



## Cabarrus County Government

---

Cabarrus County Planning and Zoning Commission  
Tuesday, October 11, 2022 @ 6:30 p.m.  
Board of Commissioners Meeting Room  
Cabarrus County Governmental Center

### Agenda

1. Oath of Office to Re-Appointed Member
2. Roll Call
3. Approval of September 13, 2022, meeting minutes.
4. New Business Planning Board Function:
  - RZON2022-00004 – Request to rezone property from Limited Commercial (LC) district to Countryside Residential (CR) District. Owners are Larry & Regina Lewis. Applicant is Jerry Lewis. Address is 672 NC Hwy 24/27 E (PIN: 5534-38-9978).
5. New Business Board of Adjustment Function:
  - SUSE2022-00014 - Request to construct a Wireless Telecommunication Tower (WTC). Applicant is PeakNet, Owner is Edward D. Messimer Trust. Address is 7615 Tuckaseegee Road (PIN 4693-26-5101).
  - APPL2020-00002 - Appeal of Notice of Violation for operating an illegal salvage yard, landfill, and fill in the SFHA. Appellants are John C. and Michelle McGraw. Property address is 7005 Flowes Store Road. PIN 5537-56-4049.
6. Legal Update
7. Director's Report
8. Adjourn

Planning and Zoning Commission  
Minutes  
September 13, 2022

Planning and Zoning Commission Minutes

September 13, 2022

Mr. Adam Dagenhart, Chair, called the meeting to order at 6:32 p.m. Members present, in addition to the Chair, were Mr. Jeff Corley, Ms. Holly Grimsley, Mr. David Hudspeth, Ms. Ingrid Nurse, Mr. Charles Paxton, Mr. Chris Pinto, Mr. Brett Rockett and Mr. Stephen Wise. Attending from the Planning and Zoning Division were, Ms. Susie Morris, Planning and Zoning Manager, Ms. Arlena Roberts, Clerk to the Board, Mr. David Goldberg, Deputy County Attorney and Mr. Rich Koch, County Attorney.

The Oath of Office was administered to reappointed members, Mr. Jeffrey Corley, and Mr. Charles Paxton.

**Roll Call**

**Approval of Minutes and Granting Order**

Approval of July 12, 2022, Planning and Zoning Commission Meeting Minutes.

There being no corrections or additions to the minutes, Ms. Ingrid Nurse **MOTIONED**, **SECONDED** by Ms. Holly Grimsley to **APPROVE** the July 12, 2022, meeting minutes. The vote was unanimous.

Approval of the Granting Order with Finding of Facts for VARN2022-0002, request for variance from the separation distance of tower from property lines or residential structures and the landscaping requirements for a Wireless Telecommunications Tower facility. Applicant is Cabarrus County. Address is 4300 Gold Hill Road East (PIN: 6603-12-8036)

There being no corrections or additions to the Granting Order or Findings of Fact, Mr. Steve Wise **MOTIONED**, **SECONDED** by Mr. David Hudspeth to **APPROVE** the Granting Order with Finding of Facts for VARN2022-0002. The vote was unanimous.

**New Business Board of Adjustment Function:**

APPL2020-00001 – Appeal of a Notice of Violation – Operation of auto repair in the AO district without proper permits. The address associated with the subject property is 10195 Archer Road Davidson, NC 28036 (PIN:4674-82-7212) **Request to Table**.

Planning and Zoning Commission  
Minutes  
September 13, 2022

Ms. Susie Morris, Planning and Zoning Board addressed the Board stating that the applicant's attorney has asked that this be tabled. We are unsure exactly of the date that it will come back to the Board. Apparently, his client has some trips schedule out of town. When it does come back to the Board, we will resend the letters. Typically, we table to a specific date and time once it has been advertised. Unfortunately, we are not able to do that at this time. We will send letters back out to the adjacent neighbors.

We have had calls about this, the sign is up, and it will stay up, and we will continue to answer questions as they come up about the sign. The applicant's attorney is here.

Mr. Dutch Entwistle, Attorney, Hartsell and Williams, PA., addressed the Board stating that he did not have anything to add, he is here for the respondent. He said Ms. Morris has done a great job walking us through the basics of our effort of continuous. He looks forward to working with the Board.

The Chair asked how do we table if we do not have an end date, do we rescind it?

Ms. Morris said table it indefinitely.

There being no further questions or comments, Mr. Jeffrey Corley **MOTIONED, SECONDED** by Mr. Charles Paxton to table APPL2020-00001 – Appeal of a Notice of Violation until it is brought back to the Board. The vote was unanimous.

**New Business Planning Board Function:**

The Chair introduced the Harrisburg Area Land Use Plan (HALUP) Review 2022.

Ms. Susie Morris addressed the Board presenting the Harrisburg Area Land Use Plan Review 2022.

As part of the Land Use Plans and the new legislation, land use plans periodically are supposed to be reviewed. In talking to the School of Government, there really is no procedure on how to do this. There really is no procedure on how to adopt land use plans either. Everybody pretty much follows the same standards that we do for rezonings. We have the public hearings, and we hold the public meetings to gather the input, but there is no defined process. What you will be seeing is that periodically we will bring the land use plans to the Board, doing reviews of them to see if anything needs to be updated.

We started with the easy one, which is the Harrisburg Land Use Plan (HALUP). We co-adopted that plan in July 2018. As the Board may recall, we amended that plan at the Town's request in anticipation of their UDO rewrite in April 2022. Since that time, we have had three rezoning requests in that particular area (since 2016), and of those, two were consistent with the plan and one was not consistent.

Planning and Zoning Commission  
Minutes  
September 13, 2022

The reason that this is important is because if the Board approves a rezoning that is not consistent with the plan, that plan is essentially automatically amended.

What this will do is allow people to be able to see where those automatic amendments have taken place and then when the land use plan is updated the next time, all of those changes will be incorporated into the plan at that time. We are going to add it in as a supplement to the plan so that people can see what status those cases are, and because if they look at a map, it is not going to exactly show up on that map.

For example, if the Board remembers, the one back off of Mulberry and Homestead, all of the neighbors got together, and they filed that petition for 100 plus acres. That was not consistent with the land use plan, but all those residential houses were there, they all were nonconforming, they could not do anything, they could not get financing.

So, that made sense, and that is okay. But if somebody comes in and is looking at industrial for that area, that is what it says now, but that now, is residential versus light industrial. So, it is just a way to put that information out there, and then, again, it would be updated once the plan is updated to reflect whatever those changes are.

In discussions with legal, it does not sound like it needs to go to the Board of Commissioners. She thinks it may stop here with this Board. But the requested action would be for a motion to add this information as a supplemental document available with that plan. There are no substantive changes or anything like that proposed at this time to the text, everything with that is good. It is just adding that list and those three maps in, because these are the land use maps. This one is the one we were just talking about, and that one instead of being shown as OI, she thinks is what it was. It would be shown as residential.

The Chair said AO.

Ms. Morris thinks the original zoning and land use on it was OI and that was all done as part of the land use plan as well. But that chunk, the next time it is updