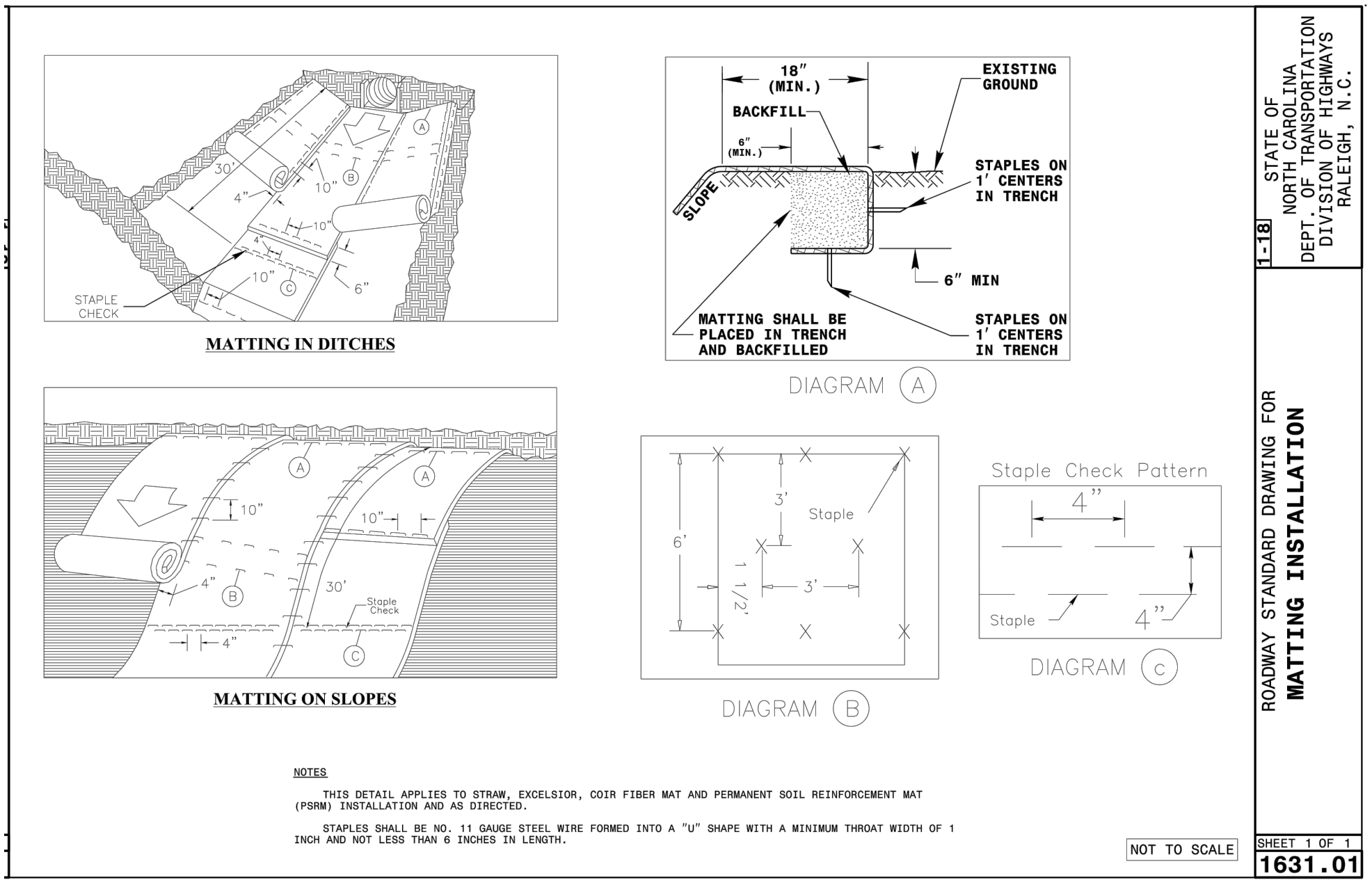
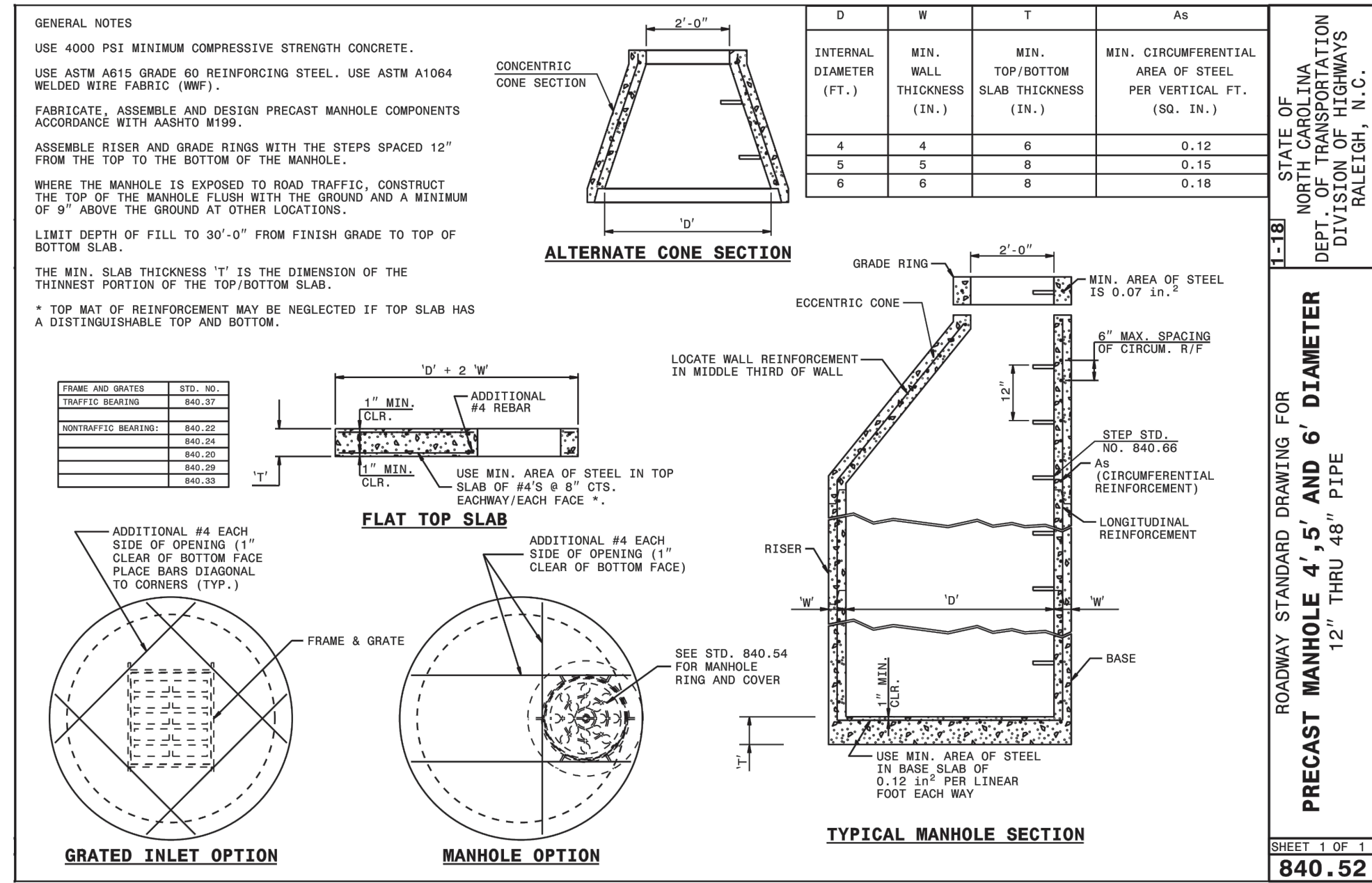
2020 CONDITIONAL USE REZONING REQUEST
 GOLD HILL QUARRY
 VULCAN MATERIALS COMPANY
 5300 GOLD HILL RD E., GOLD HILL, NC 28071

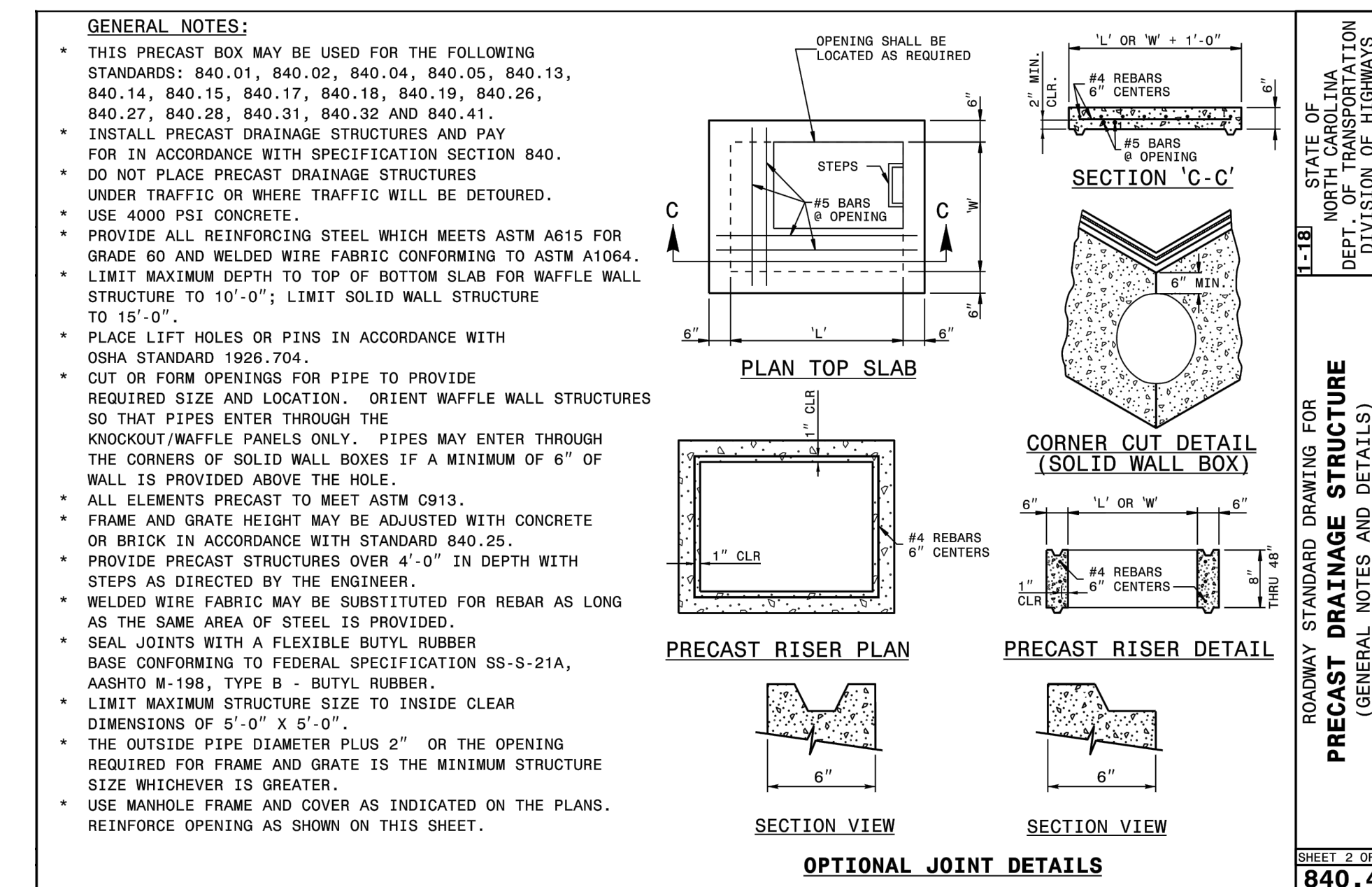
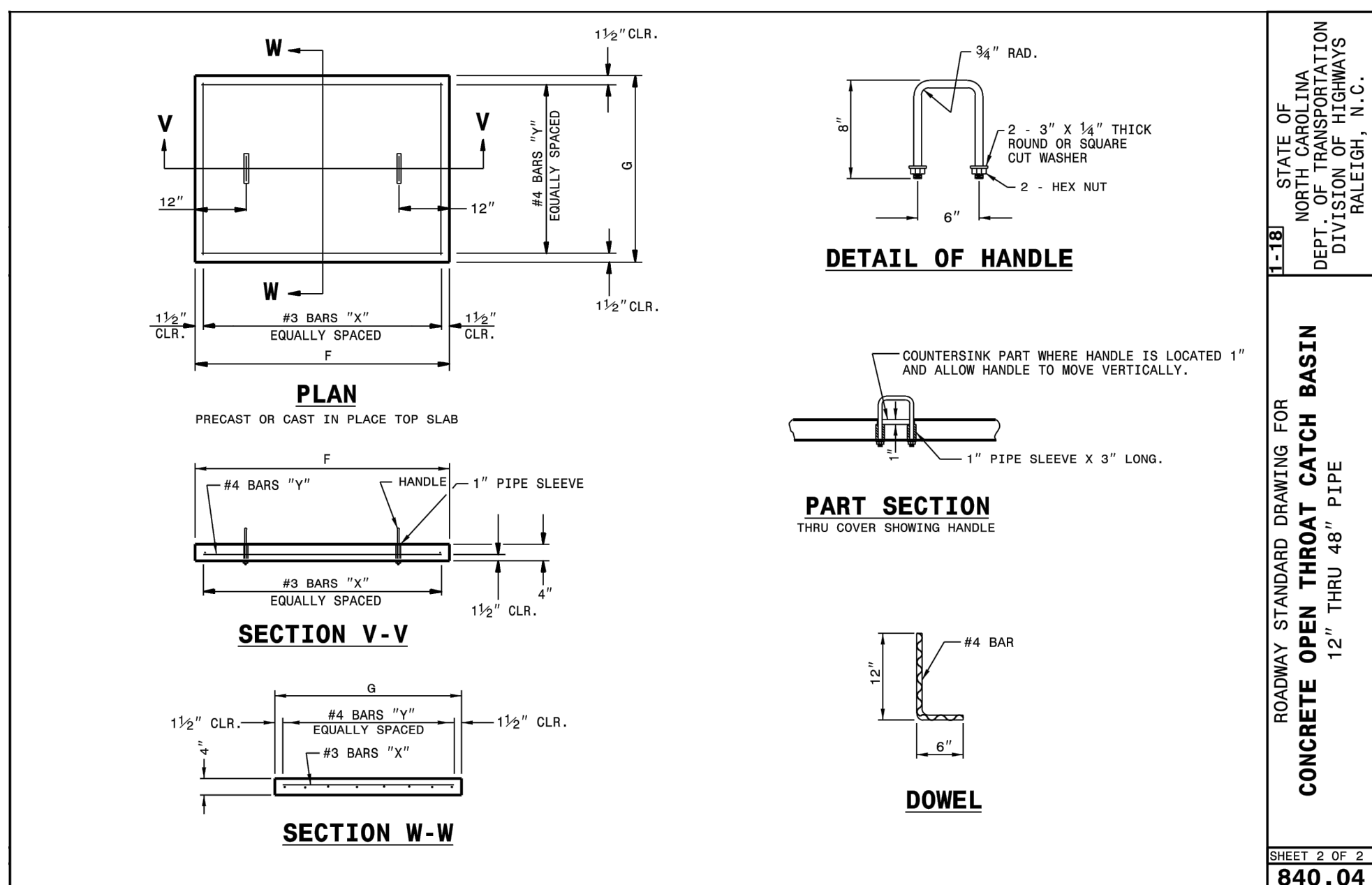
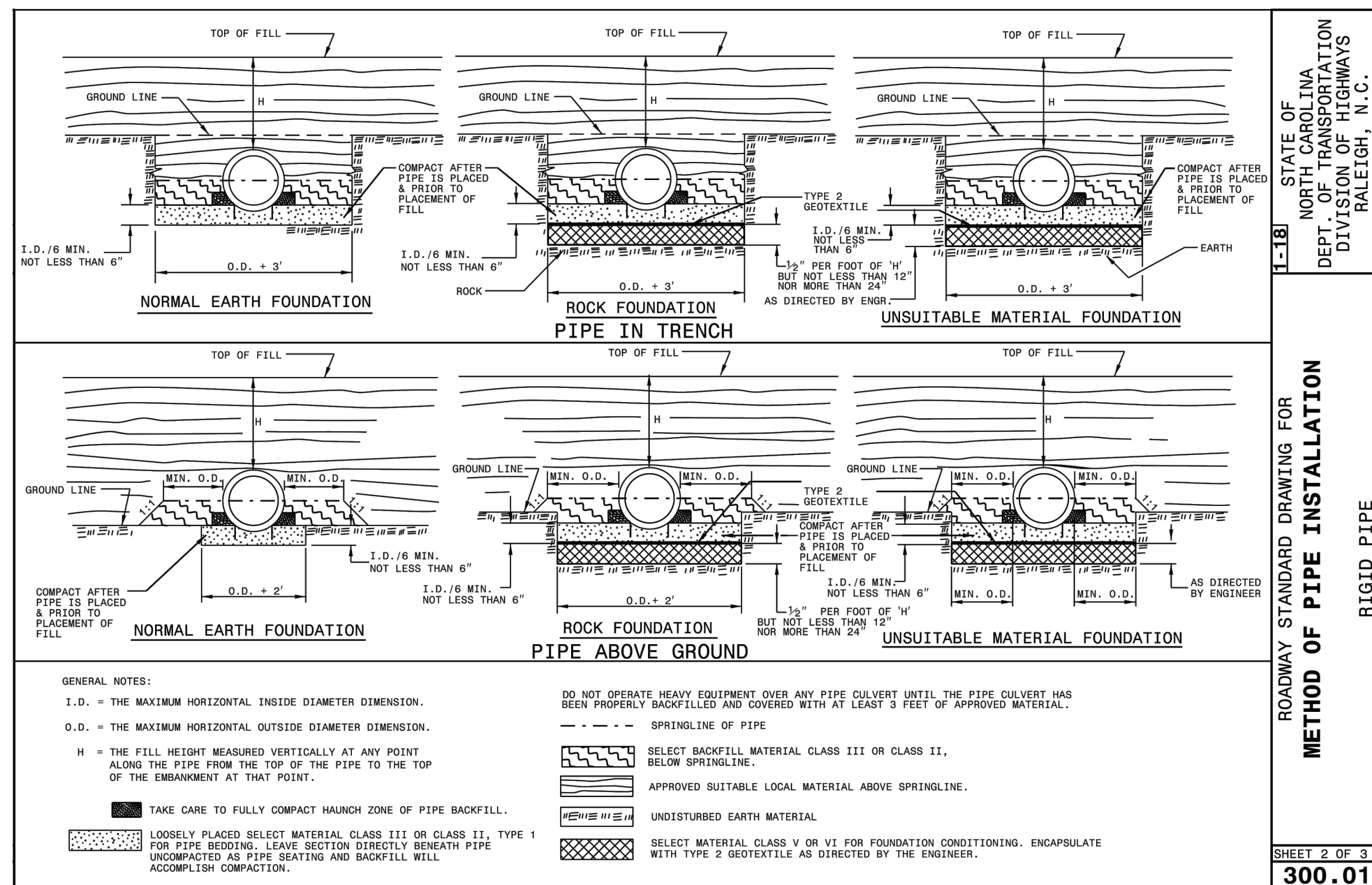
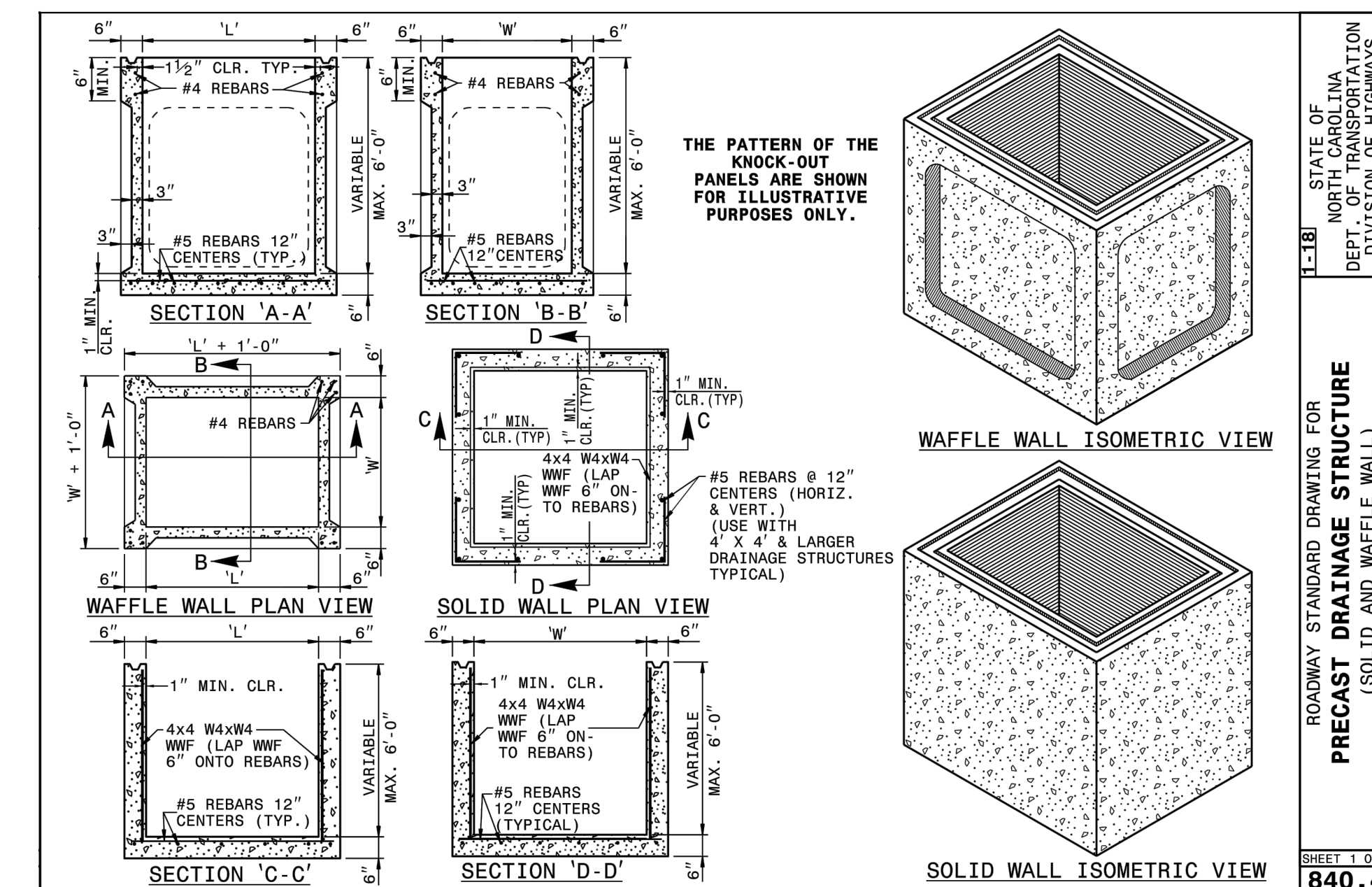
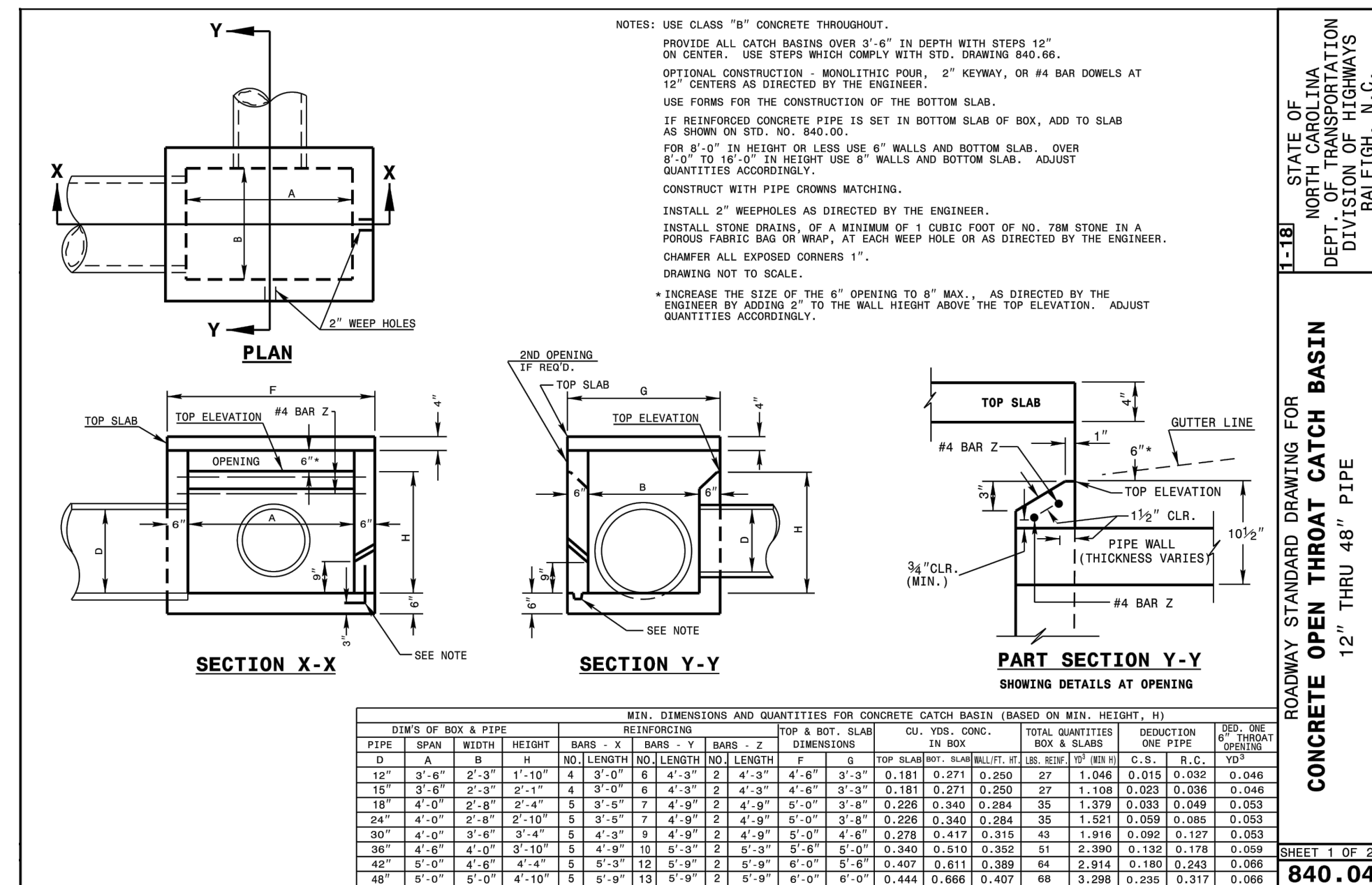
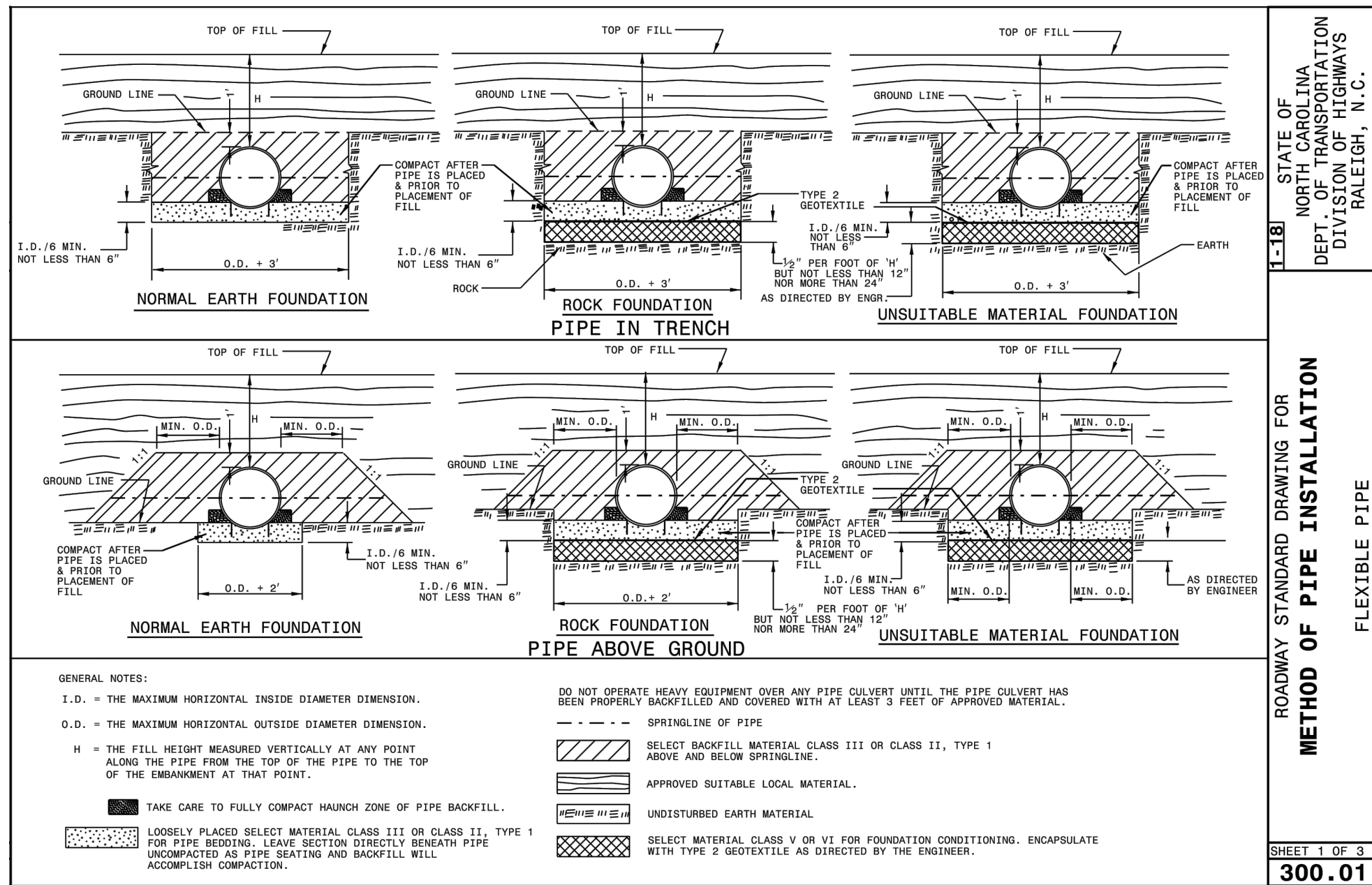
REVISION No.	DESCRIPTION	DATE	INITIAL	SCALE
1	PER CABARRUS CNTY REVIEW	3-23-21	GWW	PROFILE

CONSTRUCTION DETAILS

DATE: 12-18-20
 DRAWN BY: RCC
 CHECKED BY: GWW
 DWG No.:

JOB NO. 11526
 SHEET NO. 19
 OF 21





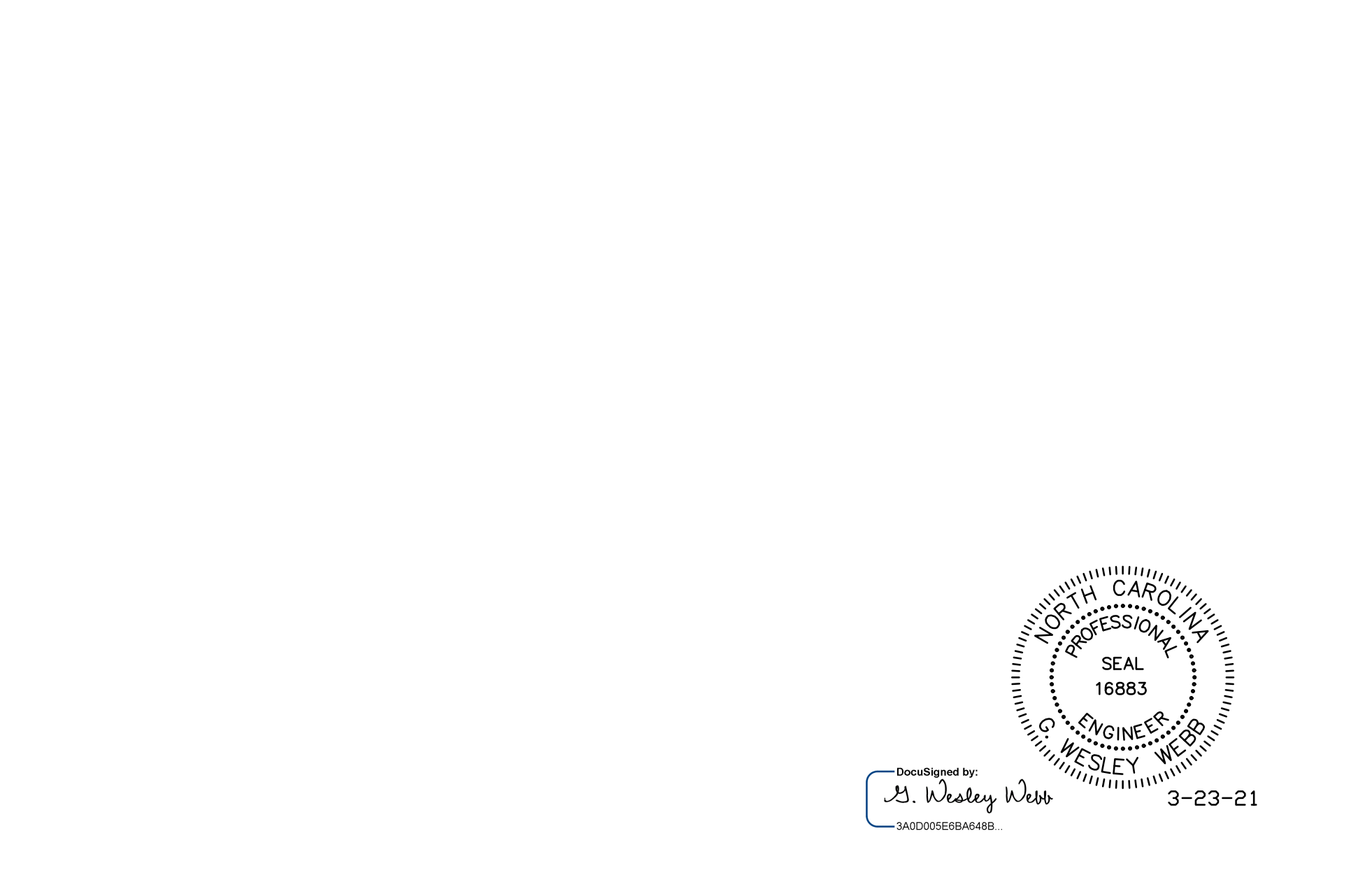
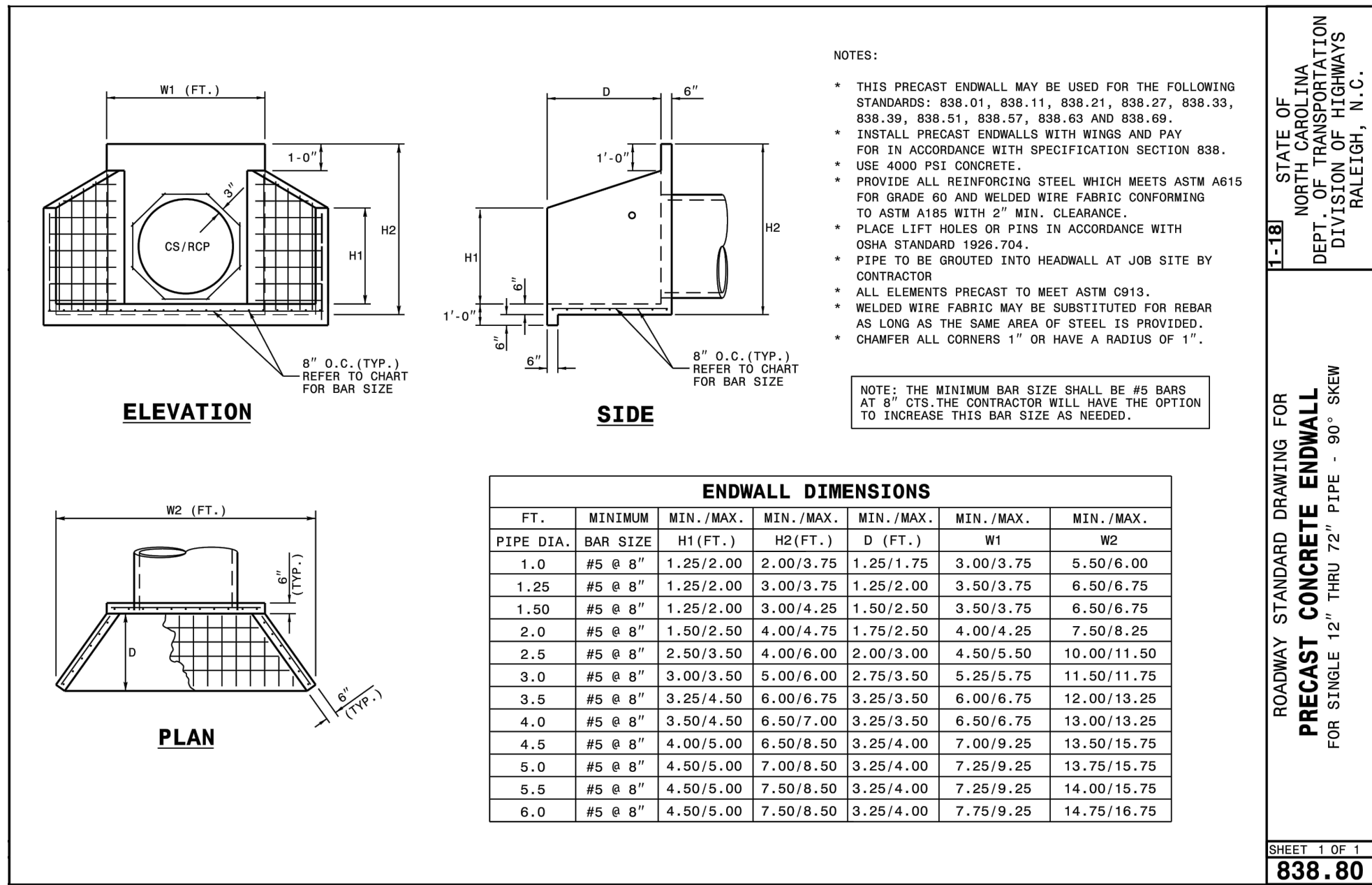
FLEXIBLE PIPE

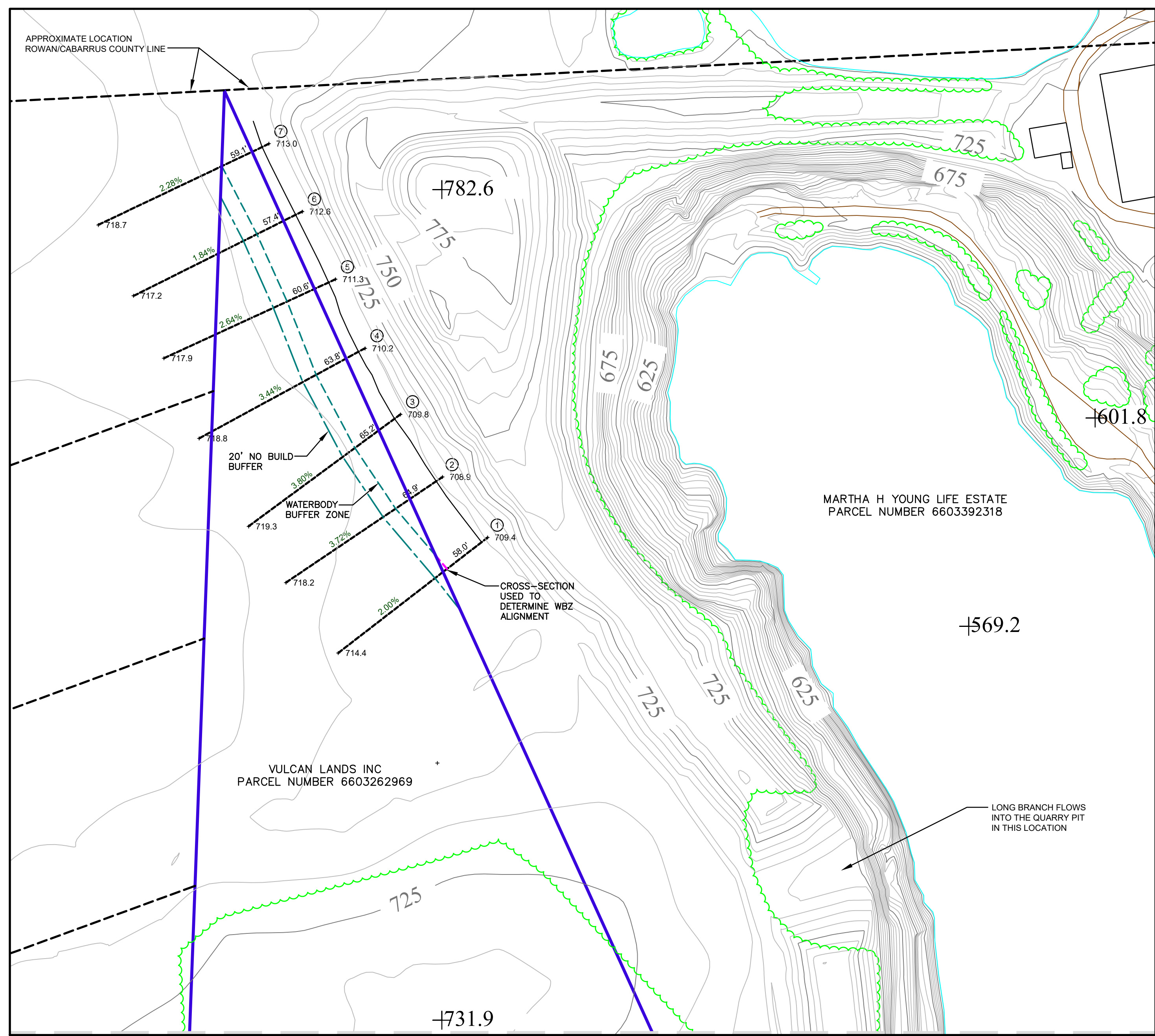
Round Corrugated Steel Pipe			
Diameter (Inches)	Minimum cover (feet)	Maximum Height of Cover (feet)	
		18	12
12	12	204	258
15	12	182	204
18	12	158	239
21	12	115	204
24	12	100	178
30	12	79	142
36	12	65	117
42	12	55	100
48	12	48	87
54	12	44	77
60	12	39	69
66	12	35	61
72	12	31	54
78	12	28	48
84	12	25	42

Round Corrugated Aluminum Pipe			
Diameter (Inches)	Minimum cover (feet)	Maximum Height of Cover (feet)	
		18	12
12	12	123	155
15	12	98	123
18	12	81	102
21	12	69	87
24	12	60	76
27	12	53	67
30	12	46	60
36	12	38	50
42	12	32	42
48	12	27	36
54	12	23	31
60	12	20	27
66	12	17	23
72	12	15	20
78	12	13	17
84	12	11	15

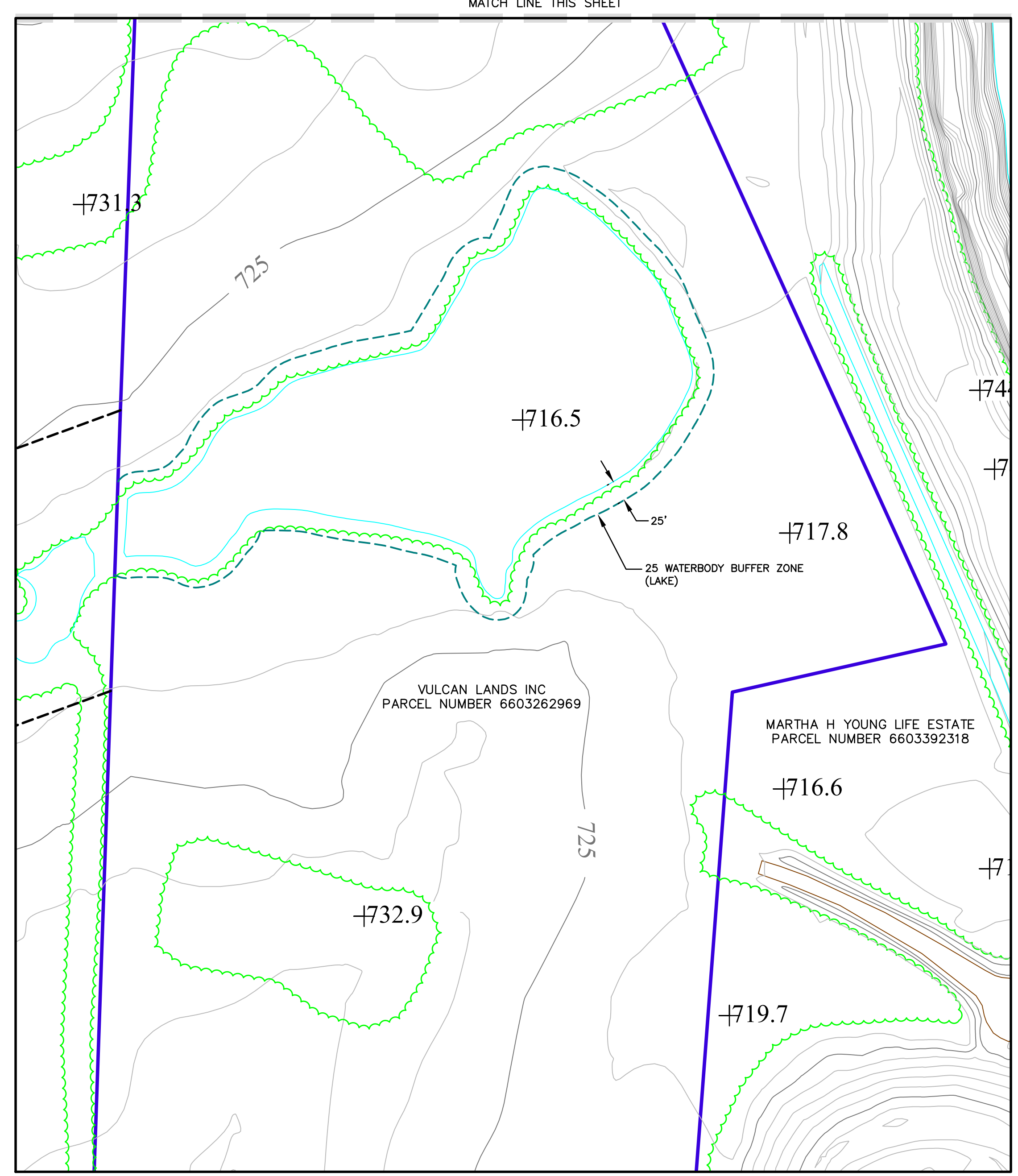
RIGID PIPE

RCP - Class II pipe			
Diameter (Inches)	Minimum cover (feet)	Maximum Height of Cover (feet)	
		18	12
12	12	204	258
15	12	182	204
18	12	158	239
21	12	115	204
24	12	100	178
30	12	79	142
36	12	65	117
42	12	55	100
48	12	48	87
54	12	44	77
60	12	39	69
66	12	35	61
72	12	31	54
78	12	28	48
84	12	25	42

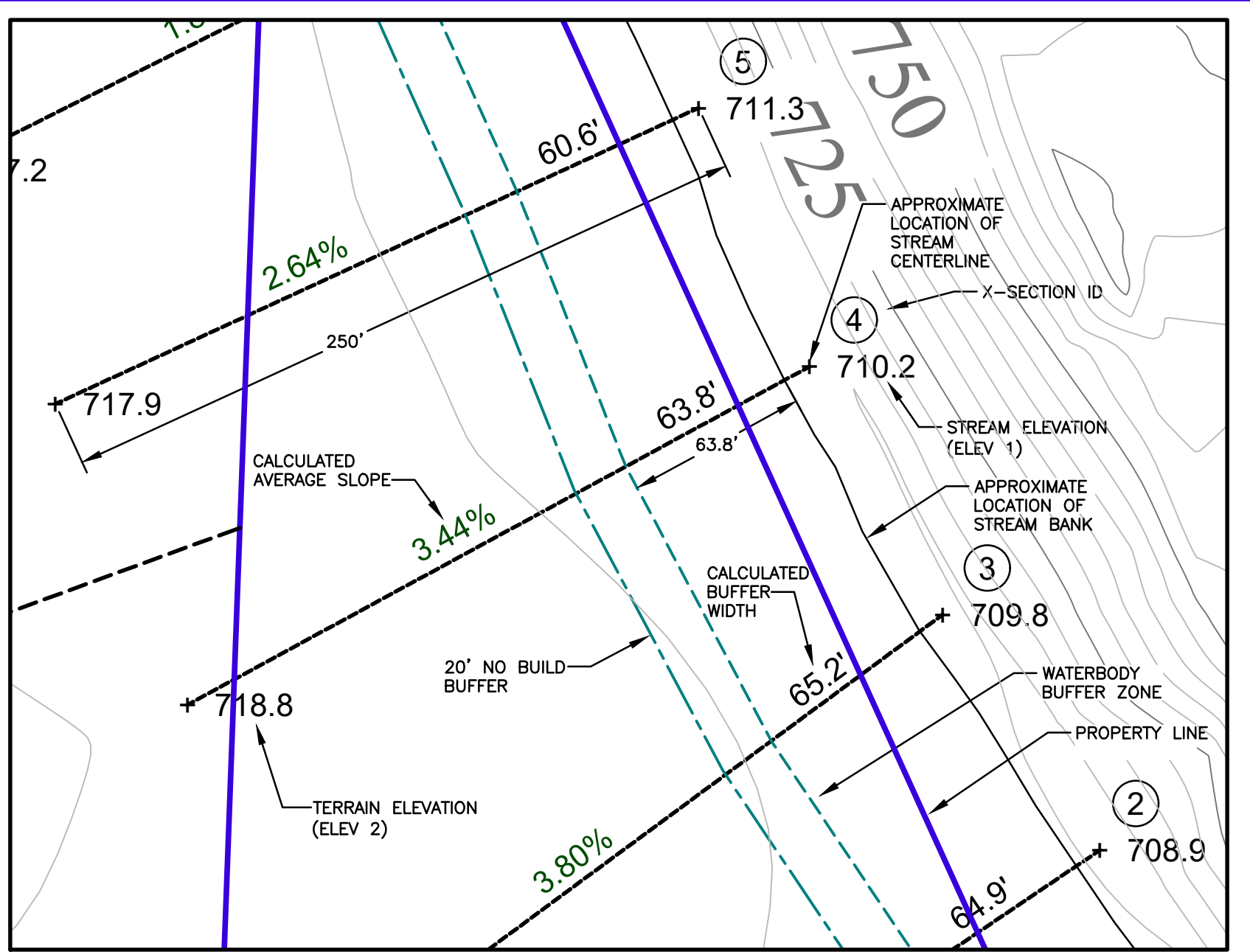




LONG BRANCH WBZ CALCULATIONS
SCALE : 1" = 100'



LAKE WBZ
SCALE : 1" = 100'



METHOD OF CALCULATION FOR STREAM BUFFERS
SCALE 1" = 50'

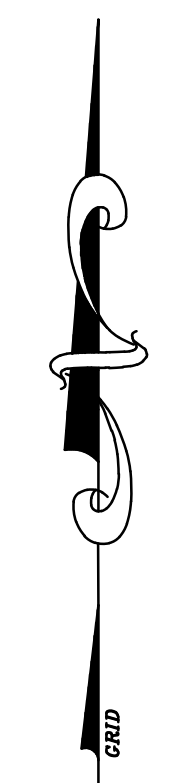
X-Section ID	Elev 2	Elev 1	Avg Slope (%)	Four X	WBZ Width (ft)
1	714.4	709.4	2.00	8.00	58.0
2	718.2	708.9	3.72	14.88	64.9
3	719.3	709.8	3.80	15.20	65.2
4	718.8	710.2	3.44	13.76	63.8
5	717.9	711.3	2.64	10.56	60.6
6	717.2	712.6	1.84	7.36	57.4
7	718.7	713.0	2.28	9.12	59.1

- WATERBODY BUFFER ZONE CALCULATION NOTES:**
1. THE WIDTH OF THE WATERBODY BUFFER ZONE ADJACENT TO A STREAM IS 50 FEET PLUS FOUR TIMES THE AVERAGE TERRAIN SLOPE, MEASURED BETWEEN THE STREAM CENTERLINE AND A POINT 250 FEET PERPENDICULAR FROM THE STREAM. THE BUFFER WIDTH IS MEASURED FROM THE STREAM BANK. THE MAXIMUM WIDTH IS 120 FEET.
 2. THE MINIMUM BUILDING SETBACK, ALSO KNOWN AS THE NO BUILD BUFFER AREA SHALL BE AT LEAST 20 FEET FROM THE ESTABLISHED WATERBODY BUFFER.
 3. AN AVERAGE STREAM WIDTH OF 20 FEET WAS USED FOR THE WATERBODY BUFFER ZONE CALCULATIONS.
 4. THE LOCATION OF LONG BRANCH IS APPROXIMATE AND BASED ON AERIAL MAPPING DATA. AN AVERAGE STREAM WIDTH OF 20 FEET WAS ASSUMED FOR THE CHANNEL.
 5. THE ELEVATION VALUES USED FOR THE SLOPE CALCULATIONS WERE BASED ON AN AERIAL TOPOGRAPHIC MAP PREPARED BY TUCK MAPPING SOLUTIONS, INC. DATED 3-20-20.

COMPILED BY:



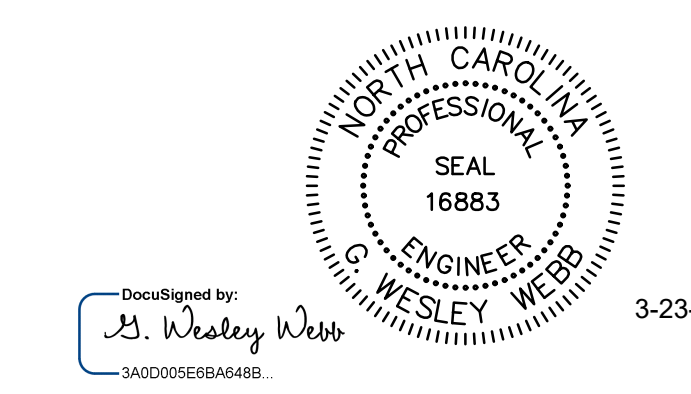
DATE OF PHOTOGRAPHY :
3/20/20



- PROPERTY OWNED SURVEYED ———
- PROPERTY OWNED NON-SURVEYED - - - - -
- PROPERTY LEASED SURVEYED ———
- PROPERTY LEASED NON-SURVEYED - - - - -
- PROPERTY ADJOINING SURVEYED ———
- PROPERTY ADJOINING NON-SURVEYED - - - - -
- 3RD PARTY LEASED SURVEYED ———
- 3RD PARTY LEASED NON-SURVEYED - - - - -
- HORIZONTAL CONTROL POINT △
- VERTICAL CONTROL POINT ○
- INDEX CONTOUR ——— 3500
- INTERMEDIATE CONTOUR ———
- SPOT ELEVATION + 751.6
- WATER ———
- PAVED ROAD ———
- DIRT ROAD ———
- BUILDING □
- LOCATED OBJECT □
- FENCE - x - x - x
- TREES ———
- PIPE - x - x - x
- POLE ●
- TOWER ⊠

MINE LEGEND

- VULCAN LANDS PROPERTY/PERMIT LINE ———
- VMC LEASE AREA - - - - -
- LEASE SURVEY LIMITS - - - - -
- ADJACENT PROPERTY LINE - - - - -
- ULTIMATE PIT LIMITS ———
- CABARRUS CO UNDISTURBED WATERBODY BUFFER ZONE ———
- CABARRUS CO (NO BUILD BUFFER) 20' MINIMUM BUILDING SETBACK - - - - -

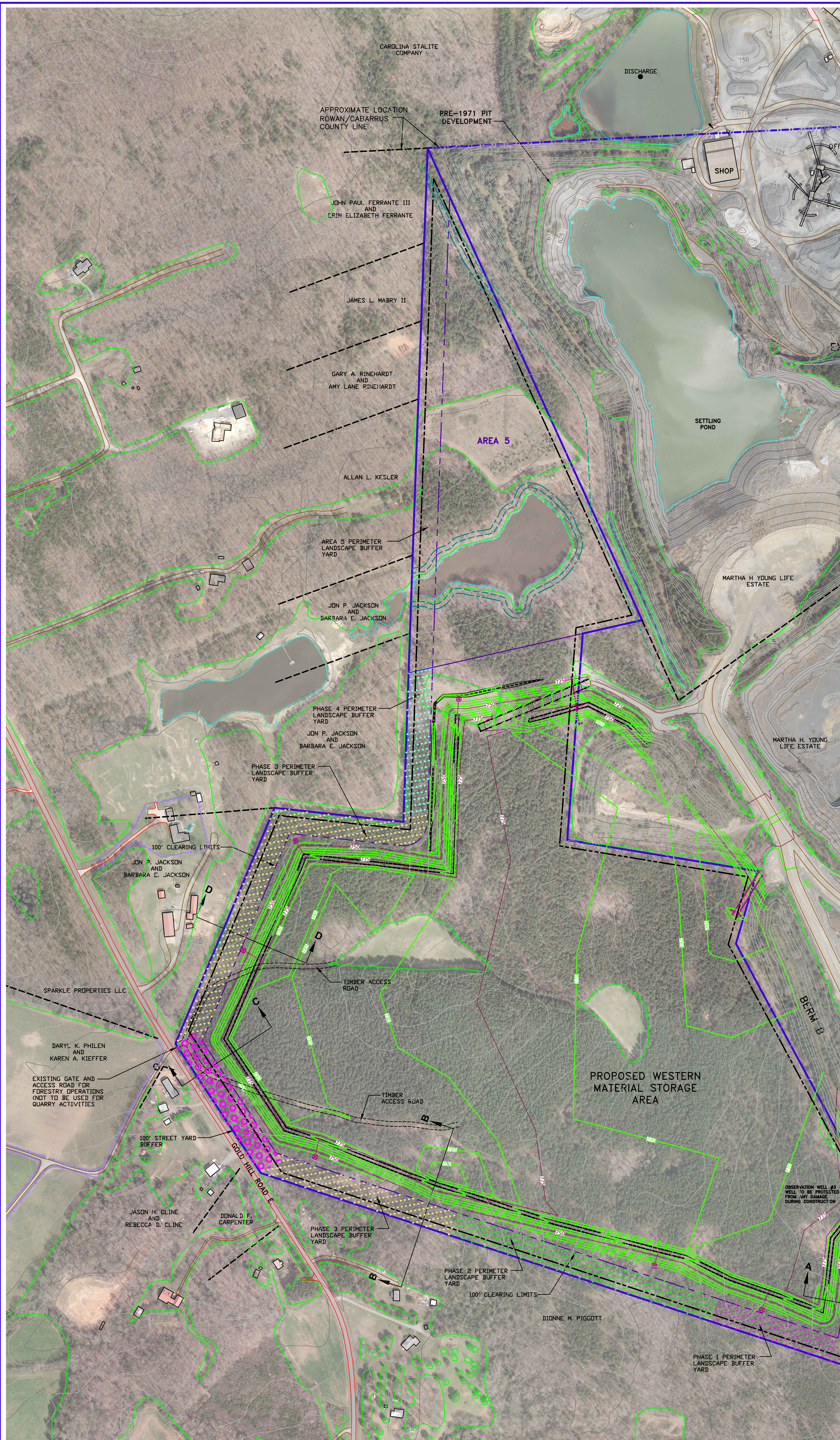


awek alley, williams, carmen, & king, inc.
CONSULTING ENGINEERS
FIRM LICENSE No. F-0203
120 SOUTH MAIN STREET KANNAPOLIS, NC 28082
P.O. BOX 1248 704/938-1515

2020 CONDITIONAL USE ZONING REQUEST
GOLD HILL QUARRY
VULCAN CONSTRUCTION MATERIALS
5300 GOLD HILL RD E, GOLD HILL, NC 28071

WATERBODY BUFFER ZONE EXHIBIT

SCALE: VARIES
DATE: 3-23-2021
DRAWN BY: RCC
CHECKED BY: GWW
JOB NO. 11526
SHEET NO. WBZ-1
OF 1



COMPILED BY:



DATE OF PHOTOGRAPHY :
3/20/20

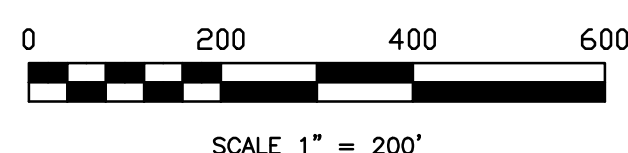


MAP LEGEND

HORIZONTAL CONTROL POINT	△
VERTICAL CONTROL POINT	○
INDEX CONTOUR	3500
INTERMEDIATE CONTOUR	
SPOT ELEVATION	+ 751.6
WATER	
PAVED ROAD	
DIRT ROAD	
BUILDING	
LOCATED OBJECT	
FENCE	
TREES	
PIPE	
POLE	
TOWER	
WELL	

MINE LEGEND

VULCAN LANDS INC PROPERTY LINE	
ADJACENT PROPERTY LINE	
100' UNDISTURBED CLEARING LIMITS	
CABARRUS CO. ZONING BUILDING SETBACK	
WATERBODY BUFFER ZONE BUFFER	
WATERBODY BUFFER ZONE NO BUILD BUFFER	
PROPOSED 100' PERIMETER LANDSCAPE BUFFER YARD	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
AREA 5	
STREET YARD LANDSCAPED BUFFER	



PROFILE NOTES:

- EXISTING GROUND PROFILES ARE BASED ON AERIAL PHOTOGRAPHY PREPARED BY TUCK MAPPING SOLUTIONS INC DATED 3-20-20.
- THE PROPOSED DEVELOPMENT CONDITIONS ARE BASED ON THE SITE PLAN DRAWINGS PREPARED BY ALLEY WILLIAMS CARMEN & KING DATED 7-10-20.

R2: 3-22-21 ADDED AREA 5 BUFFER YARD & WBZ LINES
R1: 12-26-20 REVISED BUFFER HATCHES AND MAP LABELING
DWG NO.: 11526 VULCAN LANDS CU ZONING PROFILE EXHIBIT.DWG



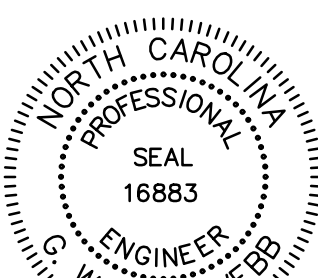
alley, williams, carmen, & king, inc.
CONSULTING ENGINEERS
FIRM LICENSE No. F-0203
120 SOUTH MAIN STREET
KANNAPOLIS, NC 28082
P.O. BOX 1248
704/938-1515

SCALE	DATE: 12-17-20
PLANE: 1" = 200'	DRAWN BY: RCC
PROFILE	CHECKED BY: GWW
HORIZ:	DWG No.:
VERT:	

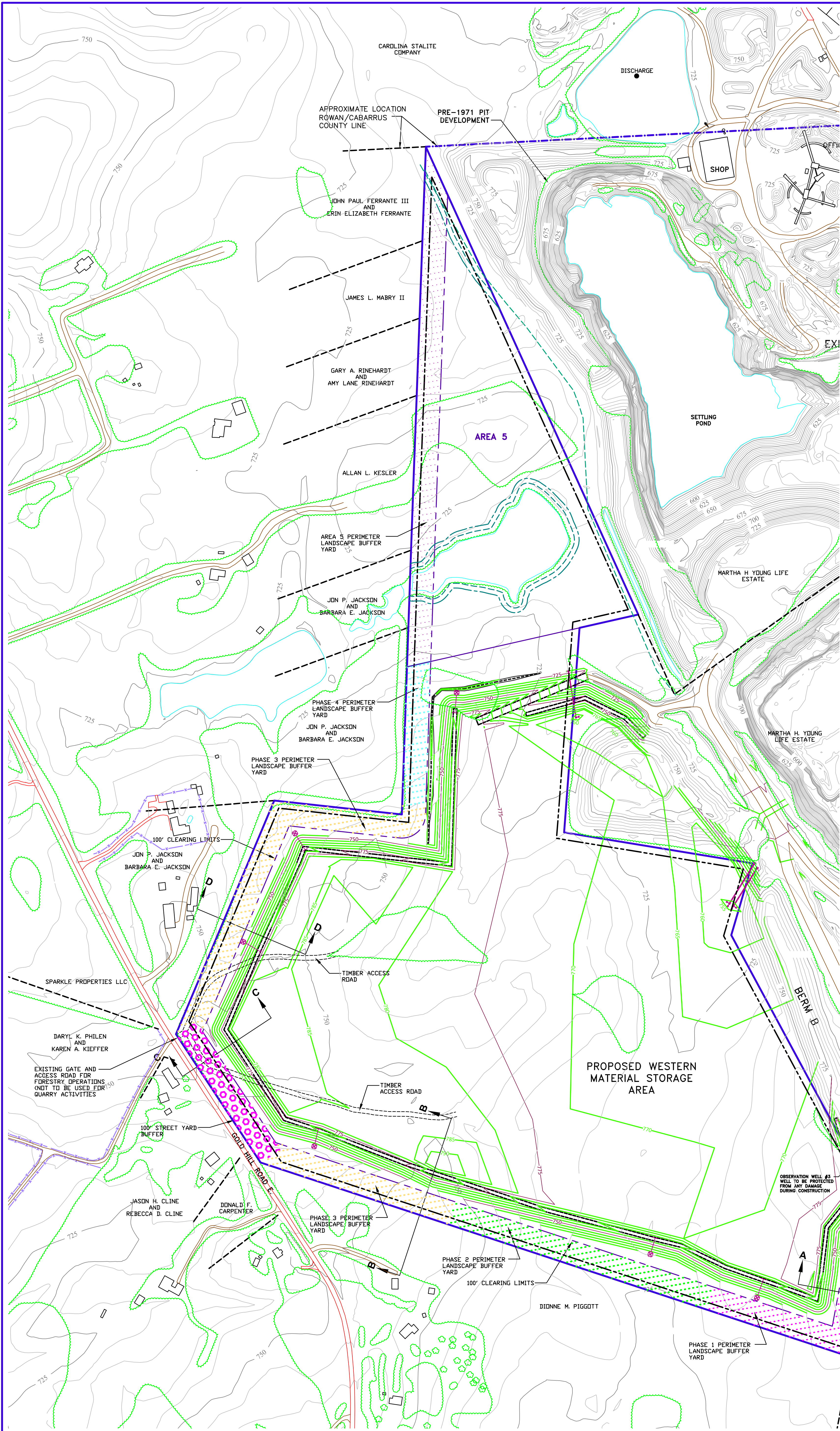
2020 CONDITIONAL REZONING REQUEST
GOLD HILL QUARRY
VULCAN MATERIALS COMPANY
5300 GOLD HILL RD E., GOLD HILL NC 28071

STREET YARD AND PERIMETER BUFFER YARD PROFILES

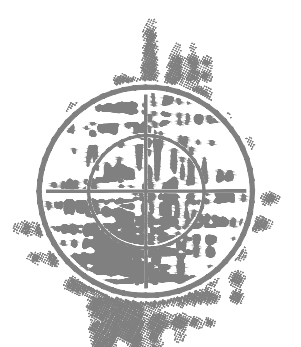
JOB NO.	11526
SHEET NO.	1
OF:	4



3-23-21
G. Wesley Webb

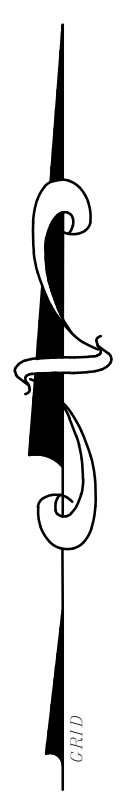


COMPILED BY:



tuck MAPPING SOLUTIONS, INC.
www.tuckmapping.com

DATE OF PHOTOGRAPHY :
3/20/20



MAP LEGEND

HORIZONTAL CONTROL POINT	
VERTICAL CONTROL POINT	
INDEX CONTOUR	
INTERMEDIATE CONTOUR	
SPOT ELEVATION	
WATER	
PAVED ROAD	
DIRT ROAD	
BUILDING	
LOCATED OBJECT	
FENCE	
TREES	
PIPE	
POLE	
TOWER	
WELL	

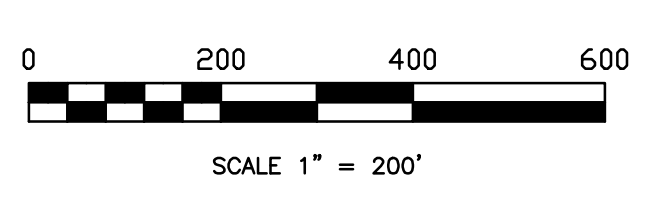
MINE LEGEND

VULCAN LANDS INC PROPERTY LINE	
ADJACENT PROPERTY LINE	
100' UNDISTURBED CLEARING LIMITS	
CABARRUS CO. ZONING BUILDING SETBACK	
WATERBODY BUFFER ZONE BUFFER	
WATERBODY BUFFER ZONE NO BUILD BUFFER	
PROPOSED 100' PERIMETER LANDSCAPE BUFFER YARD	
PHASE 1	
PHASE 2	
PHASE 3	
PHASE 4	
AREA 5	
STREET YARD LANDSCAPED BUFFER	



PROFILE NOTES:

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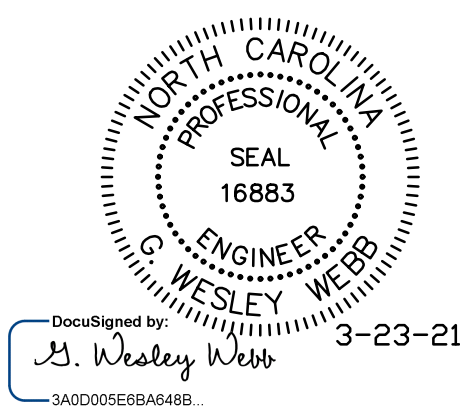
alley, williams, carmen, & king, inc.
CONSULTING ENGINEERS
FIRM LICENSE No. F-0203
120 SOUTH MAIN STREET
KANNAPOLIS, NC 28082
P.O. BOX 1248
704/938-1515

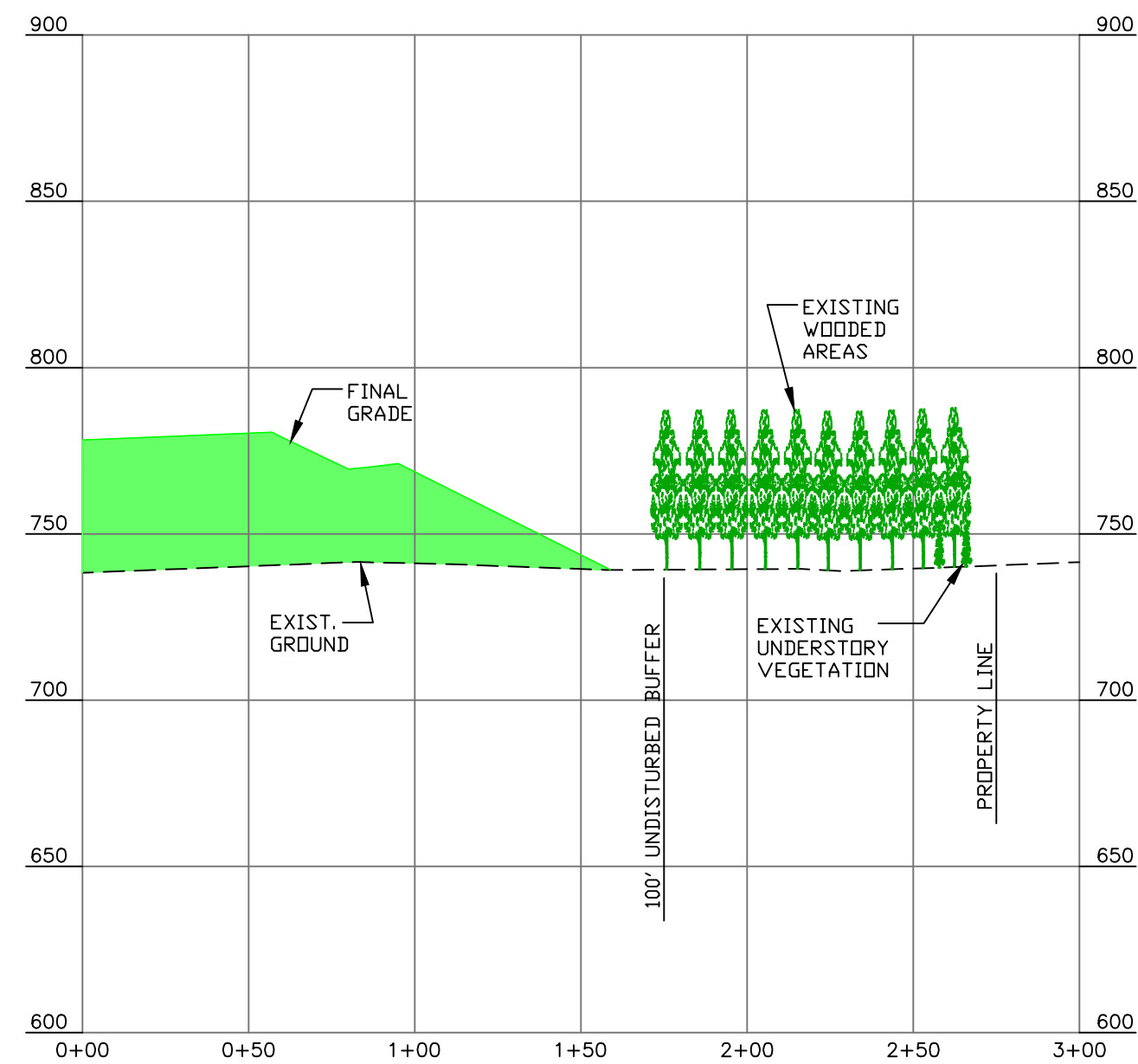
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PLANE: 1" = 200'	DRAWN BY: RCC
PROFILE	CHECKED BY: GWW
HORIZ:	DWG No.:
VERT:	

2020 CONDITIONAL REZONING REQUEST
GOLD HILL QUARRY
VULCAN MATERIALS COMPANY
5300 GOLD HILL RD E., GOLD HILL NC 28071

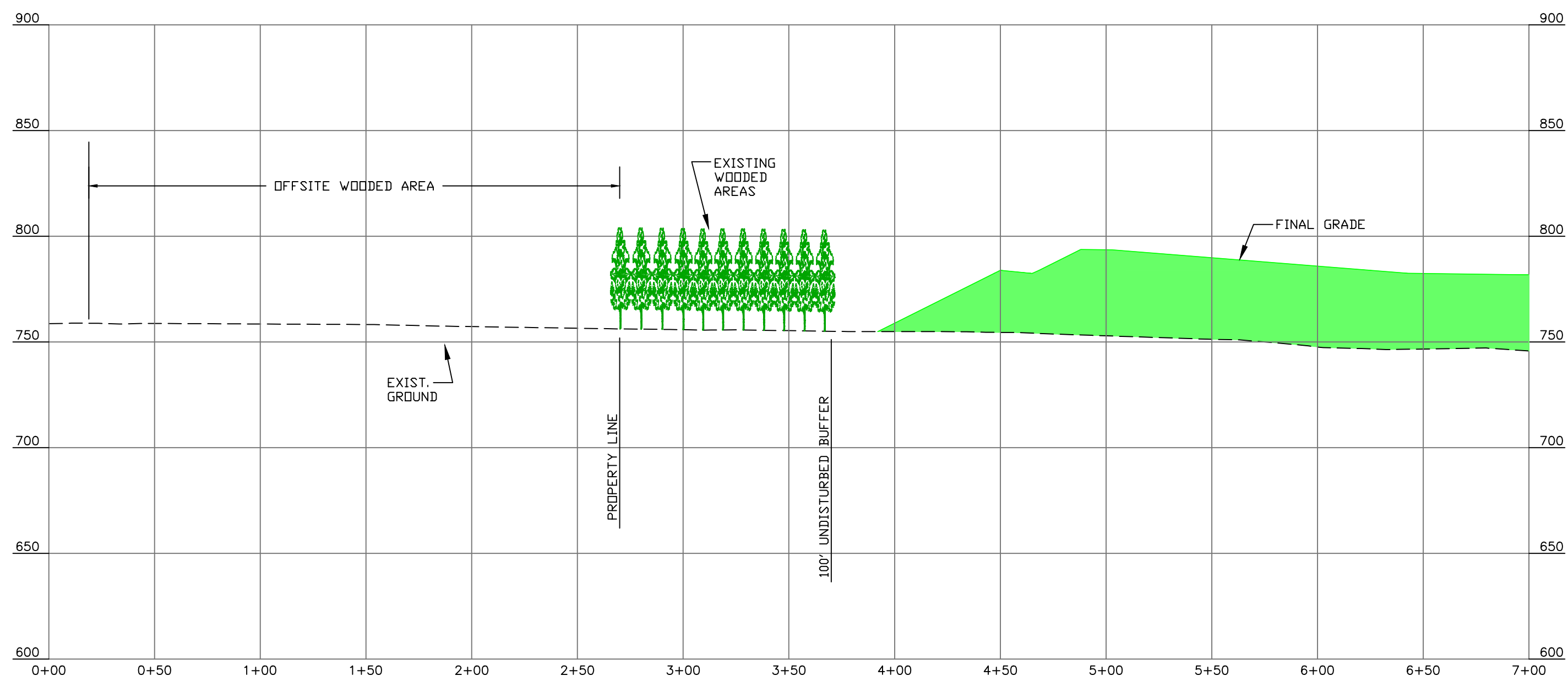
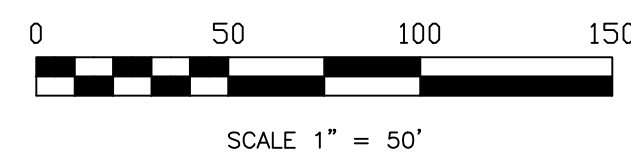
STREET YARD AND PERIMETER BUFFER YARD PROFILES

JOB NO.	11526
SHEET NO.	2
OF:	4

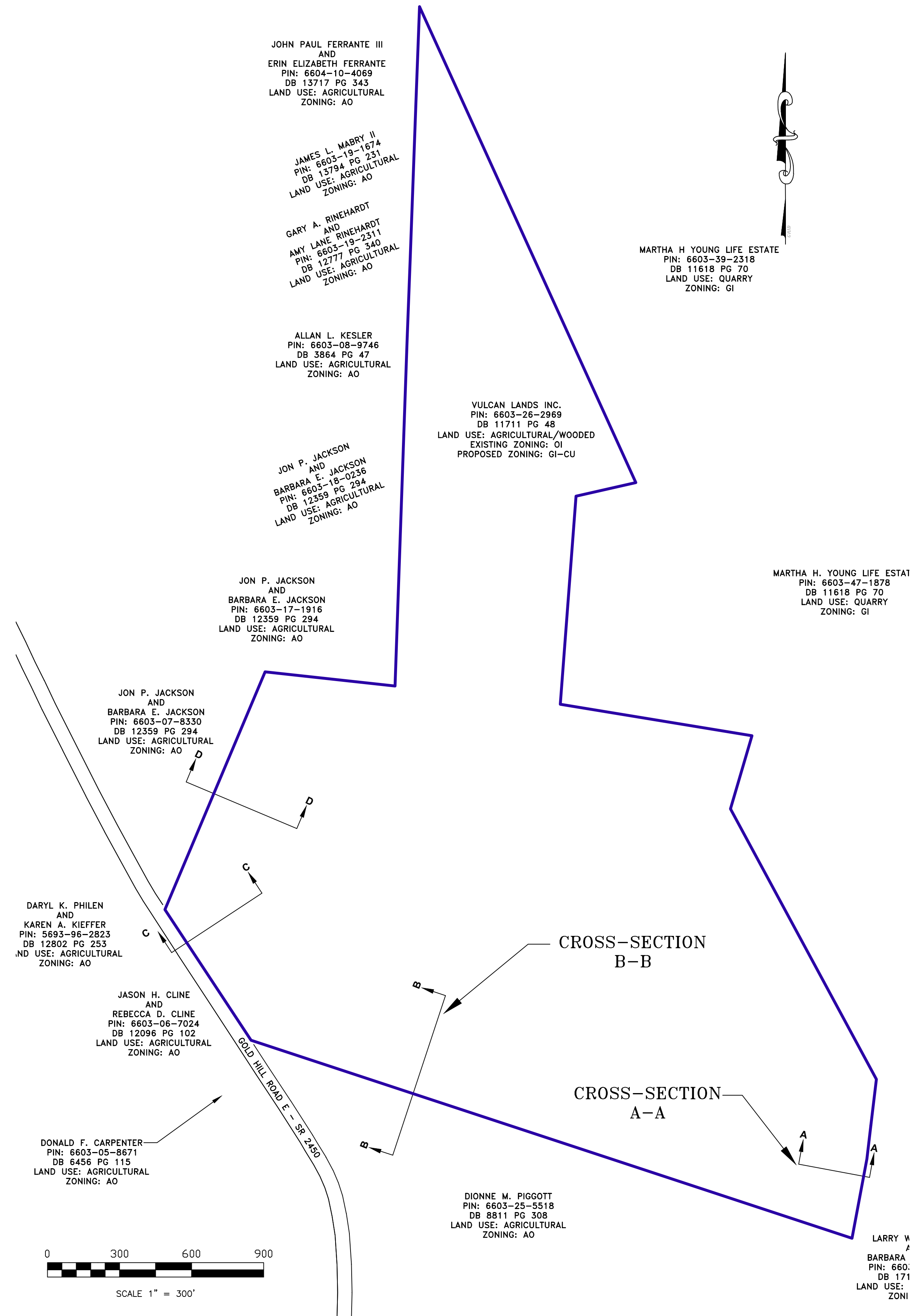
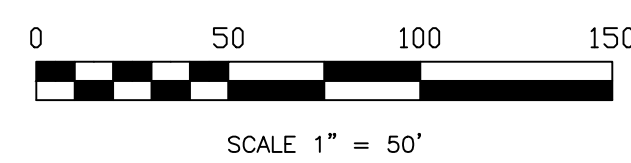




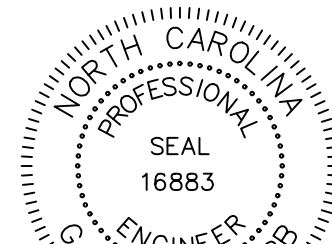
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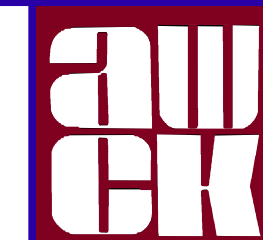
CROSS-SECTION B-B



- PROFILE NOTES:
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DocuSigned by:
Wesley Webb
3-23-21



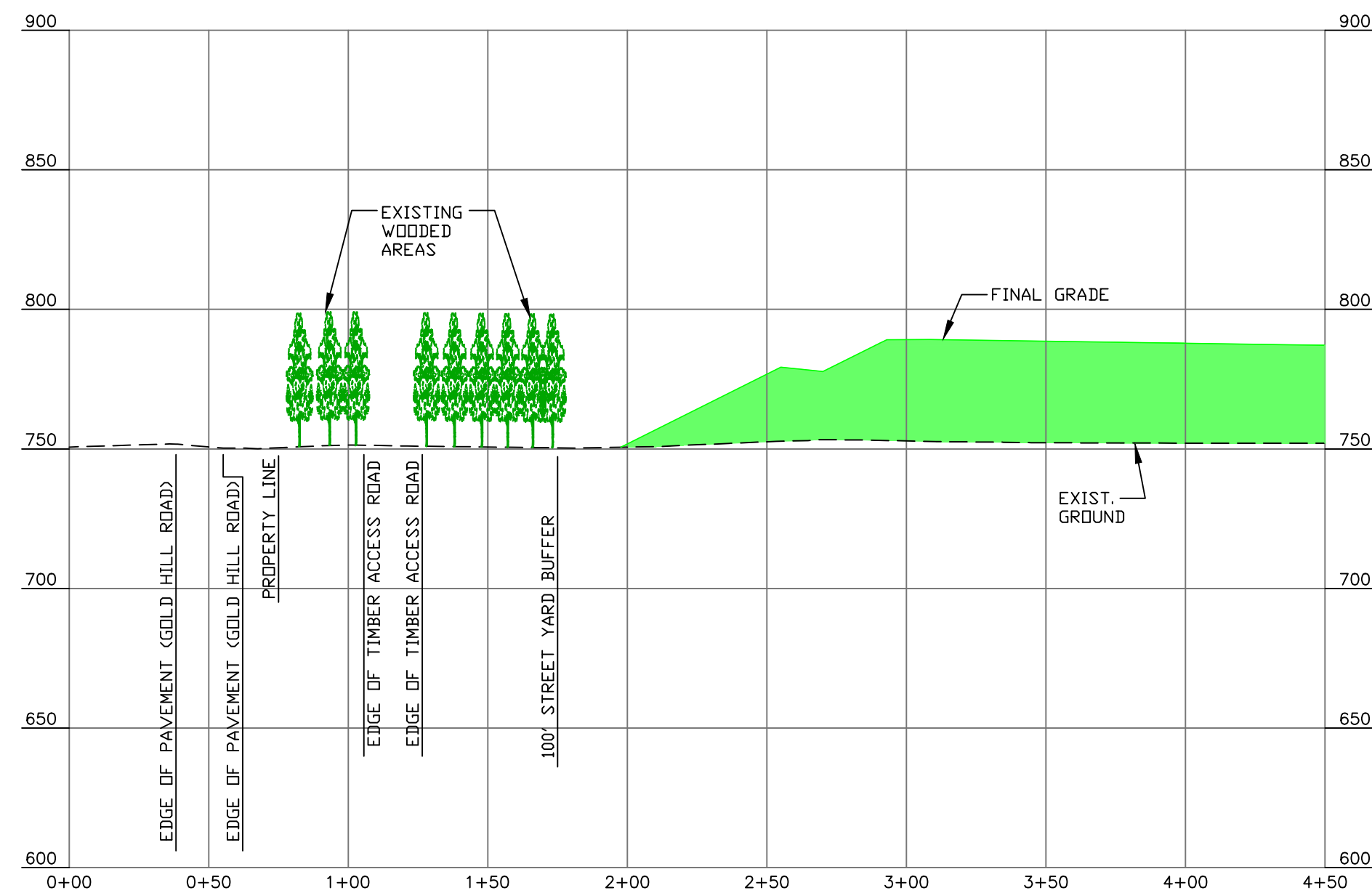
alley, williams, carmen, & king, inc.
CONSULTING ENGINEERS
FIRM LICENSE No. F-0203
120 SOUTH MAIN STREET P.O. BOX 1248
KANNAPOLIS, NC 28082 704/938-1515

2020 CONDITIONAL REZONING REQUEST
GOLD HILL QUARRY
VULCAN MATERIALS COMPANY
5300 GOLD HILL RD E., GOLD HILL NC 28071

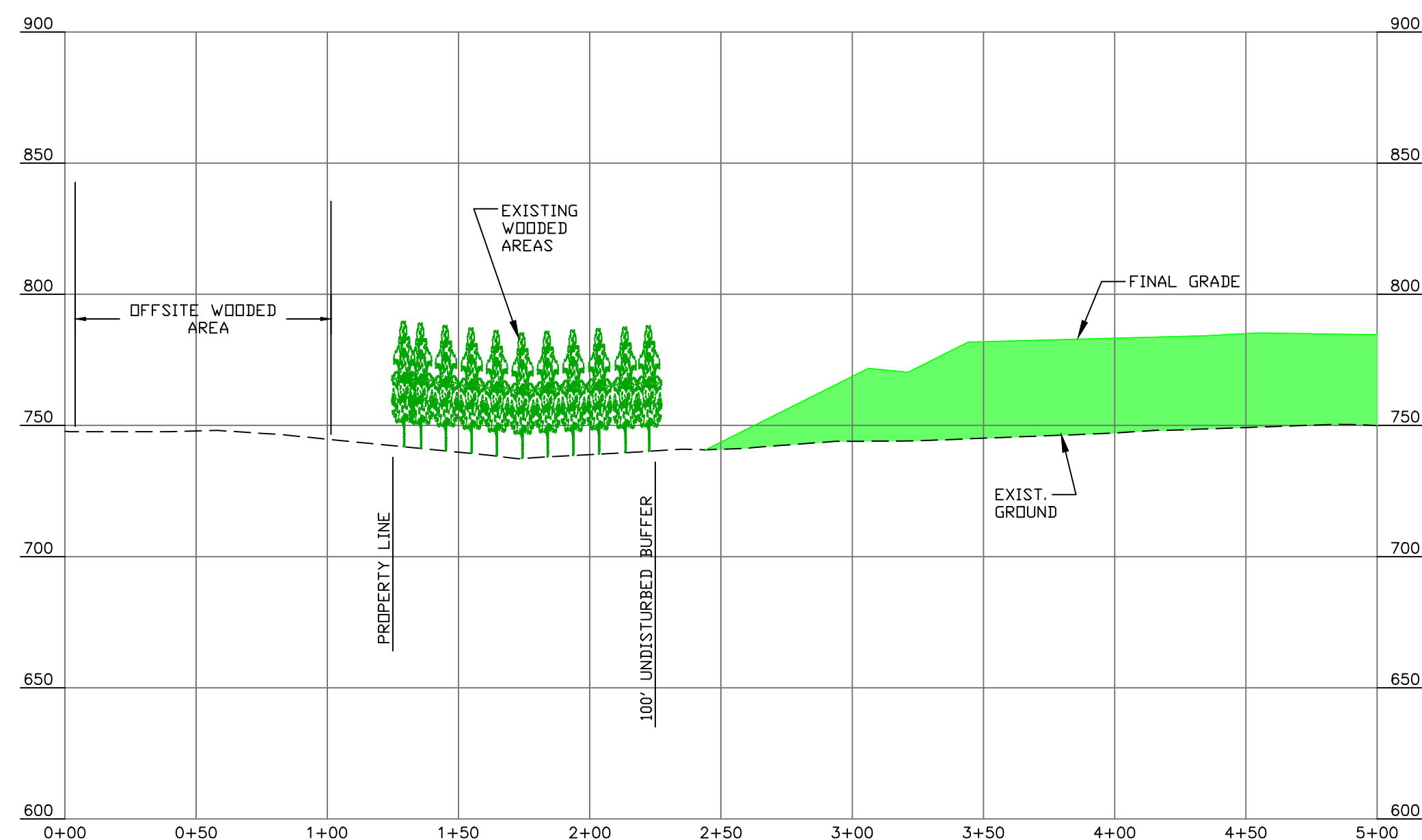
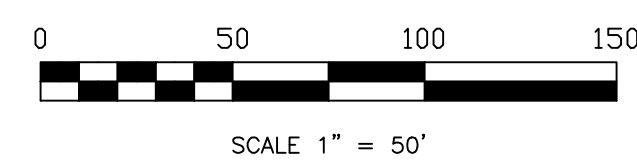
PROPOSED
CONDITION
SITE LINE
PROFILES

SCALE	DATE: 12-18-20
PLANE	DRAWN BY: RCC
PROFILE	CHECKED BY: GW/W
HORIZ: 1" = 50'	DWG No.:
VERT: 1" = 50'	

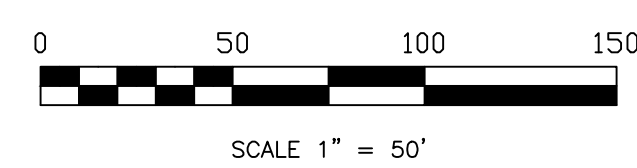
JOB NO.	11526
SHEET NO.	3
OF:	4



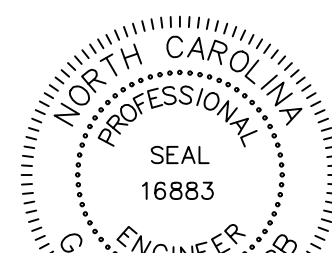
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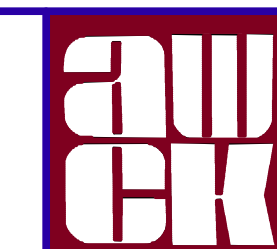
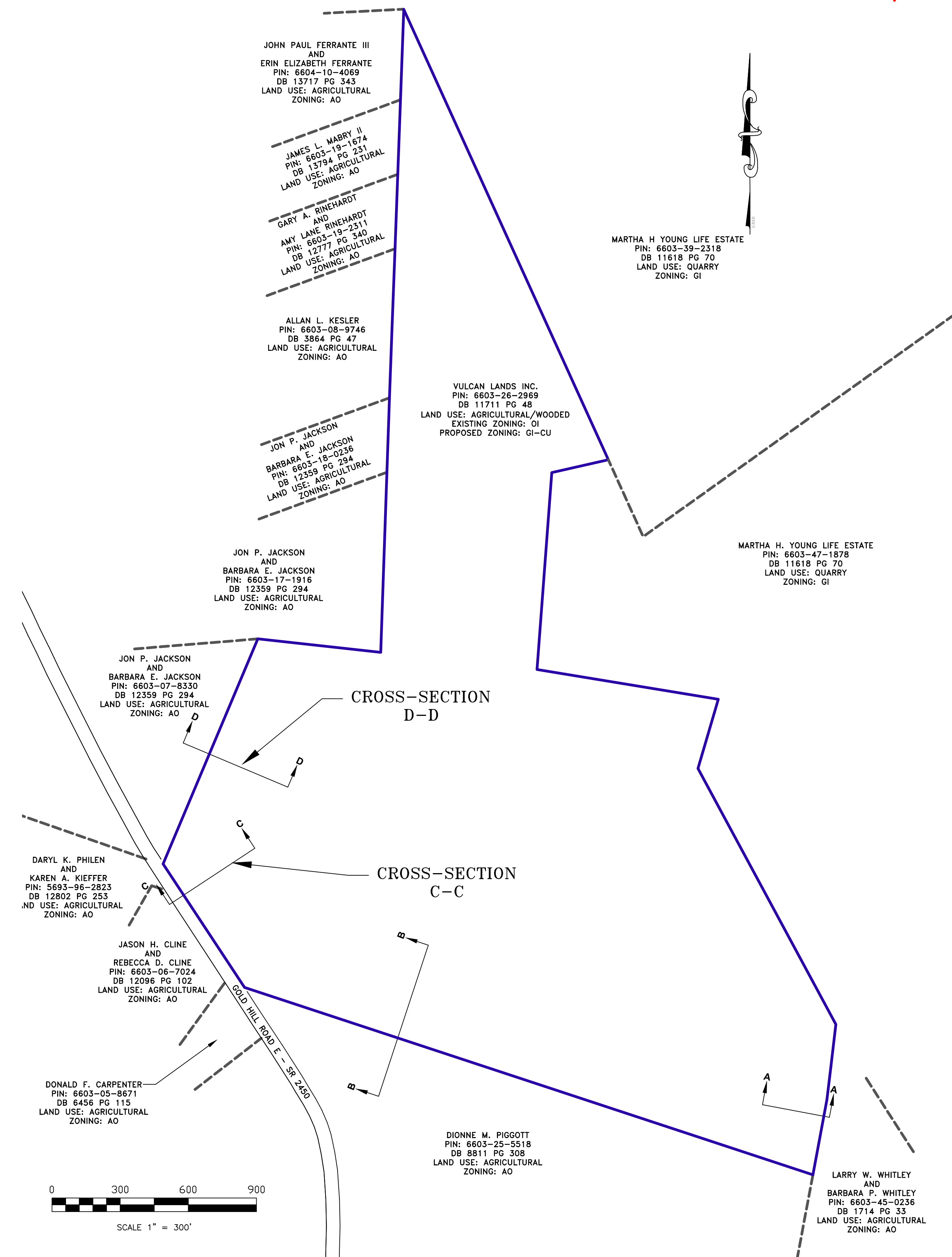
CROSS-SECTION D-D



- PROFILE NOTES:
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DocuSigned by:
Wesley Webb
3-23-21
340D005664648



alley, williams, carmen, & king, inc.
CONSULTING ENGINEERS
FIRM LICENSE No. F-0203
120 SOUTH MAIN STREET P.O. BOX 1248
KANNAPOLIS, NC 28082 704/938-1515

2020 CONDITIONAL REZONING REQUEST
GOLD HILL QUARRY
VULCAN MATERIALS COMPANY
5300 GOLD HILL RD E., GOLD HILL NC 28071

PROPOSED
CONDITION
SITE LINE
PROFILES

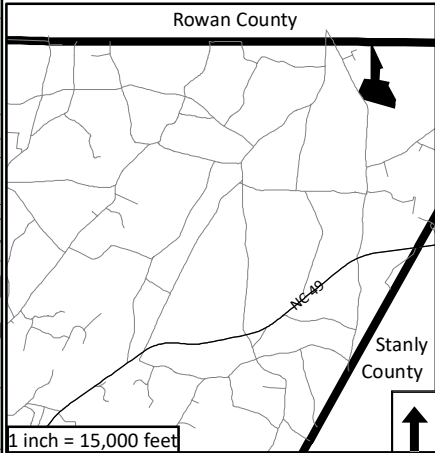
SCALE	DATE
1" = 50'	12-18-20
PROFILE	DRAWN BY:
	RCC
HORIZ: 1" = 50'	CHECKED BY:
	GWV
VERT: 1" = 50'	DWG No.:

JOB NO.	11526
SHEET NO.	4
OF:	4

Eastern Planning Area Existing Zoning

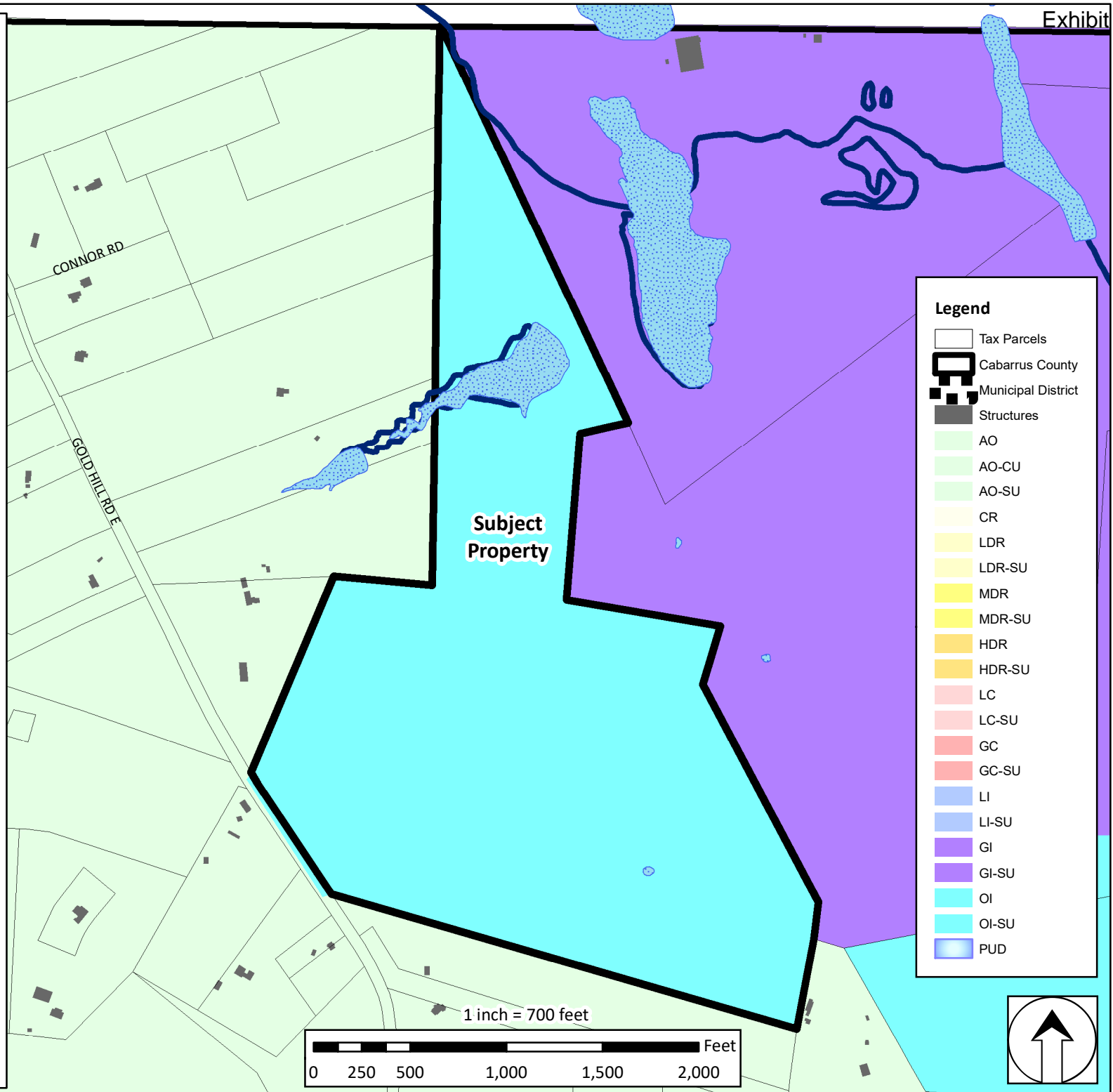


Applicant: Vulcan Lands Inc.
Owner: Vulcan Lands Inc.
Case: RZON2021-00001
Address: 5300 Gold Hill Rd E
Purpose: Rezone from OI to GI-CU
PINs: 6603-26-0969



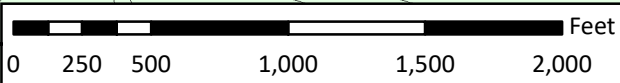
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Map Prepared by Cabarrus County Planning & Development - January 2021



Legend

- Tax Parcels
- Cabarrus County
- Municipal District
- Structures
- AO
- AO-CU
- AO-SU
- CR
- LDR
- LDR-SU
- MDR
- MDR-SU
- HDR
- HDR-SU
- LC
- LC-SU
- GC
- GC-SU
- LI
- LI-SU
- GI
- GI-SU
- OI
- OI-SU
- PUD

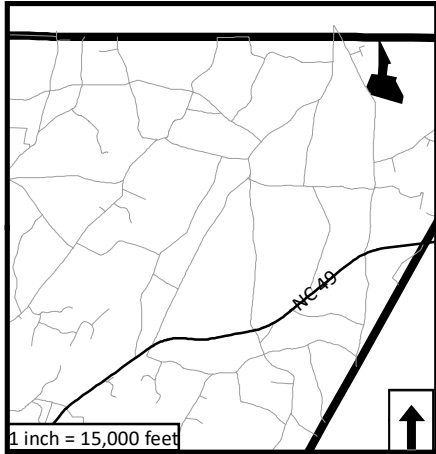


Eastern Planning Area Aerial Map



Applicant: Vulcan Lands Inc.
Owner: Vulcan Lands Inc.
Case: RZON2021-00001
Address: 5300 Gold Hill Rd E
Purpose: Rezone from OI to GI-CU
PINs: 6603-26-0969

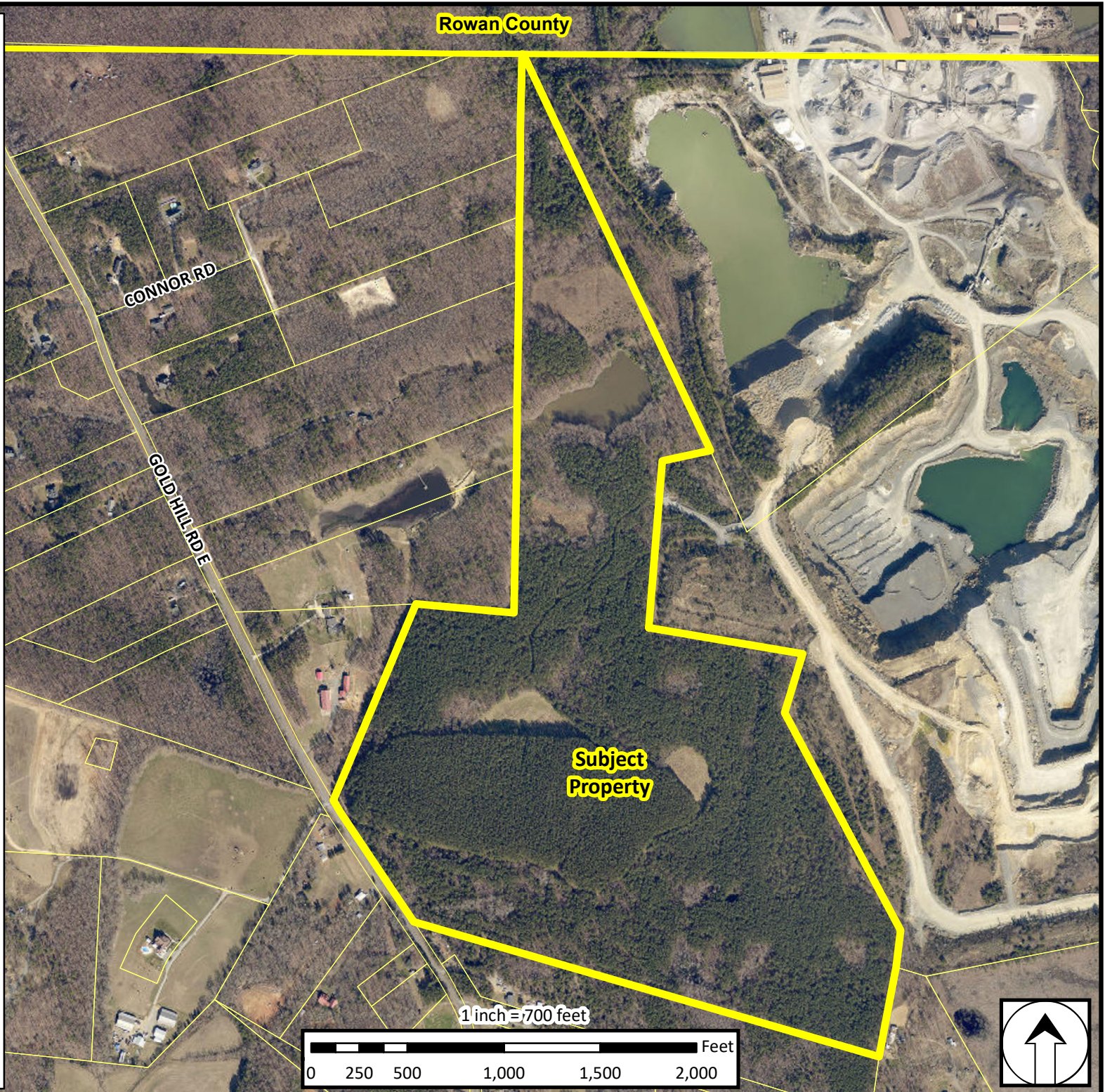
- Cabarrus County
- Municipal District
- Tax Parcels



Cabarrus County shall not be held liable for any errors in this data. This includes errors of omission, commission, errors concerning the content of the data, and relative and positional accuracy of the data. These data cannot be construed to be a legal document. Primary sources from which these data were compiled must be consulted for verification of information contained within the data.

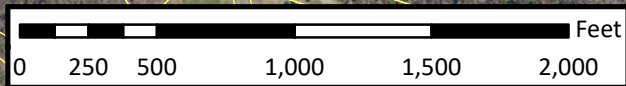
Map Prepared by Cabarrus County Planning & Development - January 2021

Rowan County



**Subject
Property**

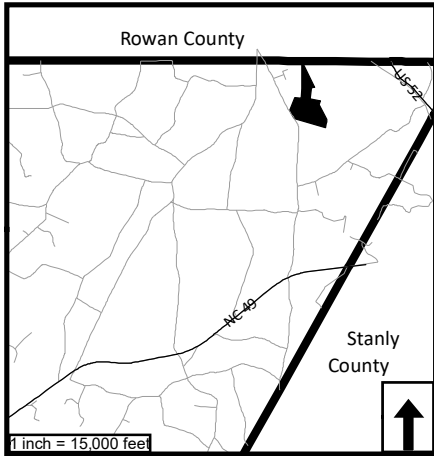
1 inch = 700 feet



Eastern Planning Area Future Land Use

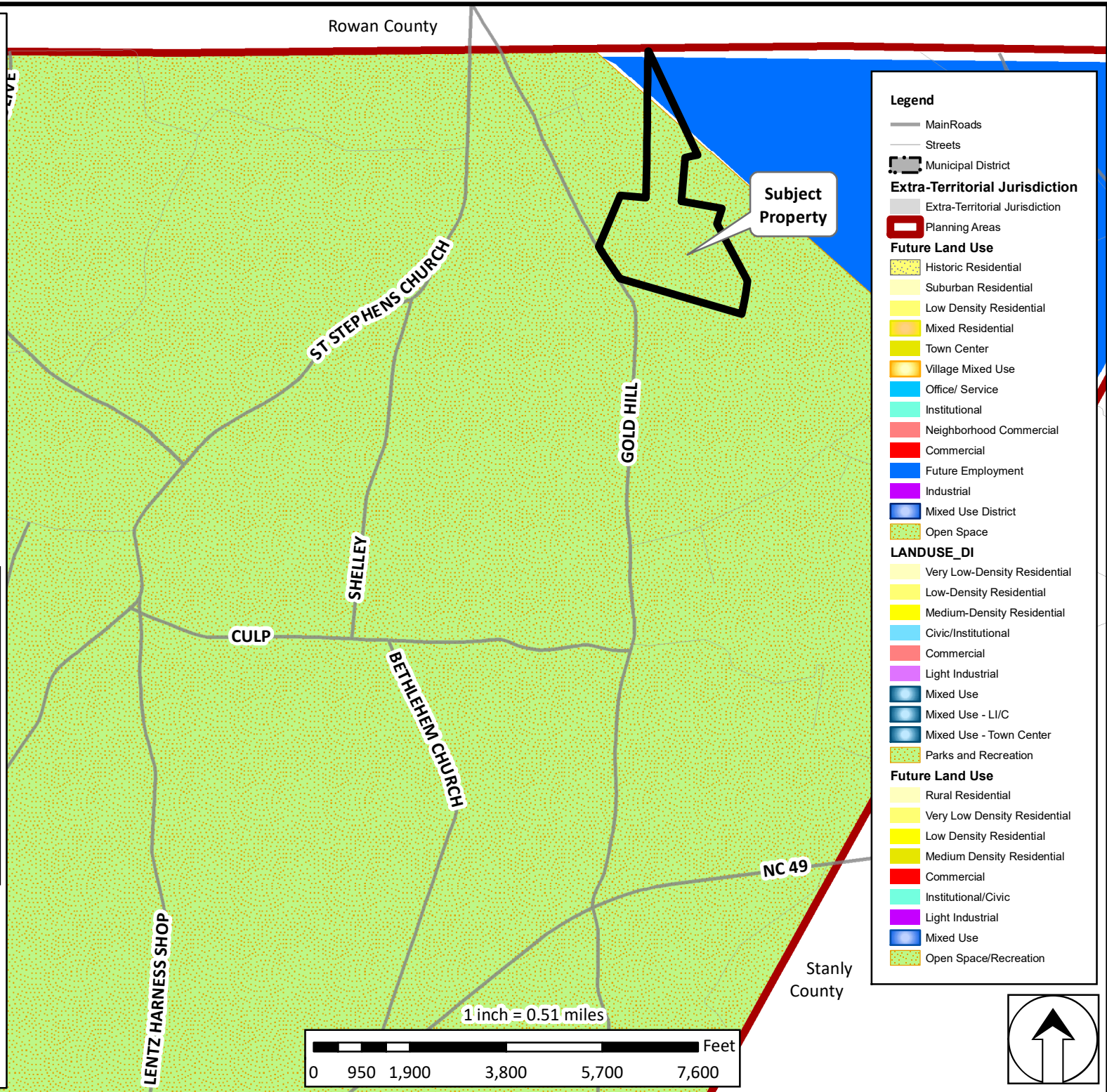


Applicant: Vulcan Lands Inc.
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Map Prepared by Cabarrus County Planning & Development - January 2021



Legend

- Main Roads
- Streets
- Municipal District
- Extra-Territorial Jurisdiction
- Planning Areas

Future Land Use

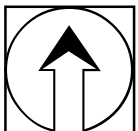
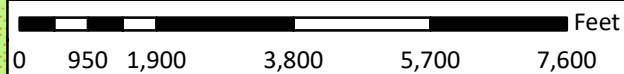
- Historic Residential
- Suburban Residential
- Low Density Residential
- Mixed Residential
- Town Center
- Village Mixed Use
- Office/ Service
- Institutional
- Neighborhood Commercial
- Commercial
- Future Employment
- Industrial
- Mixed Use District
- Open Space

LANDUSE_DI

- Very Low-Density Residential
- Low-Density Residential
- Medium-Density Residential
- Civic/Institutional
- Commercial
- Light Industrial
- Mixed Use
- Mixed Use - LI/C
- Mixed Use - Town Center
- Parks and Recreation

Future Land Use

- Rural Residential
- Very Low Density Residential
- Low Density Residential
- Medium Density Residential
- Commercial
- Institutional/Civic
- Light Industrial
- Mixed Use
- Open Space/Recreation



SUPPLEMENTAL INFORMATION – VULCAN MATERIALS COMPANY
APPLICATION FOR CONDITIONAL USE REZONING
EXTRACTION OF EARTH PRODUCTS

In accordance with Chapter 8 of the Cabarrus County Zoning Ordinance, Vulcan Materials Company (“Vulcan”) offers the following supplemental information in support of its Application for a conditional use rezoning for use of that 138.8 Acre site identified as Cabarrus County PIN#6603- 26-2969 in its application dated December 18, 2020 to store processed material and by-products from the extraction of earth products (the “Site”).

OPERATIONS PLAN

I. Date Operations Begin and their Expected Duration:

The Site will be used to store processed materials or by-products (collectively known as "overburden") of the excavation processes taking place on contiguous sites. The Site will also be used for Forestry operations. Excavation on adjacent properties is already in process and already producing overburden. The Site to be used to store processed materials and by-products will be used immediately for that purpose as excavation takes place on lands adjacent to it.

II. Proposed hours and days of operations.

The existing extractive use operation located contiguous to the Site may operate 24 hours 7 days a week without restrictions. Vulcan proposes to limit operations on the Site to between the hours of 6:00 a.m. to 8:00 p.m. Monday through Saturday and 7:00 a.m. to 6:00 p.m. on Sunday with the exception if we are required to supply materials needed for NCDOT construction or maintenance work that specifies alternative delivery times because of traffic control or other factors. In this case, Vulcan will utilize the Site to store the processed material and by-products from the extraction processes during the same hours.

III. Estimated type and volume of extraction.

No extraction activities are proposed for this Site.

IV. Description of method of operation, including the disposition of topsoil, overburden and any by-products.

By its very nature, mining (extraction) takes place in a natural progression with the initial installation of erosion/sediment control structures as specified in our state mining permit followed by the removal and stockpiling of the soil and soft rock (collectively known as "overburden") overlying the hard rock deposit. Once exposed, the rock is excavated in a series of lifts or benches. In broad terms, the depth of the excavation is limited by the aerial extent of the property contained in the mining permit boundary.

Permanent storage of processed materials or by-products of the crushing process is currently proposed for this Site. Storage of spoil piles and other accumulations of by-products shall not be created to a height of more than forty (40) feet above the original contour and shall be so graded that the vertical slope shall not exceed the material's natural angle of repose.

V. Description of equipment to be used in the excavation process.

No excavation activities are proposed for this Site.

Basic earth moving equipment consisting of off road haul trucks, bulldozers, and pans will be used to transport the overburden to the Site. Logging trucks will be used for removal of trees and other debris in connection with Forestry operations that are also proposed for a portion of Site.

VI. Any phasing of the operations and the relationship among the various phases.

The Site will be used to store overburden from the excavation processes on adjacent properties. Use of the Site for storage of overburden will be phased as shown on the Site Plan. Vulcan anticipates initial operations will move across this parcel being used for overburden over time based upon the market demands for construction aggregate products in the region.

SUPPLEMENTAL INFORMATION – VULCAN MATERIALS COMPANY
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EXTRACTION OF EARTH PRODUCTS

In accordance with Chapter 8 of the Cabarrus County Zoning Ordinance, Vulcan Materials Company (Vulcan) offers the following supplemental information in support of its Application for a conditional use rezoning for use of that 138.8 Acre site identified as Cabarrus County PIN#6603- 26-2969 in its application dated December 18, 2020 to store processed material and by-products from the extraction of earth products (the “Site”).

REHABILITATION/RECLAMATION PLAN

Statement of planned rehabilitation of the excavated land including detailed methods of accomplishment and planned future use of the rehabilitated land.

See Reclamation Plan on Rezoning Site Plan for details. Please also see approved Mining Permit modified September 30, 2020 to include the Site (as modified, the “Mining Permit”). The Mining Permit includes the Approved Reclamation Plan for the Gold Hill Quarry.

Reclamation at Gold Hill Quarry is an ongoing process. Through on-site inspections, Vulcan Materials Company monitors, on a periodic basis, the Site for areas that may need maintenance or construction of additional erosion and other control measures. The areas of the Site identified to be used for overburden storage, will be sloped for drainage, contoured, graded and vegetated pursuant to the approved seed mix. All fill slopes are to be constructed with 2:1 slopes or flatter. The slopes are to be seeded with approved seed mix and stabilized. The Revegetation Plan is set forth within the Mining Permit, pages 13-14.

A map showing the final topography, after rehabilitation, to the same scale as the Site plan. It shall also depict any water areas and methods of preventing stagnation and pollution, landscaping and ground cover proposed to be installed and the amount and type of any backfill, if any, to be employed.

See Site Plan.

A phasing and timing plan, related to the phasing and timing portion of the Operations Plan, showing the progression of the rehabilitation and the date to be completed.

Please see Phases 1-4 as identified on the Site Plan. The Site should provide storage space for the operation of the Gold Hill Quarry in excess of 50 years. Reclamation of the parcel will be conducted contemporaneously with mining at the adjacent properties to the extent feasible and will be completed once the parcel is no longer used for overburden.

The method of disposing of all equipment, structures, dikes and spoil piles associated with the operations.

All equipment and structures, if any, will be removed from the Site and all spoil piles will be

covered with topsoil, seeded, and a permanent ground cover established. Proposed reclamation plan once excavation and operations are terminated is to restore the land to vegetation pursuant to the Revegetation Plan.

A written legal description or survey of the Site, prepared by a North Carolina registered land surveyor or engineer is included with the Site Plan.

A copy of the legal description is included on the site plan.

The name, address and signature of land owners and applicants. *Provided in the application form.*

[SIGNATURES ON THE FOLLOWING PAGE]

APPLICANT:

VULCAN MATERIALS COMPANY
4401 North Patterson Avenue
Winston Salem NC 27105

BY: _____
ITS: _____

PROPERTY OWNER:

VULCAN LANDS, INC.
1200 Urban Center Drive
FAS 1401-843
Birmingham, AL 35242

BY: _____
ITS: _____

Increase PENALTY RIDER

BOND AMOUNT \$500,000.00

BOND NO. 09010657

To be attached and form a part of Bond No. 09010657 dated the 28th day of July, 2010, executed by Fidelity and Deposit Company of Maryland as surety, on behalf of Vulcan Construction Materials, LLC as current principal of record, and in favor of State of North Carolina, Department of Environmental and Natural Resources, as Obligee, and in the amount of Five Hundred Thousand Dollars and 00/100 (\$500,000.00).

In consideration of the agreed premium charged for this bond, it is understood and agreed that Fidelity and Deposit Company of Maryland hereby consents that effective from the 22nd day of January, 2018, said bond shall be amended as follows:

THE BOND PENALTY SHALL BE Increased:

FROM: Five Hundred Thousand Dollars and 00/100 (\$500,000.00)

TO: One Million Dollars and 00/100 (\$1,000,000.00)

The Increase of said bond penalty shall be effective as of the 22nd day of January, 2018, and does hereby agree that the continuity of protection under said bond subject to changes in penalty shall not be impaired hereby, provided that the aggregate liability of the above mentioned bond shall not exceed the amount of liability assumed by it at the time the act and/or acts of default were committed and in no event shall such liability be cumulative.

Signed, sealed and dated this 22nd day of January, 2018.

BY: James R. Averitt Vulcan Construction Materials, LLC
James R. Averitt, Assistant Secretary PRINCIPAL

BY: Annette Wisong Fidelity and Deposit Company of Maryland
 Annette Wisong, ATTORNEY-IN-FACT SURETY

THE ABOVE BOND IS HEREBY AGREED TO AND ACCEPTED BY:

State of North Carolina, Department of Environmental and Natural Resources
OBLIGEE

BY: _____
TITLE

**ZURICH AMERICAN INSURANCE COMPANY
COLONIAL AMERICAN CASUALTY AND SURETY COMPANY
FIDELITY AND DEPOSIT COMPANY OF MARYLAND
POWER OF ATTORNEY**

KNOW ALL MEN BY THESE PRESENTS: That the ZURICH AMERICAN INSURANCE COMPANY, a corporation of the State of New York, the COLONIAL AMERICAN CASUALTY AND SURETY COMPANY, a corporation of the State of Maryland, and the FIDELITY AND DEPOSIT COMPANY OF MARYLAND a corporation of the State of Maryland (herein collectively called the "Companies"), by **DAVID MCVICKER, Vice President**, in pursuance of authority granted by Article V, Section 8, of the By-Laws of said Companies, which are set forth on the reverse side hereof and are hereby certified to be in full force and effect on the date hereof, do hereby nominate, constitute, and appoint **Joseph W. HAMILTON, III, Joseph R. WILLIAMS, Tina KENNEDY, Steven L. SWORDS, Annette WISONG, Rebecca E. HOWARD, Chaun M. WILSON, Sarah HANCOCK and Desiree PAYNE, all of Atlanta, Georgia, EACH** its true and lawful agent and Attorney-in-Fact, to make, execute, seal and deliver, for, and on its behalf as surety, and as its act and deed: **any and all bonds and undertakings**, and the execution of such bonds or undertakings in pursuance of these presents, shall be as binding upon said Companies, as fully and amply, to all intents and purposes, as if they had been duly executed and acknowledged by the regularly elected officers of the ZURICH AMERICAN INSURANCE COMPANY at its office in New York, New York., the regularly elected officers of the COLONIAL AMERICAN CASUALTY AND SURETY COMPANY at its office in Owings Mills, Maryland., and the regularly elected officers of the FIDELITY AND DEPOSIT COMPANY OF MARYLAND at its office in Owings Mills, Maryland., in their own proper persons.


The said Vice President does hereby certify that the extract set forth on the reverse side hereof is a true copy of Article V, Section 8, of the By-Laws of said Companies, and is now in force.

IN WITNESS WHEREOF, the said Vice-President has hereunto subscribed his/her names and affixed the Corporate Seals of the said **ZURICH AMERICAN INSURANCE COMPANY, COLONIAL AMERICAN CASUALTY AND SURETY COMPANY, and FIDELITY AND DEPOSIT COMPANY OF MARYLAND**, this 29th day of September, A.D. 2017.

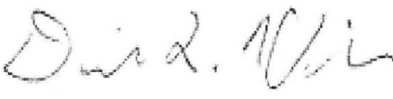
ATTEST:

**ZURICH AMERICAN INSURANCE COMPANY
COLONIAL AMERICAN CASUALTY AND SURETY COMPANY
FIDELITY AND DEPOSIT COMPANY OF MARYLAND**



By: 

*Assistant Secretary
Joshua Lecker*



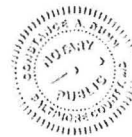
*Vice President
David McVicker*

State of Maryland
County of Baltimore

On this 29th day of September, A.D. 2017, before the subscriber, a Notary Public of the State of Maryland, duly commissioned and qualified, **DAVID MCVICKER, Vice President, and JOSHUA LECKER, Assistant Secretary**, of the Companies, to me personally known to be the individuals and officers described in and who executed the preceding instrument, and acknowledged the execution of same, and being by me duly sworn, depose and saith, that he/she is the said officer of the Company aforesaid, and that the seals affixed to the preceding instrument are the Corporate Seals of said Companies, and that the said Corporate Seals and the signature as such officer were duly affixed and subscribed to the said instrument by the authority and direction of the said Corporations.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my Official Seal the day and year first above written.





Constance A. Dunn, Notary Public
My Commission Expires: July 9, 2019

EXTRACT FROM BY-LAWS OF THE COMPANIES

"Article V, Section 8, Attorneys-in-Fact. The Chief Executive Officer, the President, or any Executive Vice President or Vice President may, by written instrument under the attested corporate seal, appoint attorneys-in-fact with authority to execute bonds, policies, recognizances, stipulations, undertakings, or other like instruments on behalf of the Company, and may authorize any officer or any such attorney-in-fact to affix the corporate seal thereto; and may with or without cause modify or revoke any such appointment or authority at any time."

CERTIFICATE

I, the undersigned, Vice President of the ZURICH AMERICAN INSURANCE COMPANY, the COLONIAL AMERICAN CASUALTY AND SURETY COMPANY, and the FIDELITY AND DEPOSIT COMPANY OF MARYLAND, do hereby certify that the foregoing Power of Attorney is still in full force and effect on the date of this certificate; and I do further certify that Article V, Section 8, of the By-Laws of the Companies is still in force.

This Power of Attorney and Certificate may be signed by facsimile under and by authority of the following resolution of the Board of Directors of the ZURICH AMERICAN INSURANCE COMPANY at a meeting duly called and held on the 15th day of December 1998.

RESOLVED: "That the signature of the President or a Vice President and the attesting signature of a Secretary or an Assistant Secretary and the Seal of the Company may be affixed by facsimile on any Power of Attorney...Any such Power or any certificate thereof bearing such facsimile signature and seal shall be valid and binding on the Company."

This Power of Attorney and Certificate may be signed by facsimile under and by authority of the following resolution of the Board of Directors of the COLONIAL AMERICAN CASUALTY AND SURETY COMPANY at a meeting duly called and held on the 5th day of May, 1994, and the following resolution of the Board of Directors of the FIDELITY AND DEPOSIT COMPANY OF MARYLAND at a meeting duly called and held on the 10th day of May, 1990.

RESOLVED: "That the facsimile or mechanically reproduced seal of the company and facsimile or mechanically reproduced signature of any Vice-President, Secretary, or Assistant Secretary of the Company, whether made heretofore or hereafter, wherever appearing upon a certified copy of any power of attorney issued by the Company, shall be valid and binding upon the Company with the same force and effect as though manually affixed.

IN TESTIMONY WHEREOF, I have hereunto subscribed my name and affixed the corporate seals of the said Companies, this 22 day of January, 2018.



Michael Bond, Vice President

TO REPORT A CLAIM WITH REGARD TO A SURETY BOND, PLEASE SUBMIT ALL REQUIRED INFORMATION TO:

Zurich American Insurance Co.
Attn: Surety Claims
1299 Zurich Way
Schaumburg, IL 60196-1056

ROY COOPER
Governor

MICHAEL S. REGAN
Secretary

BRIAN WRENN
Director



NORTH CAROLINA
Environmental Quality

September 30, 2020

Mr. Tony Johnson
Vulcan Construction Materials, LP
4401 N. Patterson Avenue
Winston-Salem, North Carolina 27105

RE: Permit No. 13-04
Gold Hill Quarry
Cabarrus County
Yadkin River Basin

Dear Mr. Johnson:

Your recent request to have the above referenced mining permit modified has been approved. The modification is to increase the permitted acreage to 553.8 acres and the affected acreage at this site to 478.5 acres as indicated on the Mine Modification Map dated July 10, 2020. The modification includes the addition of a 138.8-acre tract of land to the western side of the quarry and an approval to construct a material storage area. The modification also includes the addition of 100 foot undisturbed buffers on the eastern and southern side of the property to replace screening berms that were originally approved for the project. A copy of the modified permit is enclosed.

The conditions in the modified permit were based primarily upon the initial application. Modifications were made as indicated by the modification request and as required to ensure compliance with The Mining Act of 1971. The mine name and permit number shall remain the same as before the modification. I would like to draw your particular attention to the following conditions where minor additions or changes were made: Operating Condition Nos. 3C, 4B, 5A, 10B, 13, and 14.

G.S. 74-65 states that the issuance of a mining permit and/or any modification to it does not supersede local zoning regulations. The responsibility of compliance with any applicable zoning regulations lies with you.

As a reminder, your permitted acreage at this site is 553.8 acres and the amount of land you are approved to disturb is 478.5 acres.



Mr. Johnson
Page 2

Please review the modified permit and contact Adam Parr, Assistant State Mining Engineer, at (919) 707-9220 should you have any questions concerning this matter.

Sincerely,

A handwritten signature in black ink, appearing to read "David Miller".

David Miller, PE
State Mining Engineer

DM/ap

Enclosures

cc: Mr. Zahid Kahn, PE
Mr. William Gerringer-Mine and Quarry Bureau, w/o enclosures

**DEPARTMENT OF ENVIRONMENT
AND NATURAL RESOURCES**

DIVISION OF LAND RESOURCES

LAND QUALITY SECTION

P E R M I T

for the operation of a mining activity

In accordance with the provisions of G.S. 74-46 through 68, "The Mining Act of 1971," Mining Permit Rule 15A NCAC 5 B, and other applicable laws, rules, and regulations

Permission is hereby granted to:

Vulcan Construction Materials LLC.

Gold Hill Quarry

Cabarrus County - Permit No. 13-04

for the operation of a

Crushed Stone Quarry

which shall provide that the usefulness, productivity and scenic values of all lands and waters affected by this mining operation will receive the greatest practical degree of protection and restoration.

In accordance with the application for this mining permit, which is hereby approved by the Department of Environment and Natural Resources hereinafter referred to as the Department, and in conformity with the approved Reclamation Plan attached to and incorporated as part of this permit, provisions must be made for the protection of the surrounding environment and for reclamation of the land and water affected by the permitted mining operation. This permit is expressly conditioned upon compliance with all the requirements of the approved Reclamation Plan. However, completed performance of the approved Reclamation Plan is a separable obligation, secured by the bond or other security on file with the Department, and may survive the expiration, revocation, or suspension of this permit.

This permit is not transferable by the permittee with the following exception: If another operator succeeds to the interest of the permittee in the permitted mining operation, by virtue of a sale, lease, assignment or otherwise, the Department may release the permittee from the duties imposed upon him by the conditions of his permit and by the Mining Act with reference to the permitted operation, and transfer the permit to the successor operator, provided that both operators have complied with the requirements of the Mining Act and that the successor operator agrees to assume the duties of the permittee with reference to reclamation of the affected land and posts a suitable bond or other security.

In the event that the Department determines that the permittee or permittee's successor is not complying with the Reclamation Plan or other terms and conditions of this permit, or is failing to achieve the purposes and requirements of the Mining Act, the Department may give the operator written notice of its intent to modify, revoke or suspend the permit, or its intent to modify the Reclamation Plan as incorporated in the permit. The operator shall have right to a hearing at a designated time and place on any proposed modification, revocation, or suspension by the Department. Alternatively, and in addition to the above, the Department may institute other enforcement procedures authorized by law.

Definitions

Wherever used or referred to in this permit, unless the context clearly indicates otherwise, terms shall have the same meaning as supplied by the Mining Act, GS 74-49.

Modifications

January 31, 1989: This permit has been modified to allow the relocation of the existing stream south of the existing quarry excavation as per the revised Erosion Sediment Control and Drainage Plan dated January 10, 1989 provided that this plan complies with the rules and regulations promulgated by the US Army Corps of Engineers.

August 4, 1993: This permit has been modified to allow land application of contaminated soils as indicated on the Mine Map dated May 18, 1992 and revised May 26, 1993 and on the Erosion Control Detail Sheet dated May 18, 1992 and revised May 26, 1993. This activity shall be in accordance with all applicable rules and regulations administered by the Environmental Management Commission.

July 2, 1998: This permit has been modified to allow the construction of a 3 acre overburden disposal area, an additional stream crossing, and the addition of associated sediment and erosion control measures as per the modification application dated March 1998 and the revised Site Plan dated May 1998.

January 1, 2000: This permit has been modified to change the corporate name from Vulcan Materials Company to Vulcan Construction Materials, LP.

December 20, 2001: This permit has been modified to allow the southeast pit expansion, removal of the existing overburden disposal berm, and realignment of the perimeter road as indicated on the Mine Map dated August 29, 2001 and last revised October 31, 2001.

April 15, 2004: This permit has been modified to increase the permitted acreage to 425.92 acres and the affected acreage at this site to 400 acres as indicated on the mine maps last revised February 13, 2004. The modification includes the expansion to the south and for other purposes including future reserves to the east, drainage channel relocation to the southern extent of the site, two creek crossing installations and maintenance of the associated sediment and erosion control measures.

August 21, 2012: This permit has been modified to reduce the affected acreage at this site to 391.3 acres as indicated on the 2012 Renewal Mine Map last revised July 18, 2012. This modification includes the relocation of a stream crossing, relocation of a screening berm, removal of a major diversion channel, addition of new sediment control basins and redesign of erosion control measures to the updated standards. In addition, the affected acreage has been reduced based on updated surveys and aerial mapping.

August 22, 2013: This permit has been modified to decrease the affected acreage at this site to 382.8 acres and decrease the permitted acres to 415 acres as indicated on the mine map dated August 22, 2013.

August 18, 2015: This permit has been modified to change the corporate name from Vulcan Construction Materials, LP., to Vulcan Construction Materials, LLC.

December 1, 2017: This permit has been issued for the life of site or the duration of the lease term.

September 30, 2020: This permit has been modified to increase the permitted acreage to 553.8 acres and the affected acreage at this site to 478.5 acres as indicated on the Mine Modification Map dated July 10, 2020. The modification includes the addition of a 138.8-acre tract of land to the eastern side of the quarry and an approval to construct a material storage area. The modification also includes the addition of 100 foot undisturbed buffers on the eastern and southern side of the property to replace screening berms that were originally approved for the project.

This permit is valid for the life of the site or life of lease, if applicable, as defined by Session Law

2017-209 and has no expiration date. However, all provisions of GS 74-51 and GS 74-52 still apply for new, transferred, and modified mining permits.

Conditions

This Permit shall be subject to the provisions of the Mining Act, GS 74-46, et. seq., and to the following conditions and limitations:

OPERATING CONDITIONS:

1. Wastewater and Quarry Dewatering

- A. Any wastewater processing or mine dewatering shall be in accordance with the permitting requirements and rules promulgated by the N.C. Environmental Management Commission.
- B. Any storm water runoff from the affected areas at the site shall be in accordance with any applicable permit requirements and regulations promulgated by the Environmental Protection Agency and enforced by the N.C. Environmental Management Commission. It shall be the permittee's responsibility to contact the Division of Water Quality to secure any necessary storm water permits or other approval documents.

2. Air Quality and Dust Control

- A. Any mining related process producing air contaminant emissions including fugitive dust shall be subject to the requirements and rules promulgated by the N.C. Environmental Management Commission and enforced by the Division of Air Quality.
- B. The permanent access (plant entrance) road shall be paved a minimum of 200 linear feet. During processing operation, water trucks or other means that may be necessary shall be utilized to prevent dust from leaving the permitted area.

3. Buffer Zones

- A. Any mining activity affecting waters of the State, waters of the U. S., or wetlands shall be in accordance with the requirements and regulations promulgated and enforced by the N. C. Environmental Management Commission.
- B. Sufficient buffer shall be maintained between any affected land and any adjoining waterway or wetland to prevent sedimentation of that waterway or wetland from erosion of the affected land and to preserve the integrity of the natural watercourse or wetland.

- C. All buffer zones shown on the 2020 Modification Mine Map last revised July 10, 2020 shall be maintained to protect adjoining property. These buffer zones, with the exception of the installation of required sediment control measures and approved earthen berms, shall remain undisturbed.
- D. The 100-foot-wide stream crossing shall not be installed until the proper approvals/permits have been obtained from the Division of Water Quality and any other applicable agencies.

4. Erosion and Sediment Control

- A. Adequate mechanical barriers including, but not limited to diversions, earthen dikes, check dams, sediment retarding structures, rip rap pits, or ditches shall be provided in the initial stages of any land disturbance and maintained to prevent sediment from discharging onto adjacent surface areas or into any lake, wetland or natural watercourse in proximity to the affected land.
- B. All mining activities, including the installation and maintenance of all erosion and sedimentation control measures, shall be conducted as indicated on the 2020 Modification Mine Map last revised July 10, 2020. Mining activities shall also be conducted to follow the 2012 supplemental information received by the Land Quality Section on April 17, 2012 and July 20, 2012 with the stipulation that the 100-foot-wide stream crossing shall not be installed until the proper approvals/permit have been obtained from the Division of Water Quality and any other applicable agencies.
- C. An erosion and sediment control plan(s) shall be submitted to the Department for approval prior to any land disturbing activities not indicated on the revised erosion control plan or mine maps submitted with the approved application for a mining permit and any approved revisions to it. Such areas include, but are not limited to, expansion outside of the approved pit area, creek crossings, or expansion of overburden or waste disposal areas.

5. Groundwater Protection

- A. The observation wells denoted on the 2020 Modification Mine Map last revised July 10, 2020 shall be monitored at least 30 days prior to initiating any excavations of consolidated material (rock) in the initial pit area to allow for the determination of pre-existing (static) groundwater levels.
- B. The observation wells shall be drilled wells cased into consolidated rock and grouted to the surface. The wells (boreholes) shall be extended at least 50 feet below static water level, or at least 50 feet into unweathered rock, whichever is deeper. The wells shall be secured against unauthorized entry with a lockable cap. The necessary permits or approvals to construct these wells shall be obtained from the N.C. Division of Water Quality.

- C. The observation wells shall be monitored quarterly at the same day and approximate time of day. The static water levels shall be measured with an accuracy of plus or minus 0.1 foot and shall be referenced to a datum point and a record of the water levels maintained. The quarterly precipitation and the volume of pit water discharge shall also be recorded. Copies of these records shall be provided to the Department on or about the end of each quarter. Static water level monitoring frequency may be increased or decreased as deemed appropriate by the Department.

6. Graded Slopes and Fills

- A. The angle for graded slopes and fills shall be no greater than the angle which can be retained by vegetative cover or other adequate erosion control measure, structure, or device. In any event, exposed slopes or any excavated channels, the erosion of which may cause off-site damage because of siltation, shall be planted, or otherwise provided with groundcover, devices, or structures sufficient to restrain such erosion.
- B. Overburden cut slopes along the quarry opening shall be graded to a minimum 2 horizontal to 1 vertical or flatter and shall be stabilized within 60 days of completion. Furthermore, a minimum ten (10) foot wide horizontal safety bench shall be provided at the top of the rock and at the toe of any overburden slope.

7. Surface Drainage

The affected land shall be graded so as to prevent collection of pools of water that are, or likely to become, noxious or foul. Necessary structures such as drainage ditches or conduits shall be constructed or installed when required to prevent such conditions.

8. Blasting

The operator shall monitor each blast with a seismograph located at a distance no farther than the closest off site regularly occupied structure not owned or leased by the operator. A seismographic record including peak particle velocity, air overpressure, and vibration frequency levels shall be kept for each blast (except as provided under Operating Condition Nos. 8B and 8D of this permit). The following blasting conditions shall be observed by the mine operator to prevent hazard to persons and adjacent property from surface blasting:

A. Ground Vibration with Monitoring:

In all blasting operations, the maximum peak particle velocity of any component of ground motion shall not exceed Figure 1 (below) at the immediate location of any regularly occupied building outside of the permitted area such as a dwelling house, church, school, or public, commercial or institutional building.

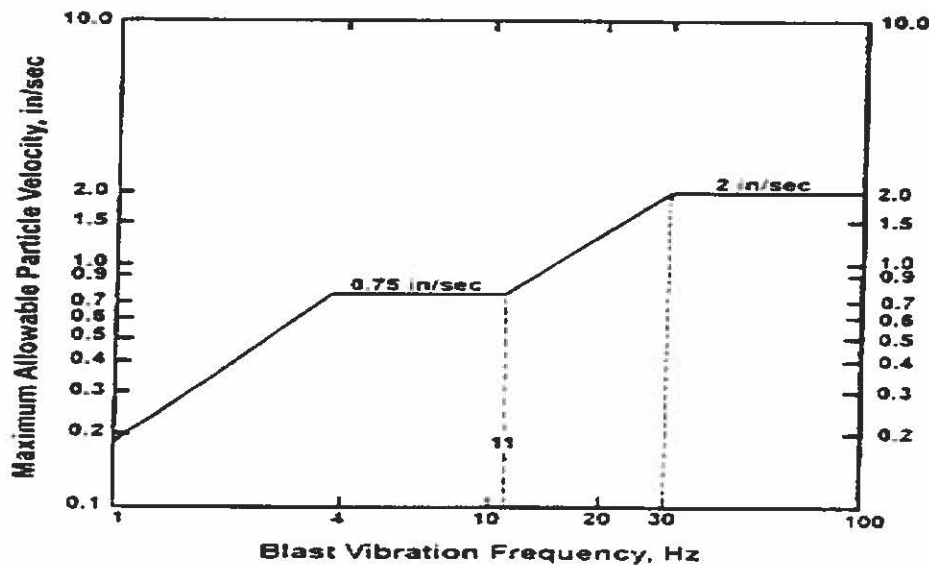


Figure 1 Alternative blasting level criteria
(Source modified from figure B-1, Bureau of Mines R18507)

B. Ground Vibration without Monitoring:

In the event of seismograph malfunction or other condition which prevents monitoring, blasting shall be conducted in accordance with the following formulas:

$$W = (D/D_s)^2 \quad D_s = \frac{D}{W^{1/2}}$$

$$V = 160(D_s)^{-1.6}$$

W = Maximum charge weight of explosives per delay period of 8.0 milliseconds or more (pounds).

D = Distance from the blast site to the nearest inhabited building not owned or leased by the mine operator (feet).

D_s = Scaled distance factor.

V = Peak Particle Velocity (inches per second).

The peak particle velocity of any component shall not exceed 1.0 inch per second, for the purposes of this Section.

C. Air Blast with Monitoring:

Air blast overpressure resulting from surface blasting shall not exceed 129 decibels linear (dBL) as measured at the immediate location of any regularly

occupied building not owned or leased by the operator outside of the permitted area such as a dwelling house, church, school, or public, commercial or institutional building, unless an alternate level based on the sensitivity of the seismograph microphone as specified below is being used:

<u>Lower Frequency Limit of Measuring System, in Hz</u>	<u>Max Level, in dBL</u>
0.1 Hz or lower-flat response	134 peak
2.0 Hz or lower-flat response	133 peak
6.0 Hz or lower-flat response	129 peak

D. Air Blast without Monitoring:

In the event of seismograph malfunction or other condition which prevents monitoring, blasting shall be conducted in accordance with the following formulas:

$$U = 82 (DW^{0.33})^{-1.2}$$

To convert U (psi) to P (dBL):

$$P = 20 \times \log (U/2.9 \times 10^{-9})$$

Confined Air blast/Overpressure (dBL)
for quarry situation:

$$A = P - 35$$

U = Unconfined air overpressure (pounds per square inch).

W = Maximum charge weight of explosives per delay period of 8.0 milliseconds or more (pounds).

D = Distance from the blast site to the nearest inhabited building not owned or leased by the mine operator (feet).

P = Unconfined air overpressure (decibels).

A = Air blast or air overpressure for typical quarry situations (decibels).

The air blast/overpressure shall not exceed 129 decibels, for the purposes of this Section.

E. Record Keeping:

The operator shall maintain records on each individual blast describing: the total number of holes; pattern of holes and delay of intervals; depth and size of holes; type and total pounds of explosives; maximum pounds per delay interval; amount of stemming and burden for each hole; blast location; distance from blast to

closest offsite regularly occupied structure; and weather conditions at the time of the blast. Records shall be maintained at the permittee's mine office and copies shall be provided to the Department upon request.

F. Excessive Ground Vibration/Air Blast Reporting:

If ground vibration or Air blast limits are exceeded, the operator will immediately report the event with causes and corrective actions to the Department. Use of explosives at the blast site that produced the excessive reading shall cease until corrective actions approved by the Department are taken. However, blasting may occur in other approved areas within the permitted boundary. Authorization to blast at the blast site may be granted at the time of the verbal reporting of the high ground vibration or high air blast reading if the circumstances justify verbal approval. Failure to report will constitute a permit violation.

G. Flyrock Prevention:

The operator shall take all reasonable precautions to ensure that flyrock is not thrown beyond areas where the access is temporarily or permanently guarded by the operator. Failure to take corrective measures to prevent flyrock and repeated instances of flyrock shall be considered a violation of the Mining Permit.

H. Flyrock Reporting:

Should flyrock occur beyond the permitted and guarded areas, the operator shall immediately report the incident to the Department. Further use of explosives on the mine site shall be suspended until the following actions have been taken:

1. A thorough investigation as to the cause(s) of the incident shall be conducted.
2. A report detailing the investigation shall be provided to the Department within 10 days of the incident. The report shall, at a minimum, document the cause(s) of the incident along with technical and management actions that will be taken to prevent further incidents. The report shall meet with the approval of the Department before blasting may resume at the mine site.

I. Studies:

The operator shall provide to the Department a copy of the findings of any seismic studies conducted at the mine site in response to an exceedance of a level allowed by these blasting conditions. The operator shall make every reasonable effort to incorporate the studies' recommendations into the production blasting program.

J. Notice:

The operator shall, when requested by the Department, give 24-hour advance notice to the Land Quality Section Regional Office prior to any blast during a period for which notice is requested.

9. High Wall Barrier

A physical barrier consisting of large boulders placed end-to-end or fencing shall be maintained at all times along the perimeter of any highwall to prevent inadvertent public access. In addition, a minimum 10 foot wide horizontal safety bench shall be provided at the junction between the top of rock and the toe of any overburden cut slope.

10. Visual Screening

A. Existing vegetation shall be maintained between the mine and public thoroughfares to screen the operation from the public. Additional screening methods, such as constructing earthen berms, shall be employed as deemed appropriate by the Department.

B. Vegetated earthen berms shall be located and constructed as shown on the 2020 Modification Mine Map last revised July 10, 2020. In addition to grasses, long leaf and/or Virginia pines or other acceptable evergreen species shall be planted as deemed appropriate by the Department to improve visual and noise buffering.

11. Plan Modification

The operator shall notify the Department in writing of the desire to delete, modify or otherwise change any part of the mining, reclamation, or erosion/sediment control plan contained in the approved application for a mining permit and any approved revisions to it. Approval to implement such changes must be obtained from the Department prior to on-site implementation of the revisions.

12. Refuse Disposal

A. No on-site disposal of refuse or other solid waste that is generated outside of the mining permit area shall be allowed within the boundaries of the mining permit area unless authorization to conduct said disposal has first been obtained from both the Division of Waste Management and the Land Quality Section, Department of Environment and Natural Resources. The method of disposal shall be consistent with the approved reclamation plan.

B. Mining refuse as defined by GS 74-49 (14) of The Mining Act of 1971 generated on-site and directly associated with the mining activity may be disposed of in a designated refuse area. All other waste products must be disposed of in a

disposal facility approved by the Division of Waste Management. No petroleum products, acids, solvents or their storage containers or any other material that may be considered hazardous shall be disposed of within the permitted area.

C. For the purposes of this permit, the Division of Land Resources considers the following materials to be "mining refuse" (in addition to those specifically listed under G.S. 74-49 (14) of the N.C. Mining Act of 1971):

1. on-site generated land clearing debris
2. conveyer belts
3. wire cables
4. v-belts
5. steel reinforced air hoses
6. drill steel

D. If mining refuse is to be permanently disposed within the mining permit boundary, the following information must be provided to and approved by the Division of Land Resources prior to commencement of such disposal:

1. the approximate boundaries and size of the refuse disposal area;
2. a list of refuse items to be disposed;
3. verification that a minimum of 4 feet of cover will be provided over the refuse;
4. verification that the refuse will be disposed at least 4 feet above the seasonally high water table; and
5. verification that a permanent vegetative groundcover will be established.

13. Annual Reclamation Report

An Annual Reclamation Report and Annual Operating Fee of \$400.00 shall be submitted to the Department by September 1 of each year until reclamation is completed and approved for release by the Department.

14. Bonding

The security, which was posted pursuant to GS 74-54 in the form of a \$1,000,000.00 blanket bond, is sufficient to cover the operation as indicated in the approved application. This security must remain in force for this permit to be valid. The total affected land shall not exceed the bonded acreage.

15. Archaeological Resources

Authorized representatives of the Division of Archives and History shall be granted access to the site to determine the presence of significant archaeological resources.

APPROVED RECLAMATION PLAN

The Mining Permit incorporates this Reclamation Plan, the performance of which is a condition on the continuing validity of that Mining Permit. Additionally, the Reclamation Plan is a separable obligation of the permittee, which continues beyond the terms of the Mining Permit.

The approved plan provides:

Minimum Standards as Provided by GS 74-53

1. The final slopes in all excavations in soil, sand, gravel, and other unconsolidated materials shall be at such an angle as to minimize the possibility of slides and be consistent with the future use of the land.
2. Provisions for safety to persons and to adjoining property must be provided in all excavations in rock.
3. All overburden and spoil shall be left in a configuration which is in accordance with accepted conservation practices and which is suitable for the proposed subsequent use of the land.
4. No small pools of water shall be allowed to collect or remain on the mined area that are, or are likely to become noxious, odious, or foul.
5. The revegetation plan shall conform to accepted and recommended agronomic and reforestation practices as established by the North Carolina Agricultural Experiment Station and the North Carolina Forest Service.
6. Permittee shall conduct reclamation activities pursuant to the Reclamation Plan herein incorporated. These activities shall be conducted according to the time schedule included in the plan, which shall to the extent feasible provide reclamation simultaneous with mining operations and in any event, provide reclamation at the earliest practicable time after completion or termination of mining on any segment of the permit area and shall be completed within two years after completion or termination of mining.

RECLAMATION CONDITIONS:

1. Provided further, and subject to the Reclamation Schedule, the planned reclamation shall be to allow the quarry excavation to fill with water, provide a permanent barricade (fence) along the top of any high wall, and grade and revegetate any areas in unconsolidated material.
2. The specifications for surface gradient restoration to a surface suitable for the planned future use are as follows:

- A. All areas of unconsolidated material such as overburden or waste piles shall be graded to a 2 horizontal to 1 vertical or flatter slope and terraced as necessary to insure slope stability.
- B. Any settling ponds and sediment control basins shall be backfilled, graded, and stabilized or cleaned out and made into acceptable lake areas.
- C. The processing, stockpile, and other disturbed areas neighboring the mine excavation shall be leveled and smoothed.
- D. Compacted surfaces shall be disked, subsoiled, or otherwise prepared before revegetation.
- E. No contaminants shall be permanently disposed of at the mine site. On-site disposal of waste shall be in accordance with Operating Conditions Nos. 12.A. through D.
- F. The affected land shall be graded to prevent the collection of noxious or foul water.

3. Revegetation Plan:

Disturbed areas shall be permanently revegetated according to the Revegetation Plan prepared by Mr. Robert J. Grill, Landscape Architect, on March 4, 2002 or the following:

Permanent Seeding Specifications

<u>Dates</u>	<u>Species</u>	<u>Rate, Lbs./Acre</u>
February 15- April 1	Korean Lespedeza	10
	Fescue	40
	Redtop	1
	Winter rye (grain)	15
April 1- July 31	Common Bermuda	50
August 1- October 25	Lespedeza (unscarified)	30
	German millet	40
October 25- February 15	Rye (grain- temporary)	120

Soil Amendments

Lime: 2000 lbs./acre or follow recommendations from a soil test.

Fertilizer: 1000 lbs./acre 8-8-8 or 10-10-10 or follow recommendations from a soil test.

Mulch: All seeded areas shall be mulched using small grain straw at a rate of 2000 lbs./acre and anchored appropriately.

Whenever possible, disturbed areas should be vegetated with native warm season grasses such as switch grass, Indian grass, bluestem, and gamma grass.

In addition, the permittee shall consult with a professional wildlife biologist with the N.C. Wildlife Resources Commission to enhance post-project wildlife habitat at the site.

4. Reclamation Plan:

Reclamation shall be conducted simultaneously with mining to the extent feasible. In any event, reclamation shall be initiated as soon as feasible after completion or termination of mining of any mine segment under permit. Final reclamation, including revegetation, shall be completed within two years of completion or termination of mining.

This permit, issued August 31, 1972 to Young Stone Company, Inc., renewed September 1, 1982, transferred September 1, 1966 to Vulcan Construction Company, Modified January 31, 1989, renewed October 30, 1992, modified August 4, 1993, July 2, 1998, January 1, 2999, December 20, 2001, renewed May 1, 2001 and modified April 18, 2004, simultaneously renewed and modified August 21, 2012, modified August 18, 2015 and December 1, 2017, is hereby modified this 30th day of September, 2020 pursuant to GS 74-52.

By: 

Brian Wrenn, Director
Division of Energy, Mineral, and Land Resources
By Authority of the Secretary
Of the Department of Environmental Quality

STATE OF NORTH CAROLINA
DEPARTMENT OF ENVIRONMENTAL QUALITY
DIVISION OF ENERGY, MINERAL AND LAND RESOURCES

GENERAL PERMIT NO. NCG020000
CERTIFICATE OF COVERAGE No. NCG020108

STORMWATER AND WASTEWATER DISCHARGES
NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM

In compliance with the provision of North Carolina General Statute 143-215.1, other lawful standards and regulations promulgated and adopted by the North Carolina Environmental Management Commission, and the Federal Water Pollution Control Act, as amended,

Vulcan Construction Materials LP

is hereby authorized to discharge stormwater and/or wastewater, as provided in the original Certificate of Coverage (COC), or subsequent COC modification, from a facility located at:

Vulcan Construction Materials-Gold Hill
16745 Old Beatty Ford Rd
Gold Hill
Cabarrus County

to receiving waters designated as Long Creek, class C water(s) in the Yadkin River Basin(s) in accordance with the stormwater pollution management requirements, monitoring and reporting requirements, and other conditions set forth in Parts I, II, III, IV, V, and VI of General Permit No. NCG020000 as attached.

This Certificate of Coverage shall become effective October 1, 2015.

This Certificate of Coverage shall remain effective for the duration of the General Permit.

Signed this day October 1, 2015.



for Tracy E. Davis, P.E., CPM
Director, Division of Energy, Mineral and Land Resources
By the Authority of the Environmental Management Commission

AMENDED JUSTIFICATION OF ALTERNATIVE METHOD OF COMPLIANCE
WITH LANDSCAPE REQUIREMENTS

Applicant Vulcan Materials Company (“Vulcan”) seeks to rezone 138.38 acres of vacant, wooded property from O/I to GI-CU (the “Site”). Use of approximately 113 acres of the Site will be devoted to storage of overburden from the existing, adjacent mining operations. The remaining 25 acres identified as Area 5 will be left in its natural state, save and except for standards forestry operations and pond maintenance activities. No excavation (pit) is proposed for the Site. The adjacent Gold Hill Quarry has been in operation for over 60 years.

Overburden (consisting of rocks and dirt) will be placed on the Site within the phased areas and over time, graded and seeded to create a series of vegetated plateaus. Unlike most “development”, use of each phased area will likely move slowly, estimated at between 2-5 years per phase. No structures are proposed for the Site; the area to remain vacant and inhabited only by native plantings and wildlife.

The property abutting the Site’s eastern and northeastern boundaries is used for existing Quarry operations. Property to the North of the Site, in Rowan County, is zoned IND (industrial). The Site’s other non-quarry boundaries are against vacant AO zoning.

Chapter 8 Conditional Uses, Section 12 “Extraction of Earth Products” provides a site specific buffer standard for quarry use and specifically requires a Level 2 buffer around the perimeter of the “facility”. We read this to mean that a minimum 75 foot wide buffer consisting of 4 trees or 8 ornamentals plus 20 shrubs per 100 linear feet is required around the perimeter of the Site, except adjacent to existing Quarry.

The Site also has frontage along a small portion of Gold Hill Road E. Chapter 9-8 requires a 10 foot street yard buffer against any public right of ways such as Gold Hill Road E. The standard street yard buffer requires one canopy or two understory trees plus 10 shrubs per 30 linear feet.

As part of this project, Applicant proposes to use existing vegetation to buffer the vegetated plateaus created by the overburden storage. Applicant will literally be buffering a 138 acre buffer.

The non-quarry perimeter of the Site is wooded with ample existing vegetation that will provide visual screening and separation of use against adjacent tracts. Area 5 will serve as 25 acres of additional buffer against existing quarry operations.

Given the proposed use of the Site and its ample existing vegetation, Applicant proposes the following alternative buffers as an alternate method of complying with the required buffers for this Site.

1. The landscape requirements that will be met with the modifications.

Applicant proposes using a 100 foot wide perimeter landscape buffer around the non-quarry perimeter of the Site.

The proposed perimeter buffer will consist of existing vegetation that will provide visual screening and separation between uses.

In areas identified on the Landscape Plan (sheets 15 and 16) of the Site Plan where the existing vegetation does not provide adequate visual screening, Applicant shall supplement as described in the Site Plan prior to commencement of mining activities in the phase in which the identified area is located.

The Site is phased. Prior to commencing any mining related activities in a phase, Applicant will review existing vegetation with County Staff to determine whether any additional plantings are necessary to provide visual screening and separation.

2. The landscape requirements that will not be met with the modifications.

Applicant proposes using 100 foot wide perimeter landscape buffer of existing vegetation around the non-quarry perimeter of the Site.

The proposed buffer may not include the requisite number of shrubs and trees to meet the precise "per linear feet" requirements perimeter and street yard buffer requirements.

3. Which of the conditions set forth above justify consideration of the proposed alternative plan?

a. The density of the existing vegetation along the majority of the Site's boundaries will make it difficult, if not impossible for shrubbery plantings to survive.

b. Compliance with Ordinance shrub quotas will necessitate removal of existing trees and other vegetation just to clear a path for the planting equipment. Additional area will also need to be cleared to install erosion control measures to prevent sediment loss from the access clearing and planting bed construction.

c. Natural vegetation on the Site, if undisturbed during the phased development process, can meet or exceed the required vegetation.

d. Restricted use of Area 5 to remain in its natural state and left undisturbed save forestry operations and pond maintenance.

e. Limited use of Phases 1-4 areas for overburden storage.

f. Buffering vegetated plateaus created by the overburden storage. Plateaus will not exceed 40 feet in height.

Such site conditions make strict compliance with Ordinance requirements impractical if not impossible.

4. How the proposed alternative plan meets or exceeds what is required by the Ordinance and how it meets the intent of the Ordinance Approval of modification.

There are three types of landscape buffers provided for in the Ordinance that collectively provide separation and screening requirements between uses. Recognizing that not every situation can be covered (or anticipated) by these buffers, the Ordinance affords flexibility in buffer design and implementation.

The Site is located on the border of Cabarrus and Rowan County, well outside any City limits. Surrounding the Site are large acreage tracts devoted to industrial, agricultural or vacant uses. Adjacent properties are at least partially wooded, as are the boundaries of the Site. Provision of natural undisturbed meets the intent of the Ordinance by providing denser, faster growing screening, against adjacent uses. As such the alternative buffer yard set forth above meet or exceed the requirements of the Ordinance for visual screening and separation.



Cabarrus County Government – Planning and Development Department

January 19, 2021

Dear Property Owner:

A Zoning Map Amendment Petition has been filed in our office for property **adjacent** to yours. The properties and specifics of the rezoning are listed below. The Cabarrus County Planning and Zoning Board will consider this petition on Tuesday, February 9, 2021 at 7:00 PM in the Cabarrus Room of the Cabarrus Arena & Events Center, located at 4751 NC Highway 49 North, Concord, NC 28025. A Public Hearing will be conducted and public input will be allowed during that time. If you have any comments about the rezoning, I encourage you to attend this meeting.

Petitioner	Vulcan Lands, Inc.
Petition Number	RZON2021-00001
Property Location	5300 Gold Hill Road E
Parcel ID Number	6603-26-2969
Existing Zoning	Office / Institutional (OI)
Proposed Zoning Map Change	General Industrial – Conditional Use (GI-CU)

If you have any questions regarding this petition, or the hearing process, please contact me at Cabarrus County Planning and Development at 704.920.2181.

Sincerely,

Phillip Collins, AICP
Senior Planner
Cabarrus County Planning and Development
704.920.2181



Cabarrus County Government – Planning and Development Department

January 19, 2021

Dear Property Owner:

A Zoning Map Amendment Petition has been filed in our office for your property. The specifics of the request are listed below. The Cabarrus County Planning and Zoning Board will consider this petition on Tuesday, February 9, 2021 at 7:00 PM in the Cabarrus Room of the Cabarrus Arena & Events Center, located at 4751 NC Highway 49 North, Concord, NC 28025. A Public Hearing will be conducted and public input will be allowed during that time. If you have any comments about the rezoning request, I encourage you to attend this meeting.

• Petitioner	Vulcan Lands, Inc.
• Petition Number	RZON2021-00001
• Property Location	5300 Gold Hill Road E
• Parcel ID Number	6603-26-2969
• Existing Zoning	Office / Institutional (OI)
• Proposed Zoning Map Change	General Industrial – Conditional Use (GI-CU)

If you have any questions regarding this petition, or the hearing process, please contact me at Cabarrus County Planning and Development at 704.920.2181.

Sincerely,

A handwritten signature in cursive script that reads "Phillip Collins".

Phillip Collins, AICP
Senior Planner
Cabarrus County Planning and Development
704.920.2181



Cabarrus County Government

Planning and Development Department • Planning Division

February 1, 2021

To: Adjacent Property Owners
From: Phillip Collins, Senior Planner
CC: File
Re: RZON2021-00001 Vulcan, 5300 Gold Hill Road East

In accordance with state and local laws, informational letters about a proposed rezoning of the property mentioned above (submitted by Vulcan Lands Inc.) were sent out on January 19. The letters were sent to all property owners who own property directly adjacent to the property in question and announced that the request was to be heard at the February 9th meeting of the Planning and Zoning Commission. However, since that time, the applicant found that the outstanding issues with the site plan were too great to have completed in time for the February meeting. Therefore, Vulcan Lands Inc. has requested that the rezoning be tabled until the April 13th meeting of the Planning and Zoning Commission.

The Planning and Zoning Commission will be presented with this tabling request at the February meeting where they will vote to table the matter until the April meeting. As all meetings of the Planning and Zoning Commission are open to the public, you are welcome to attend, but this notification is to inform you that the Vulcan Lands Inc. rezoning request will not be heard at the February meeting.

Thanks,

A handwritten signature in cursive script that reads "Phillip Collins".

Phillip Collins, AICP
Senior Planner
704.920.2181

pecollins@cabarruscounty.us

Memo

To: Cabarrus County Planning and Zoning Commission

From: Phillip Collins, Senior Planner

CC: File

Date: February 9, 2021

Re: RZON2021-00001 Vulcan

Vulcan submitted an application for a Conditional Rezoning from OI to GI-CU to allow the expansion of the Gold Hill mining operation onto an adjacent parcel. The property will be used to store materials from the mine.

The applicant is requesting that the case be tabled until the April Planning and Zoning Commission meeting to allow additional time to address outstanding comments related to the site plans.

The case has been advertised, the sign posted and adjacent property owners notified. An updated letter was sent to the adjacent property owners letting them know the applicant is requesting that the case be tabled.

The Planning and Zoning Commission will need to vote to table the meeting until the April meeting or the next available agenda due to COVID-19 regulations and guidelines.



Cabarrus County Government

Planning and Development Department • Planning Division

March 22, 2021

To: Adjacent Property Owners
From: Phillip Collins, Senior Planner
CC: File
Re: RZON2021-00001 Vulcan, 5300 Gold Hill Road East

The purpose of this memo is to update you on the rezoning request from Vulcan for 5300 Gold Hill Road East which is adjacent to your property. The Planning and Zoning Commission will be presented with the rezoning request at its April 13 meeting. The meeting will begin at 6:30 pm in the Cabarrus Room of the Cabarrus Arena & Events Center, located at 4751 NC Highway 40 North, Concord NC 28025. The meeting is open to the public and you are welcome to attend. If you have questions, you may contact me at the contact information given below.

Thanks,

A handwritten signature in cursive script that reads "Phillip Collins".

Phillip Collins, AICP

Senior Planner

704.920.2181

pecollins@cabarruscounty.us



Cabarrus County Government – Planning and Development Department

March 24, 2021

Dear Property Owner:

A Zoning Map Amendment Petition has been filed in our office for property **adjacent** to yours. The properties and specifics of the rezoning are listed below. The Cabarrus County Planning and Zoning Board will consider this petition on Tuesday, April 13, 2021 at 6:30 PM in the Cabarrus Room of the Cabarrus Arena & Events Center, located at 4751 NC Highway 49 North, Concord, NC 28025. A Public Hearing will be conducted and public input will be allowed during that time. If you have any comments about the rezoning, I encourage you to attend this meeting.

Petitioner	Vulcan Lands, Inc.
Petition Number	RZON2021-00001
Property Location	5300 Gold Hill Road E
Parcel ID Number	6603-26-2969
Existing Zoning	Office / Institutional (OI)
Proposed Zoning Map Change	General Industrial – Conditional Use (GI-CU)

If you have any questions regarding this petition, or the hearing process, please contact me at Cabarrus County Planning and Development at 704.920.2181.

Sincerely,

A handwritten signature in cursive script that reads "Phillip Collins".

Phillip Collins, AICP
Senior Planner
Cabarrus County Planning and Development
704.920.2181

PROPERTY OWNER
 6603262969
 VULCAN LANDS INC
 1200 URBAN CENTER DR
 VESTAVIA, NC 35242

383 032 CAROLINA STALITE COMPANY PO BOX 1037 SALISBURY, NC 28145	6603058671 CARPENTER DONALD F 5201 GOLD HILL RD E GOLD HILL, NC 28071	6603192311 GARY & AMY RINEHARDT 2468 TWELVE OAKS RD CONCORD, NC 28025
6603067024 JASON & REBECCA CLINE 5301 GOLD HILL RD E GOLD HILL, NC 28071	6604104069 JOHN & ERIN FERRANTE 1233 PRESSLEY DOWNS DR SE CONCORD, NC 28025	6603180236, 6603171916 & 6603078330 JON & BARBARA JACKSON 5450 GOLD HILL RD E GOLD HILL, NC 28071
6603089746 KESLER ALLAN L 5650 GOLD HILL RD E GOLD HILL, NC 28071	5693962823 DARYL PHILEN & KAREN KIEFFER PO BOX 1499 MT PLEASANT, NC 28124	6603255518 PIGGOTT DIONNE M 644 S MADISON ST EDEN, NC 27288
6603191674 RAUL & MONICA RAMIREZ 14816 BAYTOWN CT HUNTERVILLE, NC 28078	6603471878 & 6603392318 YOUNG MARTHA H LF EST 5250 MASONS FERRY RD LAKE WYLIE, SC 29710	*6603450236 LARRY WAYNE WHITLEY 15103 SHORT CUT RD GOLD HILL RD E
*6604003208 ROBERT L STADLER 6050 GOLD HILL RD E GOLD HILL, NC 28071	*6603072261 SPARKLE PROPERTIES LLC 2175 GOLD KNOB RD SALISBURY, NC 28146	*6603152752 CESAR DAVID HURTADO ESQUEDA & YESENIA RANGEL 5171 GOLD HILL RD E GOLD HILL, NC 28071

**addresses initially missed but added and letters sent on March 24 for April meeting*

Jan 21, 2021 at 9:38:09 AM
Gold Hill Rd E, Cabarrus

CABARRUS COUNTY
ZONING



NOTICE
RZON2021-00001
FOR DETAILS CALL
704 - 920 - 2141

Vulcan

Materials Company

Conditional Use Rezoning Request

Johnston Allison Hord
1065 E. Morehead Street
Charlotte, NC 28204
www.jahlaw.com

JOHNSTON
ALLISONHORD
START HERE

Background / History

- Gold Hill Quarry has been in existence since 1953 and operated by Vulcan since 1988
- Safely and responsibly supplying crushed stone to build roads, bridges, homes, schools, churches, etc. in the community
- Unique geology supplies Carolina Stalite who produces quality lightweight aggregate that ships worldwide
- Certified Wildlife Habitat Conservation Projects with the Wildlife Habitat Council
- Wildlife & Industry Together (WAIT) certification with the NC Wildlife Federation
- Regulated by numerous Federal, State, and Local agencies including North Carolina Department of Environmental Quality, U.S. Environmental Protection Agency, and U.S. Army Corps of Engineers and includes this site.
- Actively involved in the local and surrounding communities through charitable and in-kind contributions and supporting earth science education along with career exploration

- Applicant Vulcan Lands, Inc.
- Conditional Use Rezoning
- Approximately 138 acres
- Generally between Gold Hill Road E and its existing Gold Hill Quarry (“Site”).
- Limited to Overburden Storage from adjacent Gold Hill Quarry operations.

What is Overburden Storage?

Overburden is the dirt, material, etc. removed during the excavation (mining) process. In other words, the byproduct that is dug up during the process of creating and expanding mining pits. Without Overburden Storage, trucks would have to haul this byproduct off-site

What do Overburden Storage Areas look like?

Overburden Storage Areas consist of plateaus or berms of overburden that are then vegetated with ground cover and left to be reclaimed by nature and surrounding wildlife.

Overburden Storage will not exceed 40 feet in height; lower than the perimeter tree line along most areas of the Site.

Examples of OVB Storage – Macon, Georgia



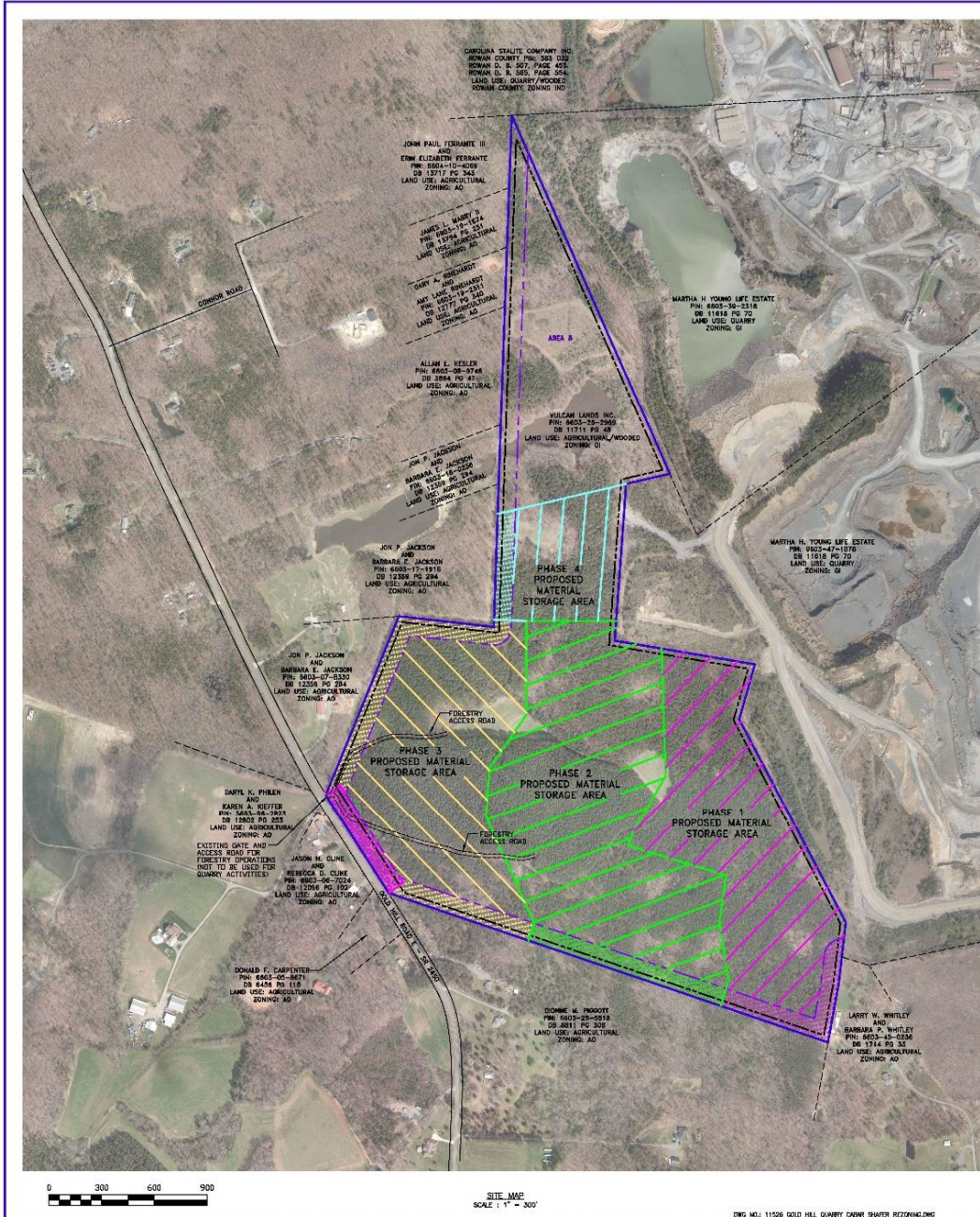
Examples of OVB Storage – Stafford, Virginia



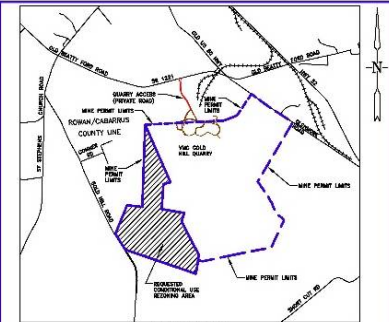
Examples of OVB Storage – Rockingham, North Carolina



Site Map Showing Phased Areas



Vulcan proposes a 100 foot wide buffer consisting of existing vegetation around the non-quarry perimeter of the Site.



SHEET LEGEND

SITE MAP	SHEET 1	PHASE 2 GRADING PLAN	SHEET 11
SITE DEVELOPMENT NOTES	SHEET 2	PHASE 3 GRADING PLAN	SHEET 12
PROPERTY SURVEY	SHEET 3	PHASE 4 GRADING PLAN	SHEET 13
SITE PLAN	SHEET 4	FINAL SITE GRADING	SHEET 14
SITE PLAN	SHEET 5	BUFFER PLAN	SHEET 15
SITE PLAN	SHEET 6	DETAILS	SHEET 16
SITE PLAN	SHEET 7	DETAILS	SHEET 17
RECLAMATION PLAN	SHEET 8	DETAILS	SHEET 18
RECLAMATION PLAN	SHEET 9	DETAILS	SHEET 19
PHASE 1 GRADING PLAN	SHEET 10	DETAILS	SHEET 20

MINE LEGEND

VULCAN AND/OR PROPERTY LINES	
ADJACENT COUNTY LINES	
EXISTING/PROPOSED BOUNDARY LINES	
EXISTING/PROPOSED ZONING BOUNDARY STRUCTURE	
PROPOSED 100' BUFFER (MATERIAL STORAGE PERIMETER)	
PHASE 1	
PHASE 2	
PHASE 3	
PROPOSED 100' BUFFER (MATERIAL STORAGE PERIMETER)	
PHASE 4	
PHASE 5	
PHASE 6	
PHASE 7	
PHASE 8	
PHASE 9	
PHASE 10	
PHASE 11	
PHASE 12	
PHASE 13	
PHASE 14	
PHASE 15	
PHASE 16	
PHASE 17	
PHASE 18	
PHASE 19	
PHASE 20	

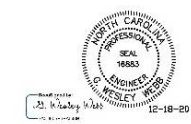
SITE DATA:

PROPERTY INFORMATION: PIN: 6503-25-2969
 5300 GOLD HILL RD E
 DEED REFERENCE: DEED BOOK 11711 PAGE 48
 TOTAL AREA: 138.388 ACRES (5,028,181 SF)
 OWNER: VULCAN LANDS INC.
 1200 URBAN CENTER DR
 BIRMINGHAM, AL 35242
 336-767-4800

CURRENT ZONING: O1 (OFFICE/INSTITUTIONAL)
PROPOSED ZONING: G1-GU (GENERAL INDUSTRIAL - CONDITIONAL USE)
CURRENT LAND USE: AGRICULTURAL/WOODED
PROPOSED LAND USE: MATERIAL STORAGE OF EARTH PRODUCTS (QUARRY), FORESTRY (AGRICULTURE)

PROPOSED BUILDINGS: NONE
FRONT SETBACK: 75 FEET
REAR/SIDE SETBACK: 30 FEET
APPLICANT: VULCAN MATERIALS COMPANY
 4401 NORTH PATTERSON AVE.
 WINSTON SALEM, NC 27105
 336-767-4800

CIVIL ENGINEER: G. WESLEY WEBB, PE
 ALLEY, WILLIAMS, CARMEN & KING, INC.
 120 SOUTH MAIN STREET
 KANNAPOLIS, NC 28051
 704-938-1515

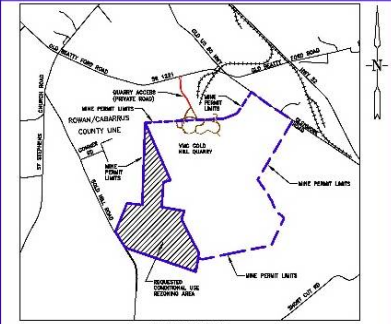
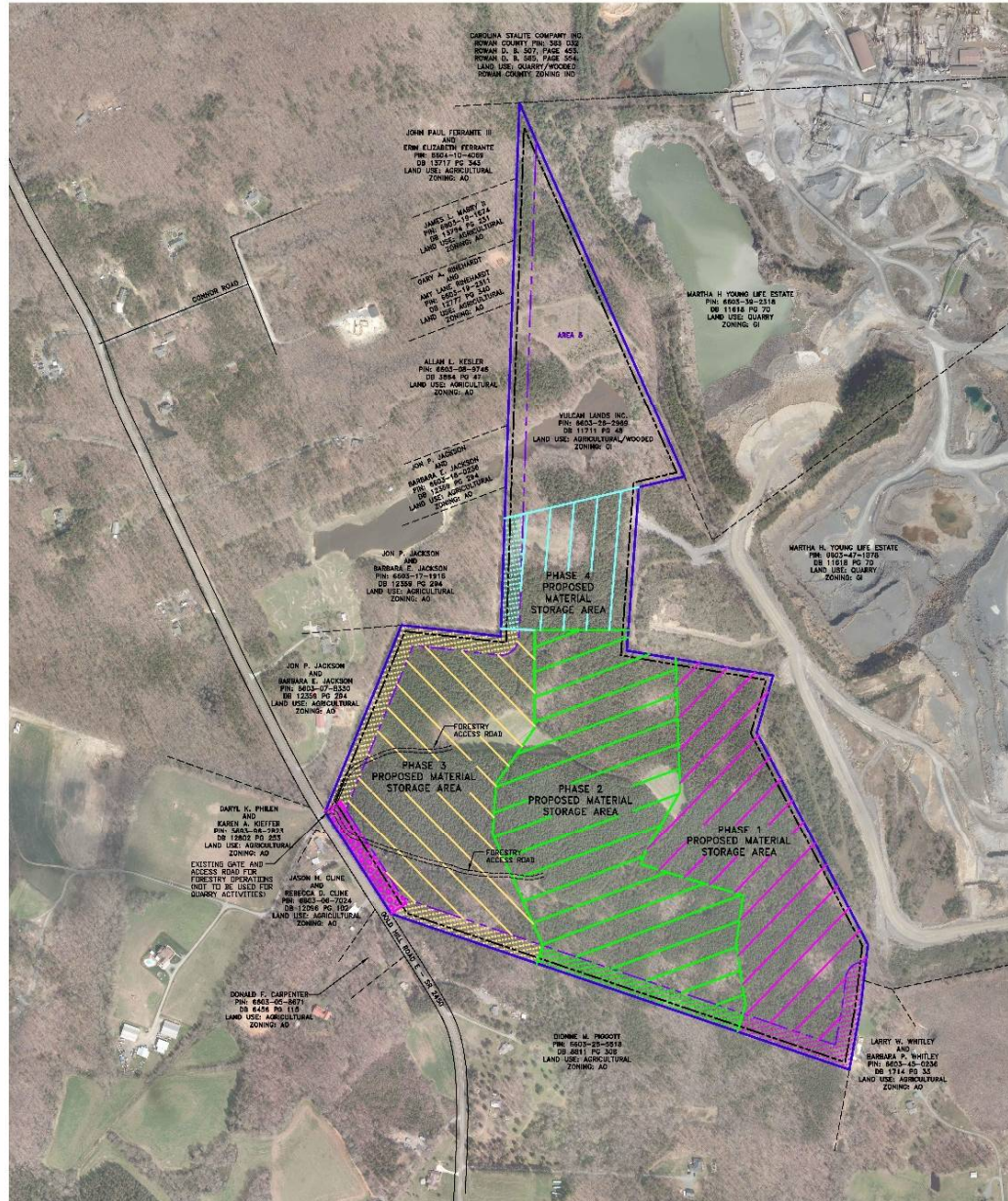


Vulcan
Materials Company

	alley, williams, carmen, & king, inc. CONSULTING ENGINEERS FIRM LICENSE NO. F-0203 120 SOUTH MAIN STREET KANNAPOLIS, NC 28052	P.O. BOX 1248 704/938-1515	SCALE: VARIES DATE: 12-18-20 DRAWN BY: RCC CHECKED BY: GVV DATE: 12-18-20
	2020 CONDITIONAL USE REZONING REQUEST GOLD HILL QUARRY VULCAN MATERIALS COMPANY 5300 GOLD HILL RD E., GOLD HILL, NC 28071	SHEET NO: 1 OF: 20	SHEET NO: 11526

Site Map Showing Phased Areas

Prior to commencing operations in each phase, Vulcan and staff will review existing vegetation to ensure the buffer for each phase provides adequate visual screening and separation.



SHEET LEGEND

SITE MAP	SHEET 1	PHASE 2 GRADING PLAN	SHEET 11
SITE DEVELOPMENT NOTES	SHEET 2	PHASE 3 GRADING PLAN	SHEET 12
PROPERTY SURVEY	SHEET 3	PHASE 4 GRADING PLAN	SHEET 13
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SITE PLAN	SHEET 6	DETAILS	SHEET 16
SITE PLAN	SHEET 7	DETAILS	SHEET 17
RECLAMATION PLAN	SHEET 8	DETAILS	SHEET 18
RECLAMATION PLAN	SHEET 9	DETAILS	SHEET 19
PHASE 1 GRADING PLAN	SHEET 10	DETAILS	SHEET 20

MINE LEGEND

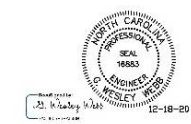
MINE AND MINE PROPERTY LINES	---
ADJACENT COUNTY LINES	---
EXISTING/PROPOSED ZONING LINES	---
EXISTING/PROPOSED ZONING BOUNDARY STRUCTURE	---
PROPOSED 1/4 AC. MULTIPLE STORAGE (QUARRY)	---
PHASE 1	---
PHASE 2	---
PHASE 3	---
PHASE 4	---
PROPOSED 1/4 AC. ZONING LINES (AGRICULTURE YARD)	---
PHASE 1	---
PHASE 2	---
PHASE 3	---
PHASE 4	---
SUBS. VARIATION SCALE	---

SITE DATA:
PROPERTY INFORMATION: PIN: 6503-25-2969
PROPERTY ADDRESS: 5300 GOLD HILL RD E
DEED REFERENCE: DEED BOOK 11711 PAGE 48
TOTAL AREA: 138.388 ACRES (5,028,181 SF)
OWNER: VULCAN LANDS INC.
 1200 URBAN CENTER DR
 BIRMINGHAM, AL 35242
 336-767-4800

CURRENT ZONING: O1 (OFFICE/INSTITUTIONAL)
PROPOSED ZONING: GI-CU (GENERAL INDUSTRIAL - CONDITIONAL USE)
CURRENT LAND USE: AGRICULTURAL/WOODED
PROPOSED LAND USE: MATERIAL STORAGE OF EARTH PRODUCTS (QUARRY), FORESTRY (AGRICULTURE)

PROPOSED BUILDINGS: NONE
FRONT SETBACK: 75 FEET
REAR/SIDE SETBACK: 30 FEET
APPLICANT: VULCAN MATERIALS COMPANY
 4401 NORTH PATTERSON AVE.
 WINSTON SALEM, NC 27105
 336-767-4800

CIVIL ENGINEER: G. WESLEY WEBB, PE
 ALLEY, WILLIAMS, CARMEN & KING, INC.
 120 SOUTH MAIN STREET
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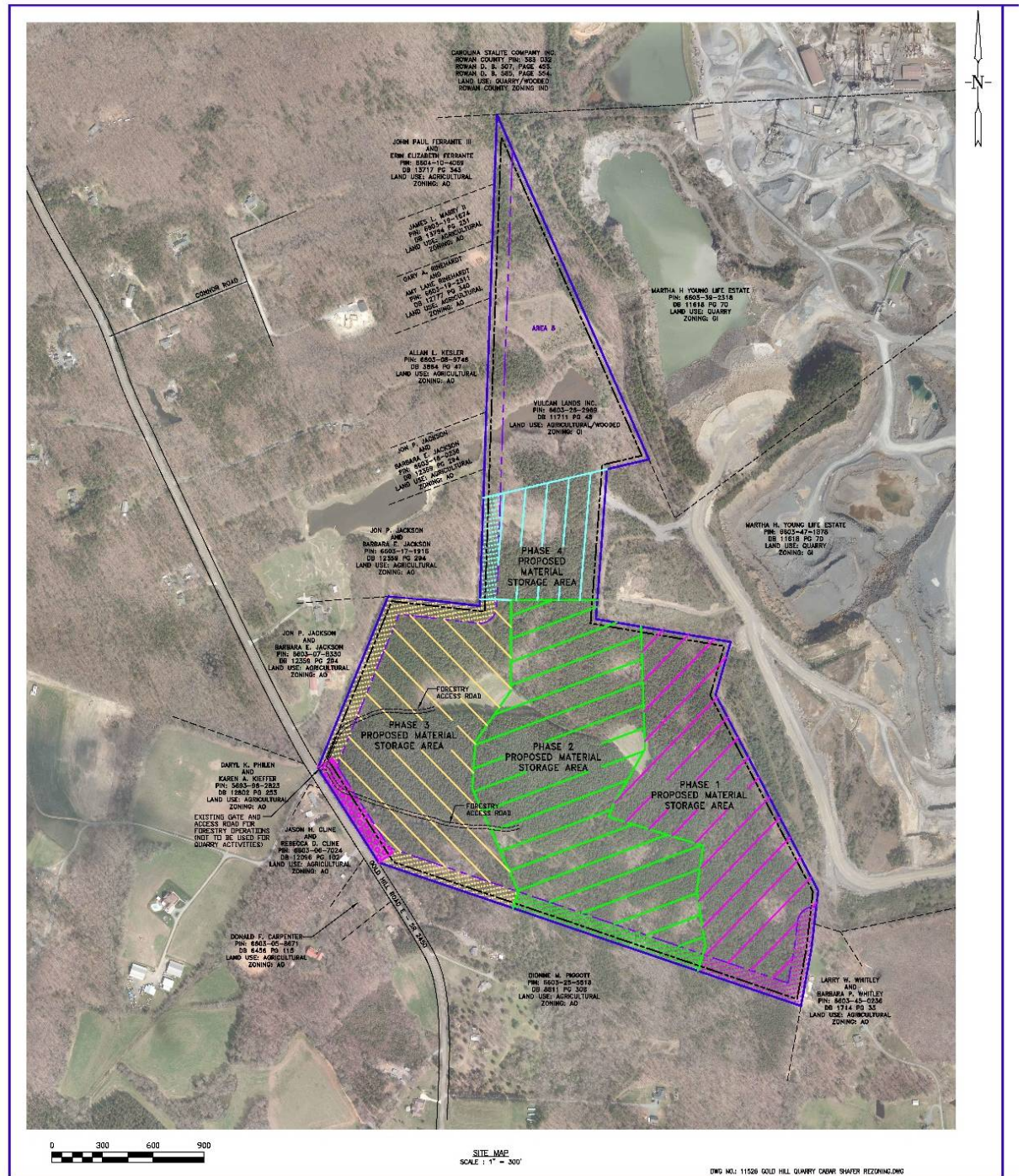
	alley, williams, carmen, & king, inc. CONSULTING ENGINEERS FIRM LICENSE No. F-0203 120 SOUTH MAIN STREET KANNAPOLIS, NC 28052	SCALE: Varies DATE: 12-18-20 DRAWN BY: RCC CHECKED BY: GVV DATE: 12-18-20
	2020 CONDITIONAL USE REZONING REQUEST GOLD HILL QUARRY VULCAN MATERIALS COMPANY 5300 GOLD HILL RD E., GOLD HILL, NC 28071	SHEET NO. 1 OF 20



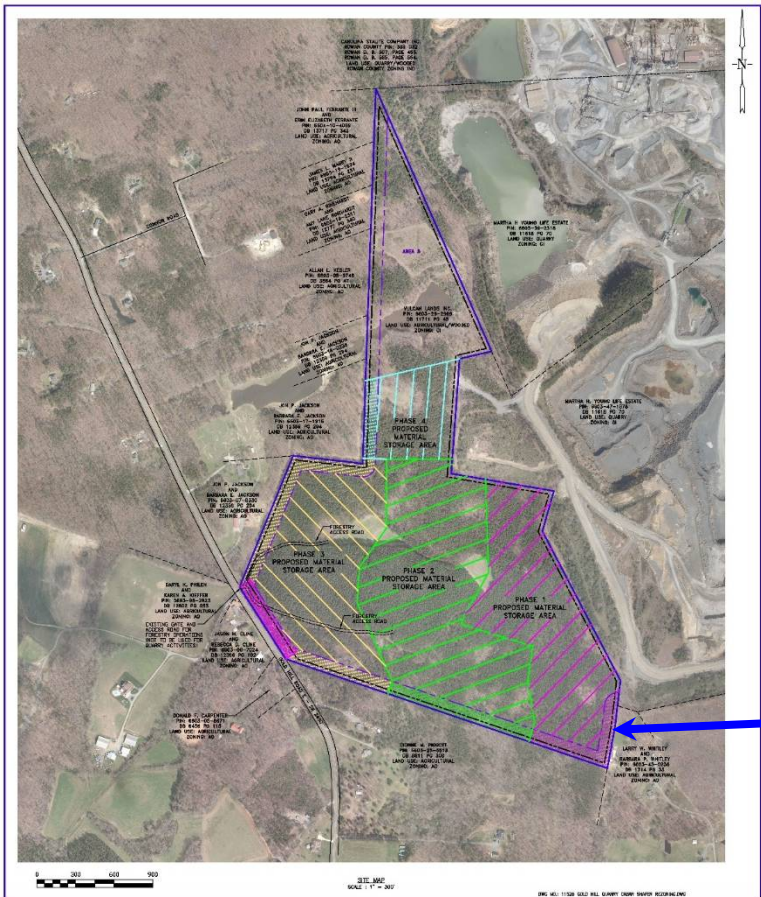
SITE MAP
SCALE: 1" = 300'

Existing
Vegetation will
be used to screen
what, post
development,
will remain a
natural area.

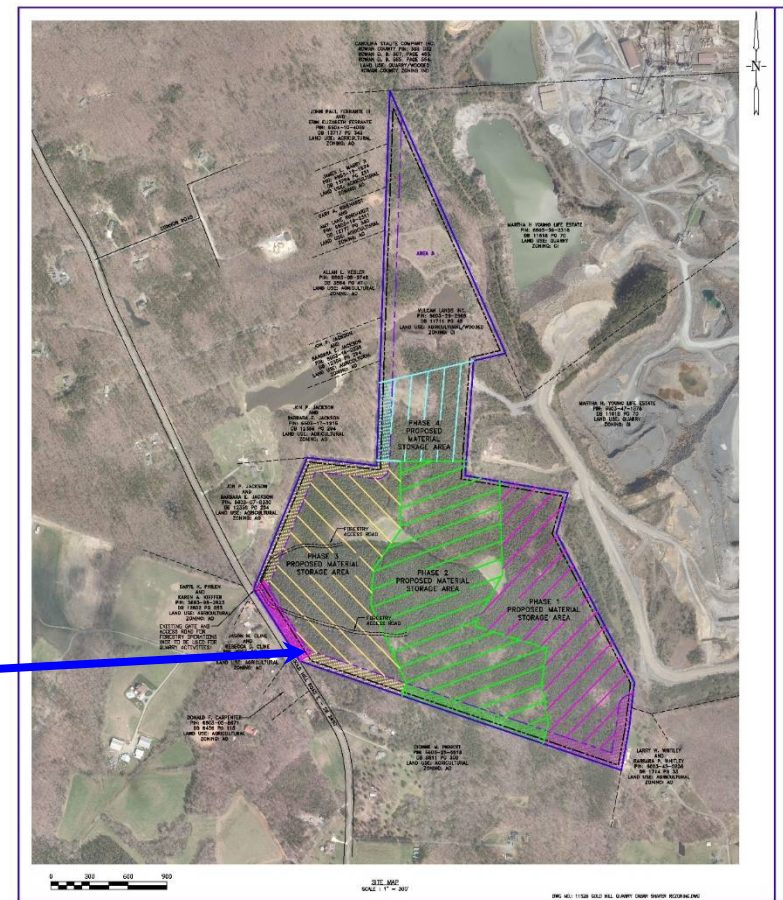
Essentially
Vulcan proposes
buffering a
buffer.



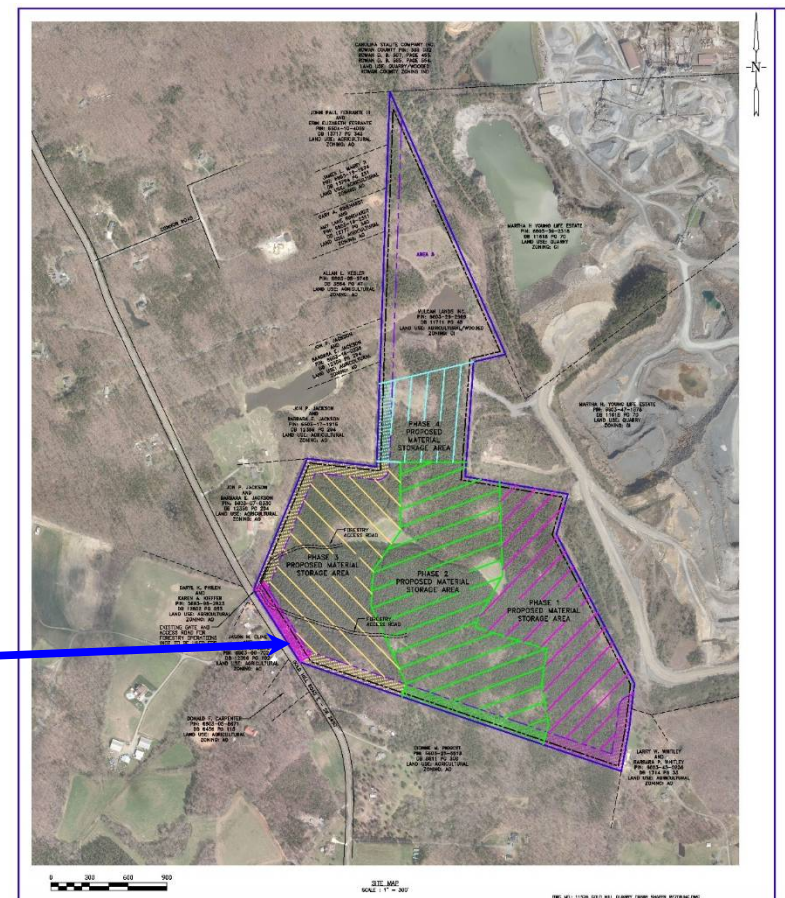
Gold Hill Site Line Picture Locations



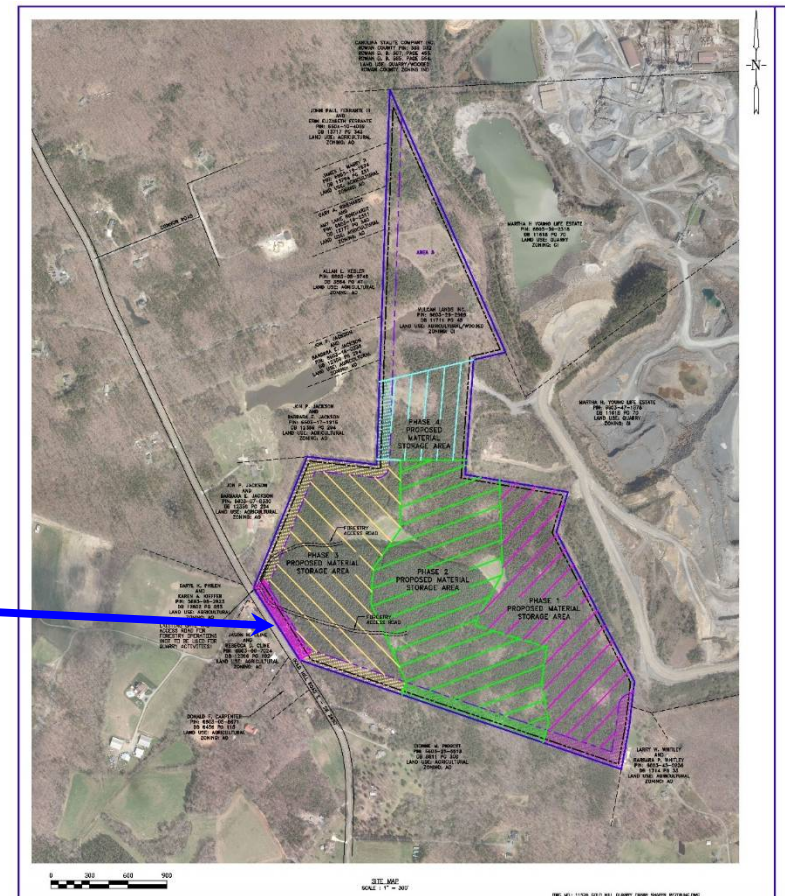
Gold Hill Site Line Picture Locations



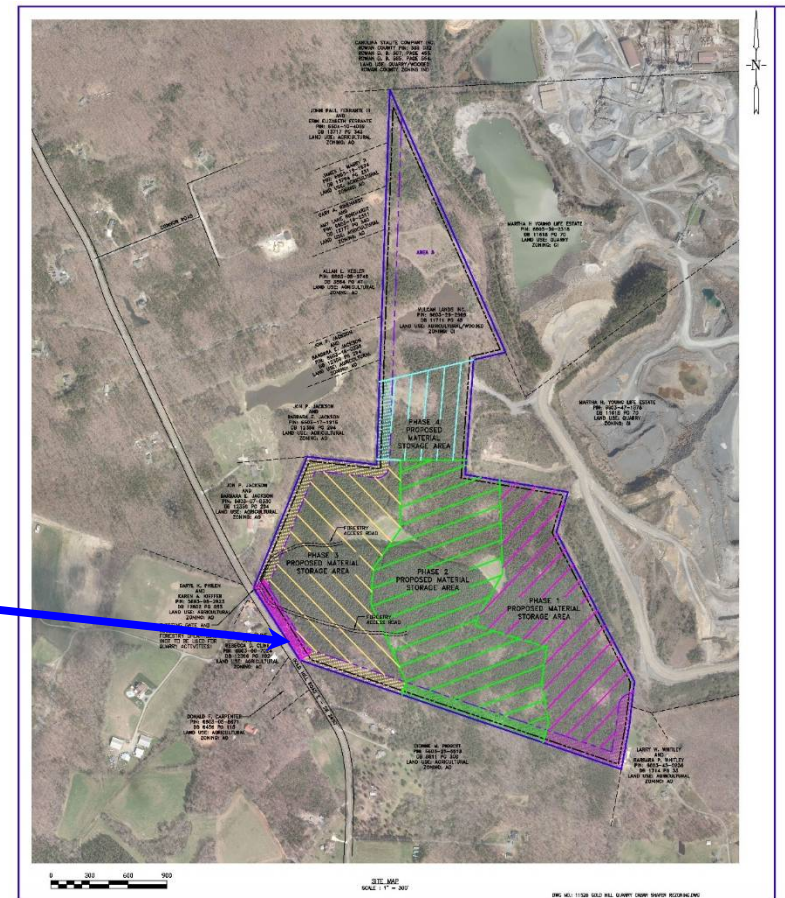
Gold Hill Site Line Picture Locations



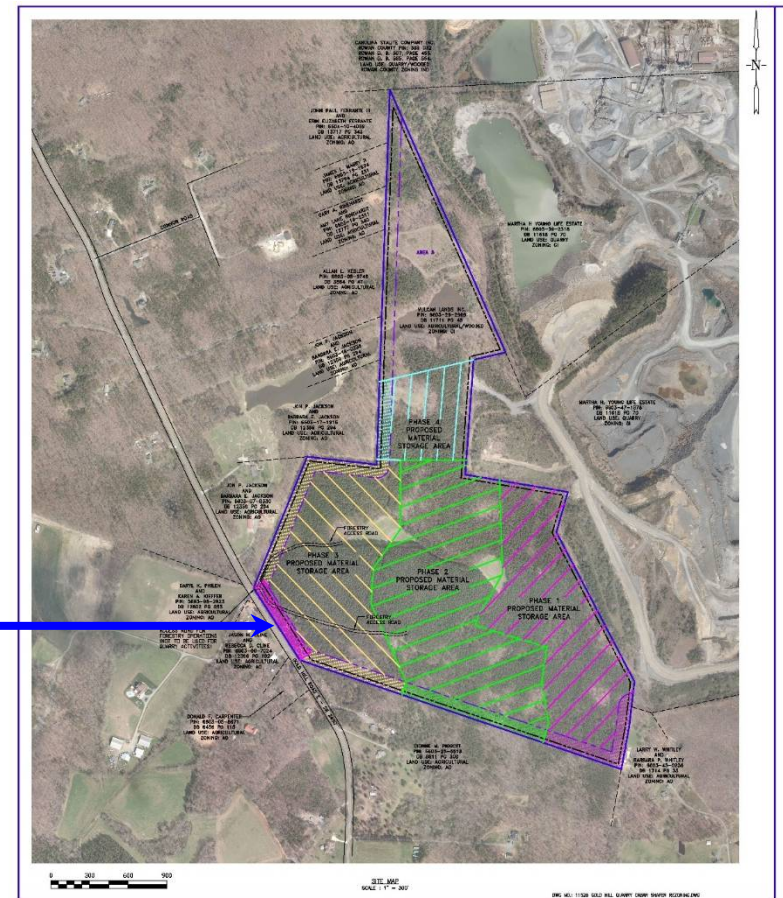
Gold Hill Site Line Picture Locations



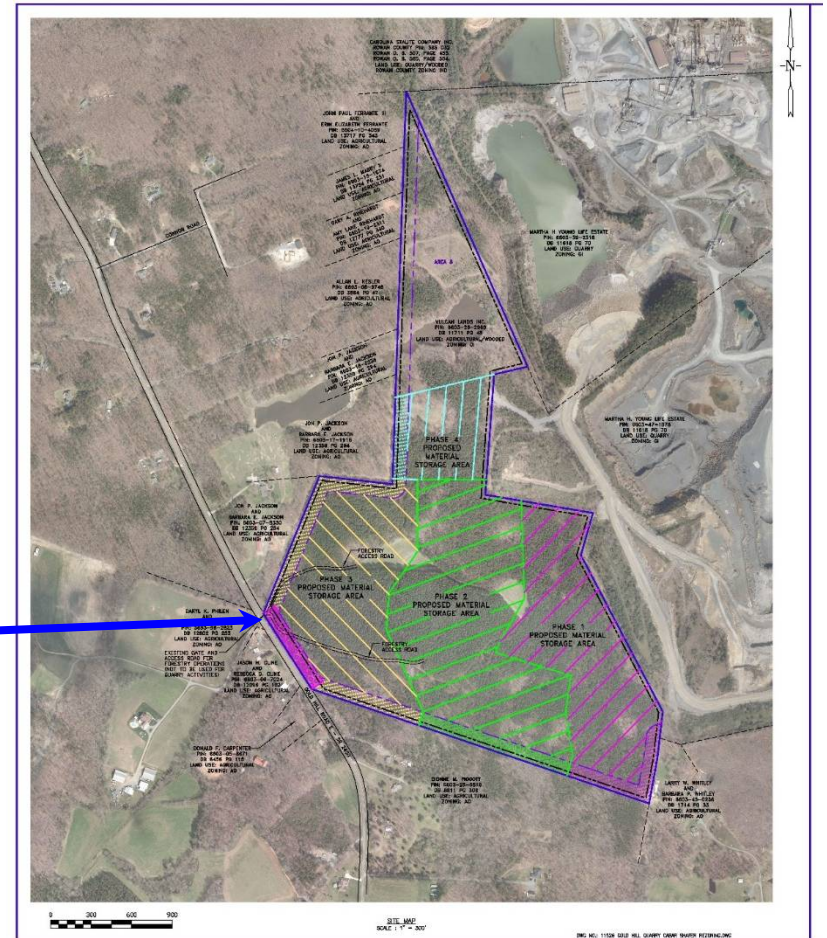
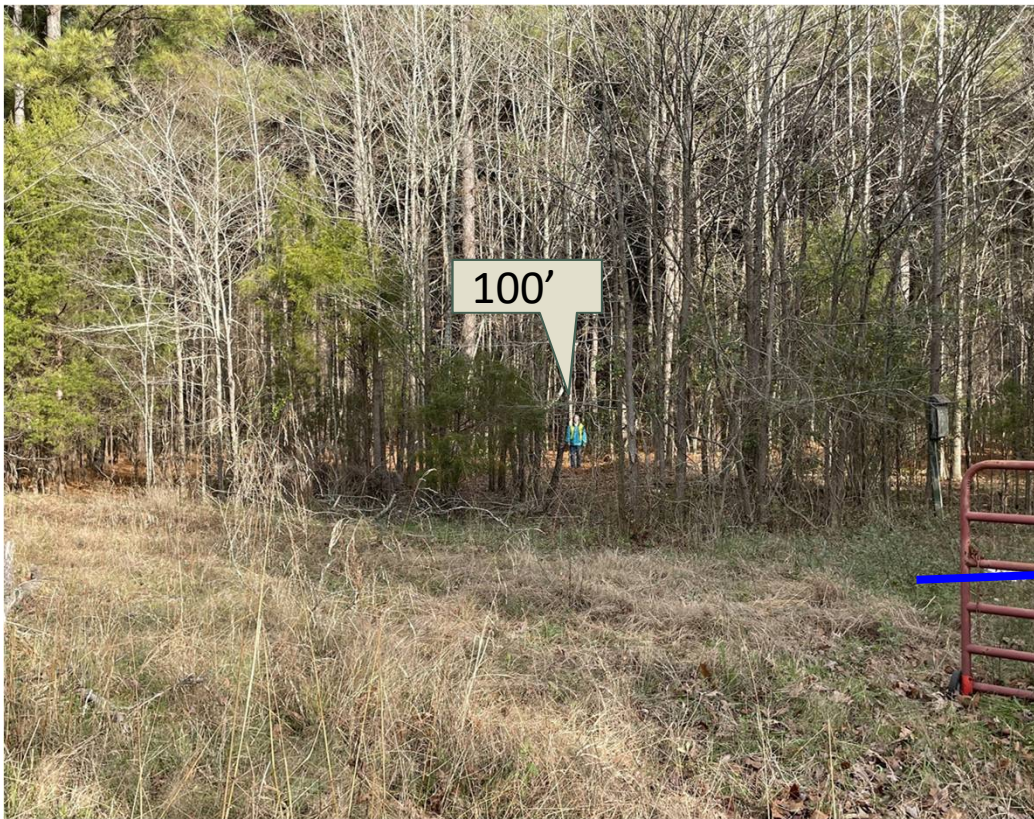
Gold Hill Site Line Picture Locations



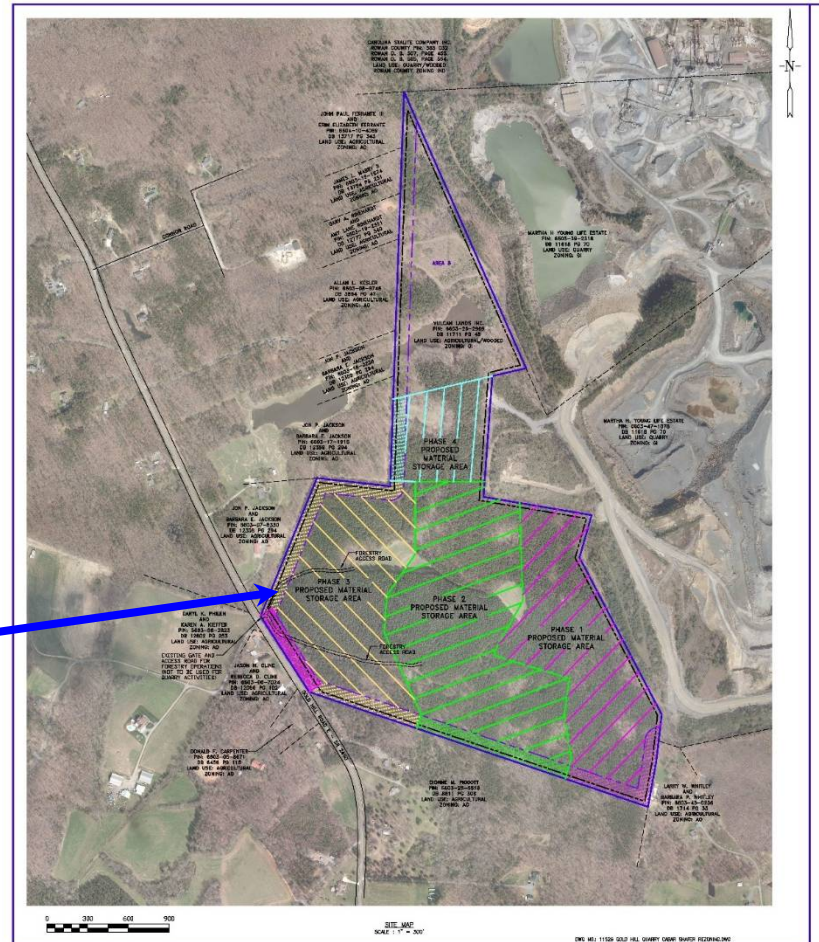
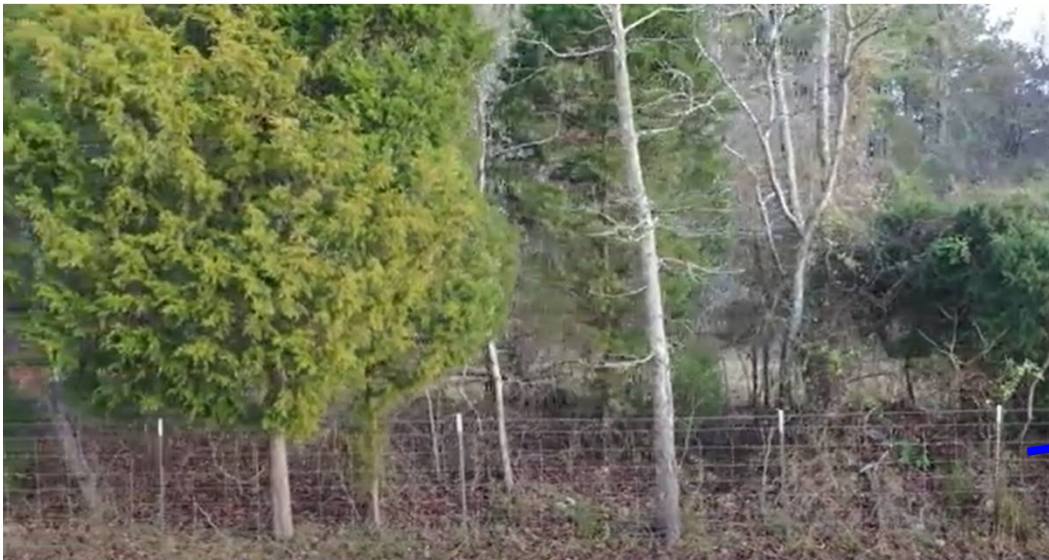
Gold Hill Site Line Picture Locations



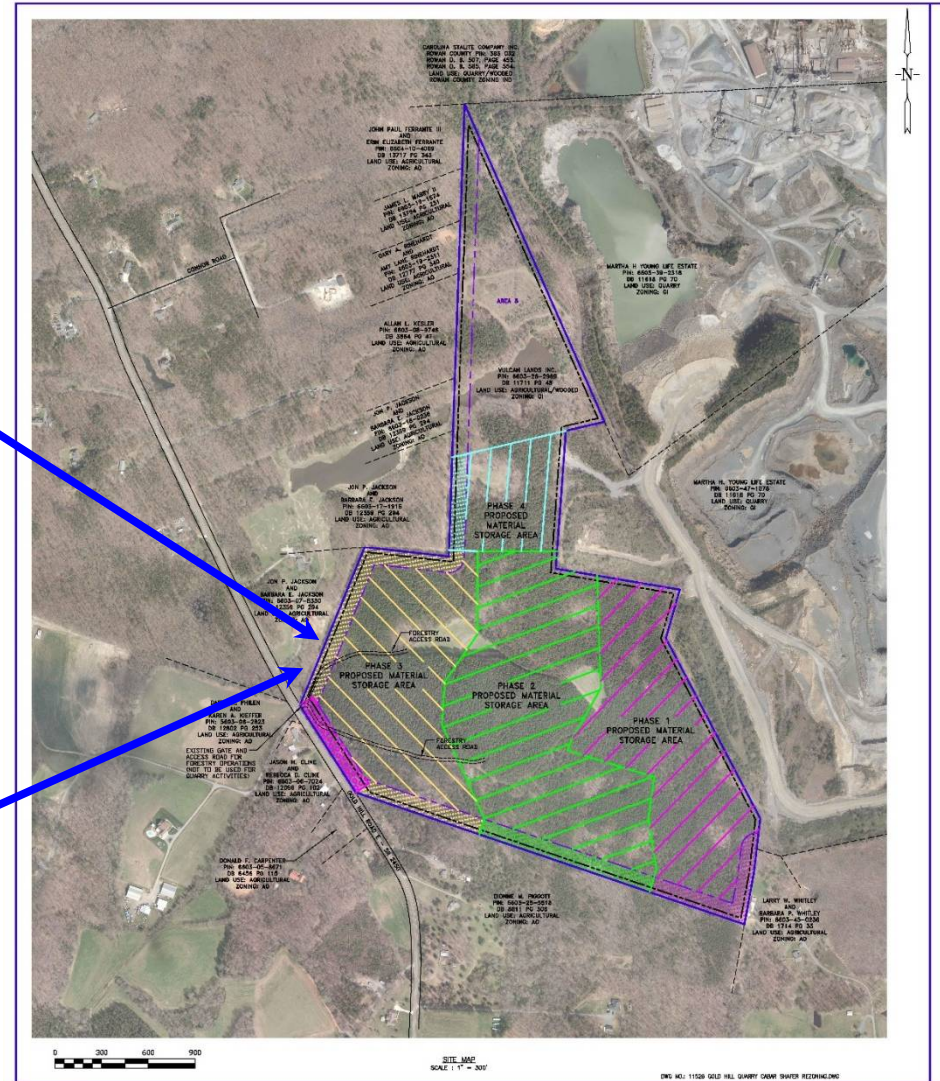
Gold Hill Site Line Picture Locations



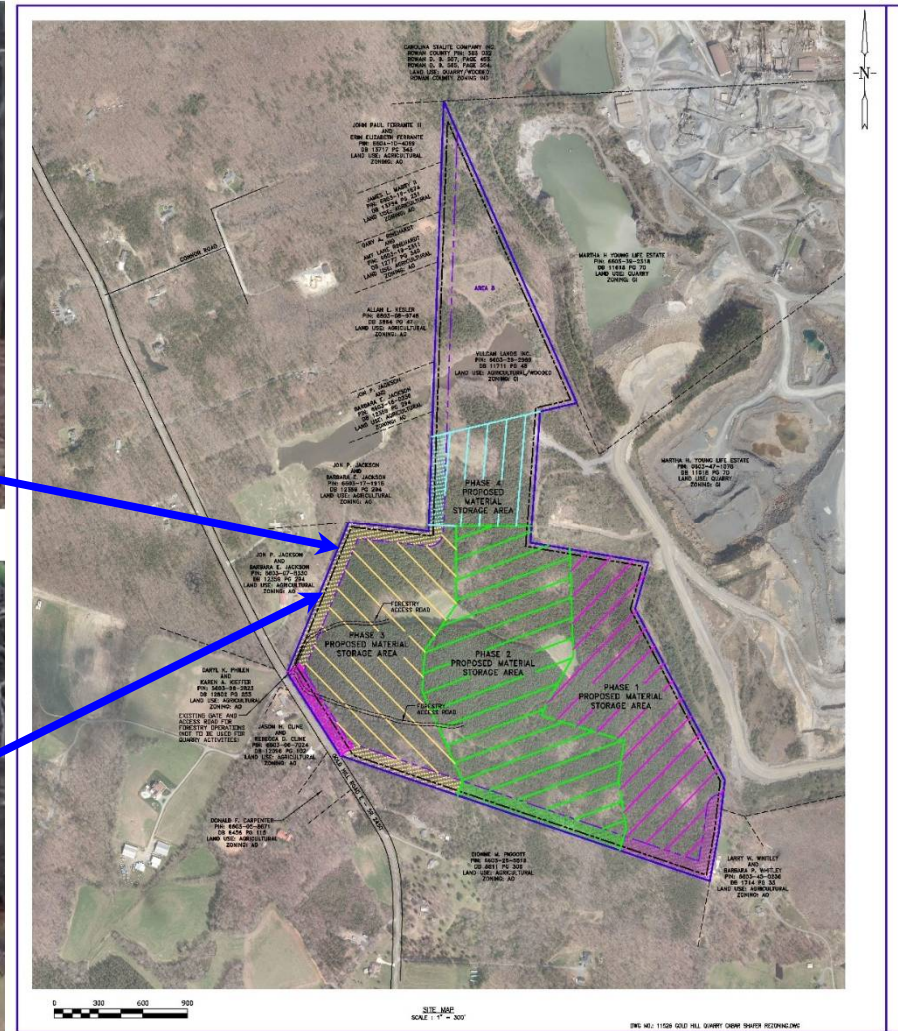
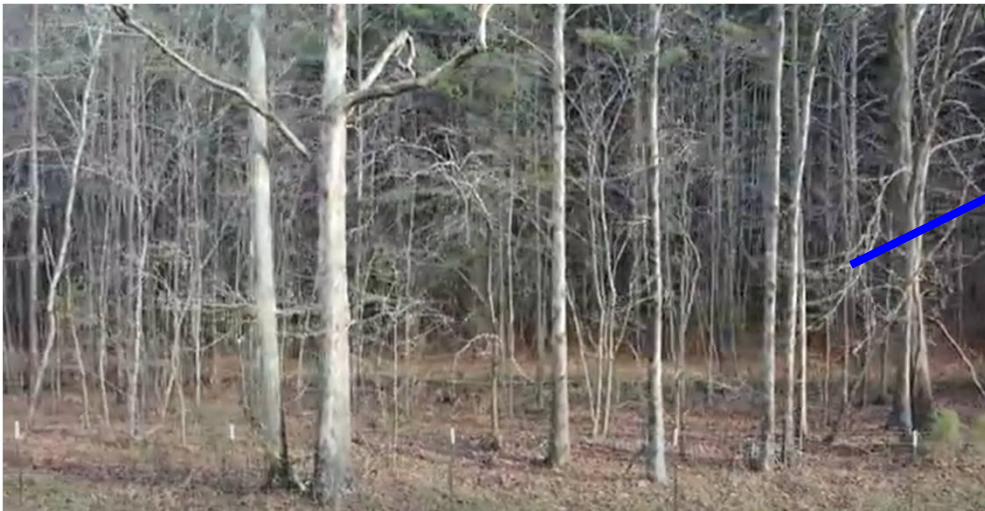
Gold Hill Site Line Picture Locations



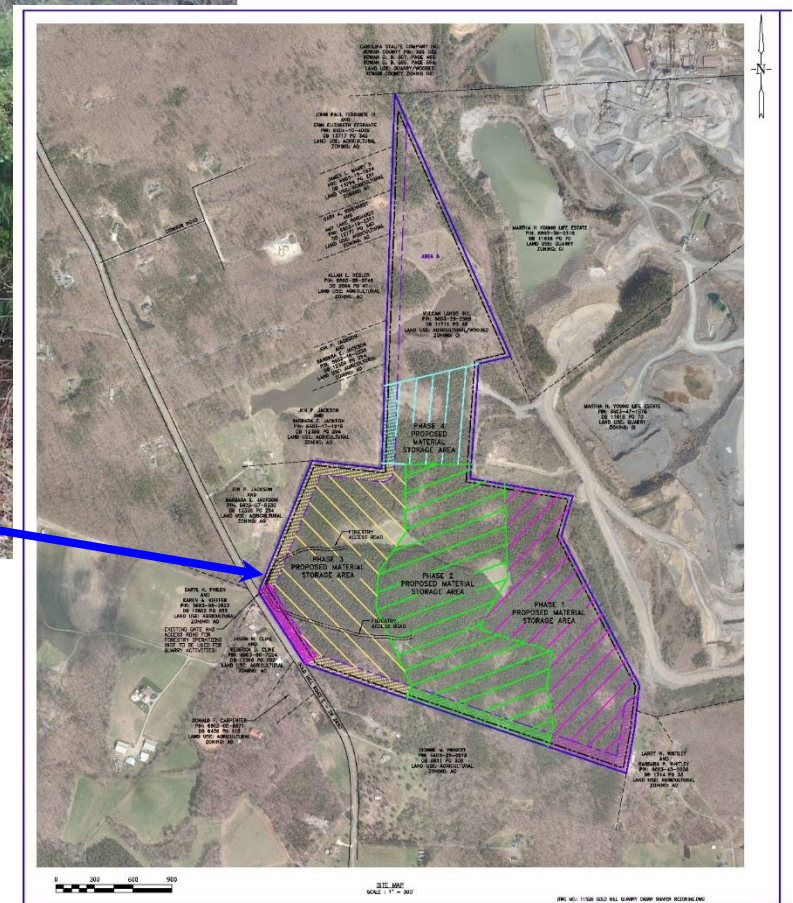
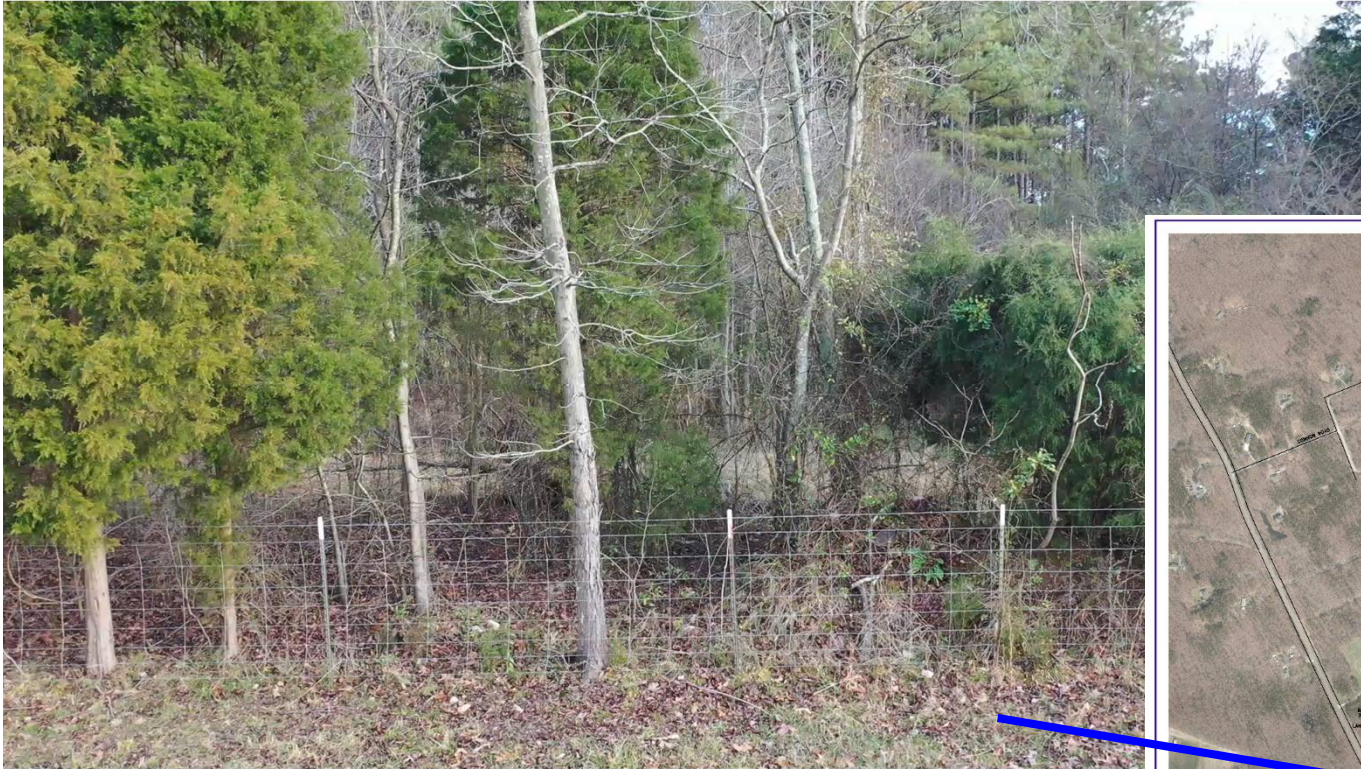
Gold Hill Site Line Picture Locations



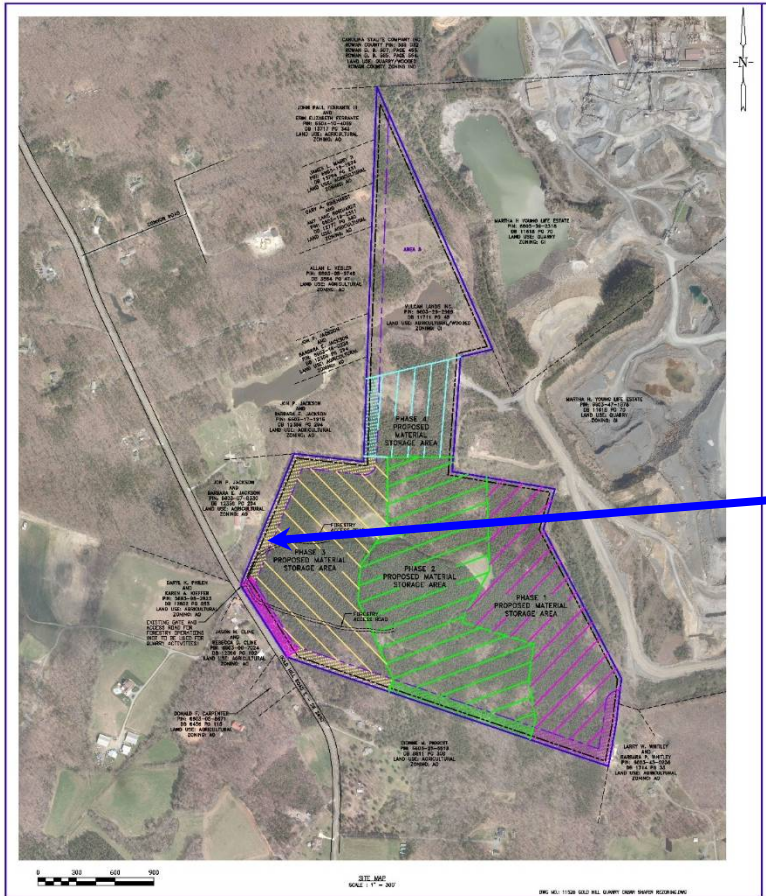
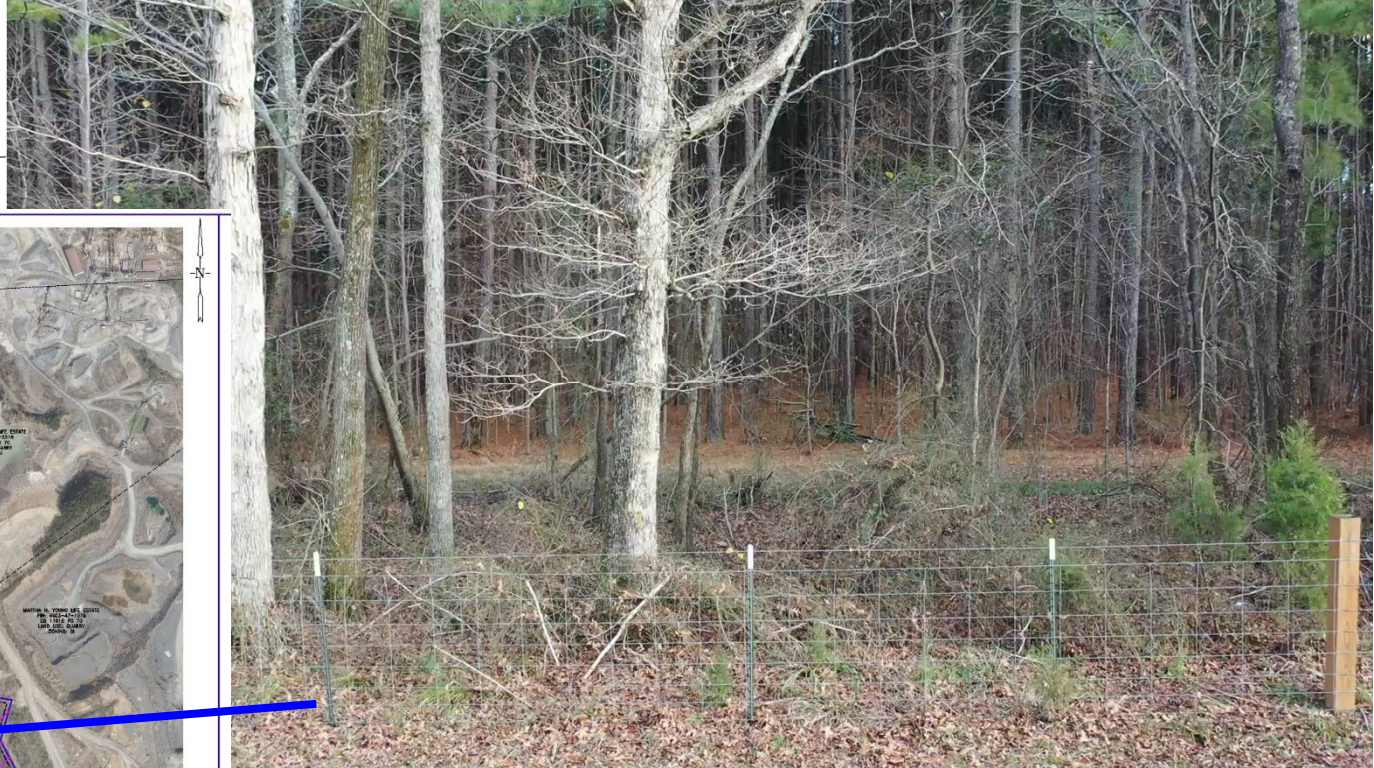
Gold Hill Site Line Picture Locations



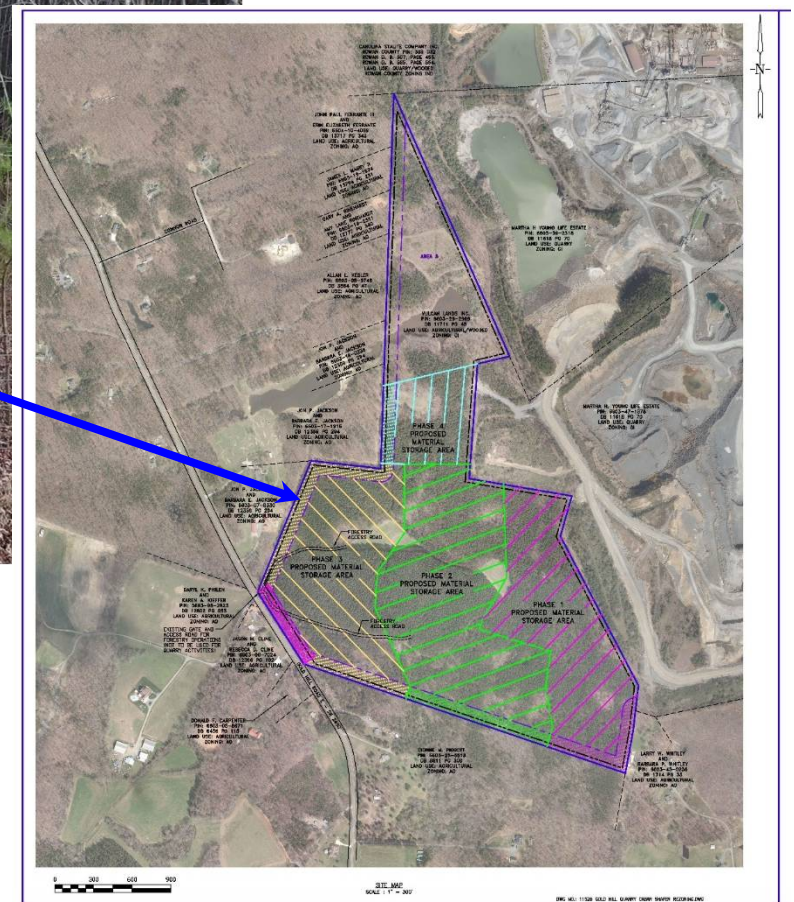
Gold Hill Site Line Picture Locations



Gold Hill Site Line Picture Locations



Gold Hill Site Line Picture Locations



In Summary...

- No blasting or extraction of products
- No structures on the site
- No commercial access from East Gold Hill Road
- Commercial access to site through adjacent quarry property
- Reduces truck traffic to and from the Site necessary to haul overburden off site

Any Questions??

 **JOHNSTON**
ALLISONHORD
START HERE 

Contact Information

**Susanne Todd
Johnston Allison Hord**

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Charlotte, NC 28204
704 998-2306 Direct
stodd@jahlaw.com
www.jahlaw.com

Denise Hallett
Manager, Community and
Government Relations
Vulcan Materials Company
Mideast Division

336 744-2919 Direct
704 560-5304 Cell
Hallettd@vmcmail.com

Thank You

JOHNSTON
ALLISON HORD
START HERE ▼

Memo

To: Planning and Zoning Commission, Acting as Board of Adjustment

From: Susie Morris, Planning and Zoning Manager

cc: File

Date: 6/1/2021

Re: NC 102 Project Close-Out Update

Mr. Jansen has been in communication with Staff regarding the outstanding issues at the NC102 Project site and an update has been provided (see attached).

An engineering study was conducted by Stantec regarding the close-out of the basins. The report includes recommendations for moving forward. The document will need to be reviewed by the County Engineer and by NCDEQ for concurrence with the recommendations.

Part of the landscape has been installed (pine seedlings). Additional landscape in Canada and South America needs to be installed. Staff will conduct an inspection once all of the landscape has been installed.

More time is needed for the engineering study to be reviewed for concurrence and for the remaining landscape to be installed and inspected. Canadian Solar is requesting that the item be tabled until August.

NC 102 Solar Facility Update Report

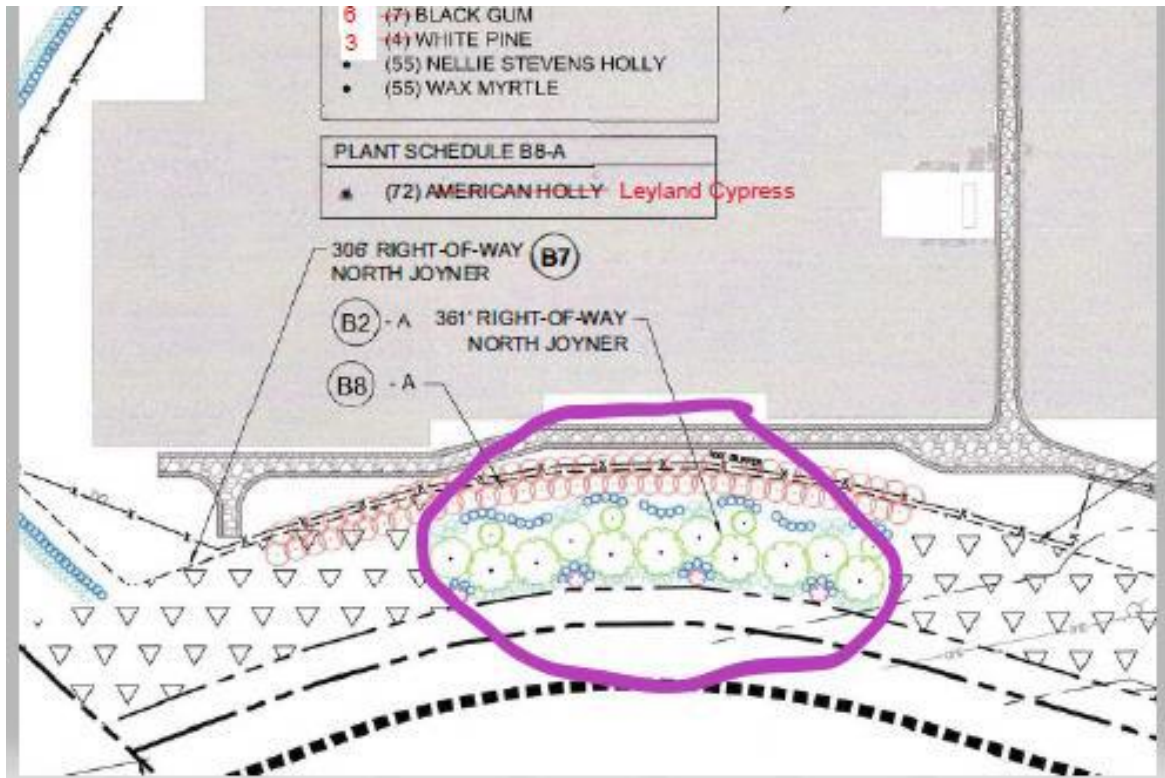
May 29, 2021

At this time the NC 102 Solar Facility continues to work towards closing out the remaining Landscaping and site stabilization items which were presented in a memo dated December 14, 2020, titled "Planning and Zoning Commission Committee Member Site Visit- December 2, 2020". The project has completed the replanting and flagging of seedlings within the Stream/Wetland Body Buffers. The additional planting along Joyner Road and at the Horse Corral will be completed in the week of June 7, 2021. The site stabilization work is scheduled to be completed the week of June 21, 2021.

This memo suggested the following action items:

1. B2-A Supplemental Buffer

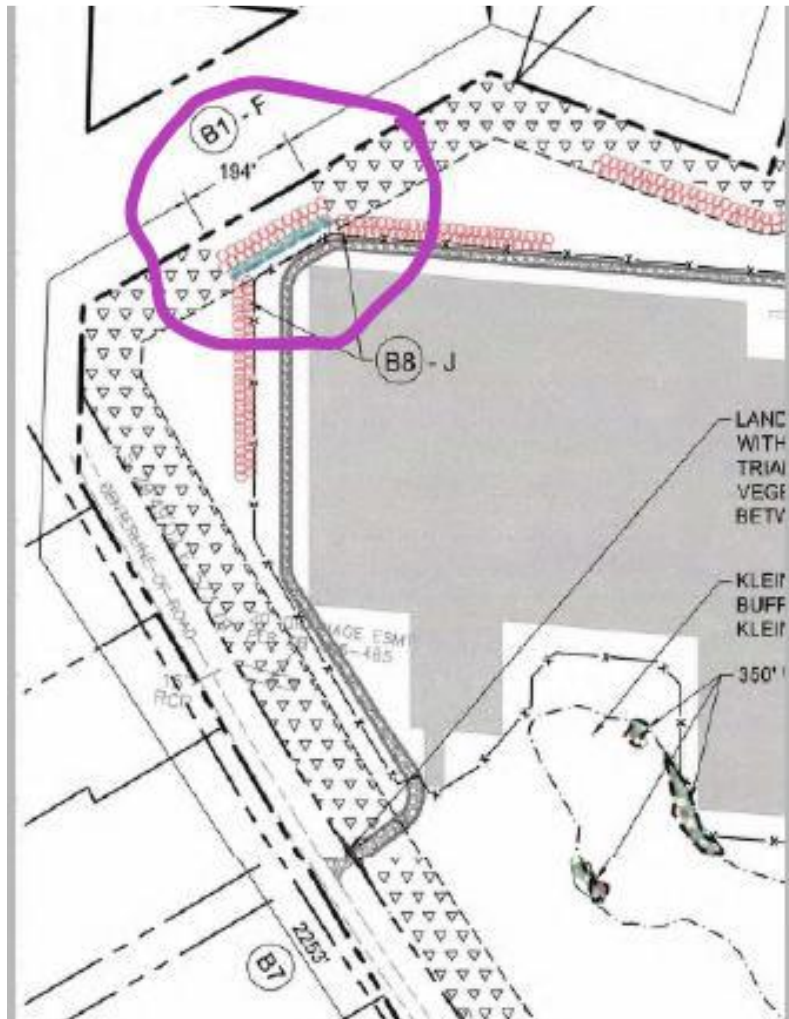
The gap area along Joyner Road needs to be planted. The Committee is willing to allow plantings that are consistent with the existing Loblolly Pine buffer to be substituted for the plantings shown on the plan. CCSWCD Staff recommends these be planted at 8 x 10 spacing.



NC 102 will plant 30 additional American Holly at a height of 10 feet in this gap area. This will supplement the previous planting done against the fence line. To be completed week of June 7, 2021

2. B8-J Elective Understory Tree Buffer

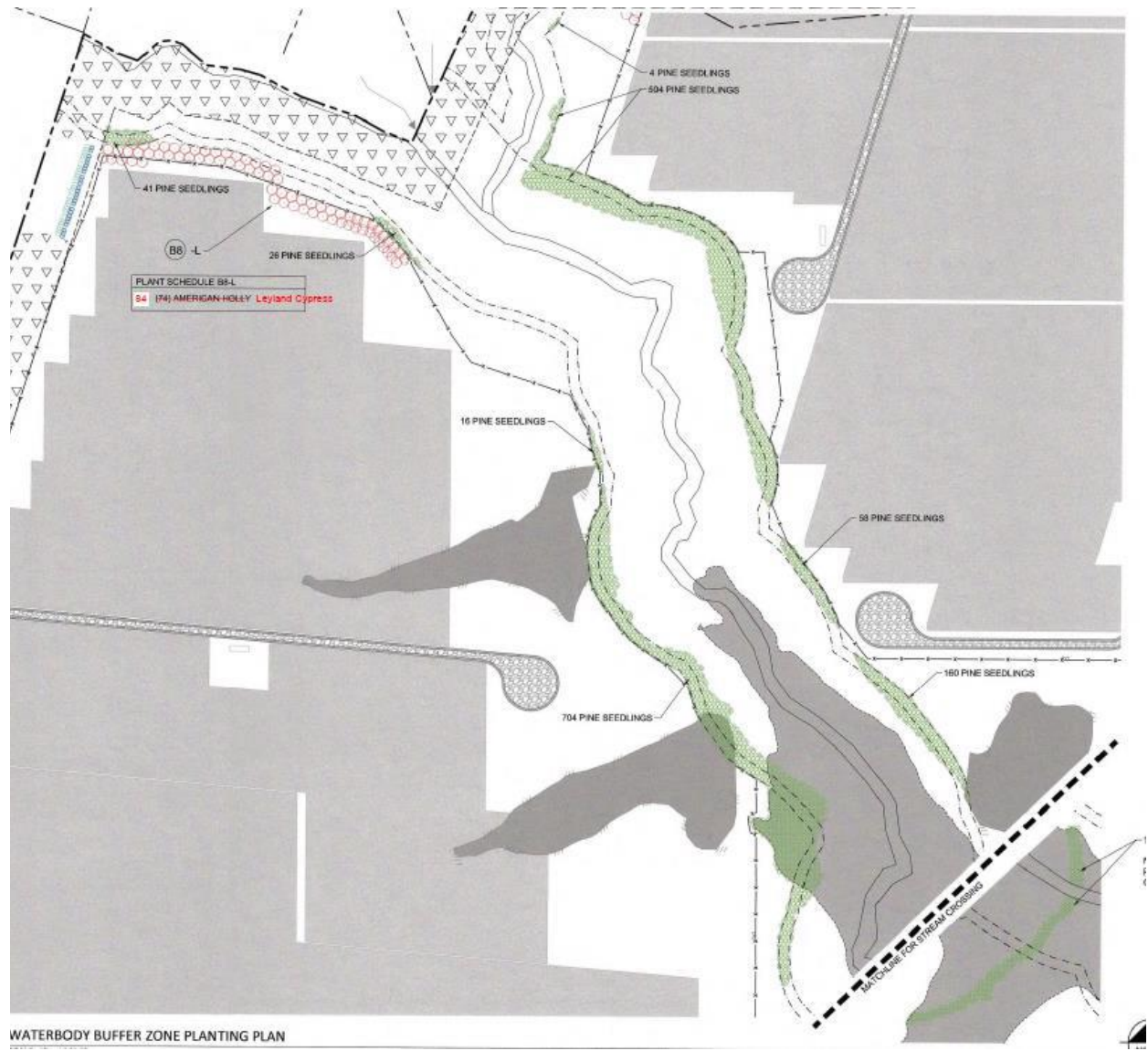
Left side of access road where house is adjacent to fence. This area needs to be planted a minimum of 60 feet on either side of the corner post. The Committee is willing to allow additional Leyland Cypress to be used in this area to create an evergreen buffer for the residential property. Plantings should be installed interior to the fence on the solar farm side to allow appropriate room for growth.



NC 102 will plant 32 additional Leyland Cypress at a height of 8 to 10 feet along the interior of the fence line. To be completed week of June 7, 2021.

3. Stream/Wetland and Floodplain Restoration Areas – Green areas on plan

Additional evidence needs to be provided that the pine seedlings were planted in accordance with the planting schedule throughout the entire restoration area. Plantings should be flagged, and a series of photos provided for the green areas shown on the plan above. The Committee would like for county staff members to visit the site once the plants are flagged in all the stream/floodplain restoration areas to confirm planting at the proper density and per the approved CCSWCD Restoration Plan.



NC 102 has replanted 1725 Loblolly Seedlings these areas and has flagged all replanted trees plus added flags to previously planted seedlings. In total approximately 2500 flags have been deployed. Evidence of this work is provided in the series of photographs attached.

Stream/Wetland Buffer Restoration.









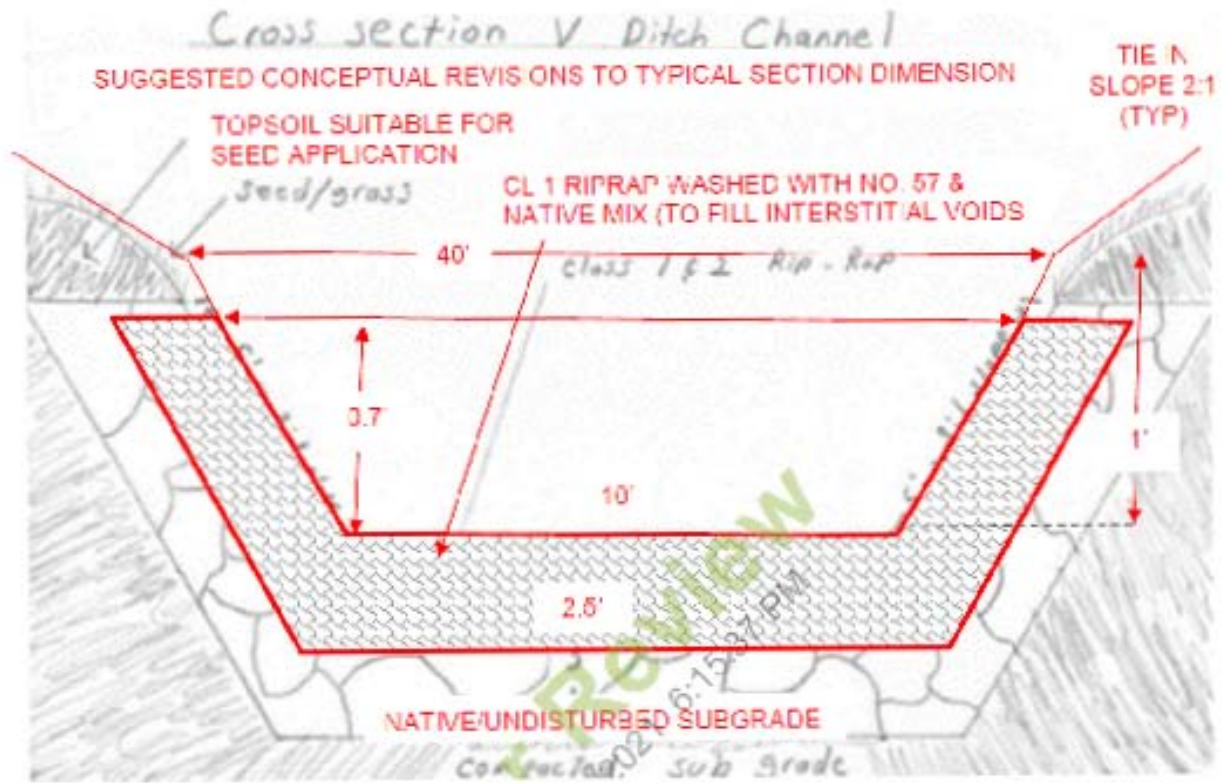
4. South America Drainage Basins

Drainage basin areas, need to be seeded and stabilized. Pictures below are of the basin in South America where excessive mulch has been installed. CCSWCD Staff suggests using Kentucky 31 Fescue covered with straw to prevent washout. Mulch needs to be removed from these areas prior to seeding.



In follow up dialogue it was indicated that there were 2 primary areas of concern. The NC 102 project intends to clean up these areas and install RipRap lined V Ditch Channels in these locations, see detail below. Additionally, a Technical Memorandum has been provided by Stantec to further detail this work.

Figure 2 – Suggested design considerations (dimension)



Memo

To: Cabarrus County Planning and Zoning Commission
From: Susie Morris, Planning and Zoning Manager
cc: File
Date: 5/26/2021
Re: Proposed Text Amendments (Chapter 4, Chapter 7 and Chapter 16)

Attached you will find proposed text changes. The changes address the following:

Chapter 4 Overlays

The proposed amendment to Chapter 4 is to clean up language from a past amendment. The language needs to be deleted to be consistent with the language stated in Chapter 5.

Chapter 7 Performance Based Standards

The proposed amendment to Chapter 7 is related to the development standards for Accessory Dwelling Units (ADUs).

The amendment allows additional flexibility with placement of the ADU. Historically, ADUs were placed in close proximity to the primary structure so that care takers would be nearby in an emergency. Larger properties are being purchased with the intent of accommodating additional distance between the primary structure and the ADU.

Chapter 16 Flood Damage Prevention

The proposed amendments incorporate current enabling statutes and add language to address auto-adoption of new maps so that the ordinance does not have to be amended each time there is a mapping change. The update language was provided by NCDDEM.

AMEND Section 7-3 Uses Permitted Based on Standards (PBS) as follows:

#1 Accessory Building, Accessory Dwelling Unit and Swimming Pools Accessory to Single Family Residential

- a. Residential accessory dwelling units in the AO, CR, LDR, MDR and HDR districts shall not exceed fifty (50) percent of the square footage of the base ~~floor~~ area **of the primary structure (BAS)** as listed on the Cabarrus County Tax Card. ~~In residential districts, the accessory dwelling unit shall be sited to the rear of the primary structure or to the side as a secondary option.~~ If sited as part of a commercial or industrial building, the accessory dwelling unit shall be incorporated into the overall building design and shall not exceed twenty five (25) percent of the structure in which it is located.

AMEND Chapter 4, Section 4-10, 15 as follows:

15. Where the Waterbody Buffer Zone or no build buffer impacts or is part of a lot, a note shall be placed on the plat or site plan and a restriction shall become part of the deed for the property stating that said property is subject to the Waterbody Buffer Zone.

- a. Land within a stream buffer shall not be used to meet the minimum area requirements for lots that are one acre or less.
- b. If a lot is greater than one acre in area, ~~except where lots are greater than one acre in area,~~ the buffer area may be used to meet the minimum lot size requirements, however, at least 50 percent of the lot shall remain outside the stream buffer area.

AMEND Chapter 16 as follows:

DELETE current Section A. Statutory Authorization and **REPLACE** with new Section A.

~~The Legislature of the State of North Carolina has in Part 6, Article 21 of Chapter 143; Parts 3 and 4 of Article 18 of Chapter 153A; and Part 121, Article 6 of Chapter 153A of the North Carolina General Statutes, delegated to local governmental units the responsibility to adopt regulations designed to promote the public health, safety, and general welfare.~~

The Legislature of the State of North Carolina has in Part 6, Article 21 of Chapter 143; Article 6 of Chapter 153A; Article 8 of Chapter 160A; and Article 7, 9, and 11 of Chapter 160D of the North Carolina General Statutes, delegated to local governmental units the authority to adopt regulations designed to promote the public health, safety, and general welfare.

REVISE Part 3, General Provisions, Section B

The Special Flood Hazard Areas are those identified under the Cooperating Technical State (CTS) agreement between the State of North Carolina and FEMA in its FIS dated November 5, 2008 for Cabarrus County and associated DFIRM panels dated November 5, 2008, March 2, 2009, June 16, 2009, February 19, 2014 and November 16, 2018, including any digital data developed as part of the FIS, which are adopted by reference and declared a part of this ordinance **and all revisions thereto**. ~~Future revisions to the FIS and DFIRM panels that do not change flood hazard data within the jurisdictional authority of Cabarrus County are also adopted by reference and declared a part of this ordinance.~~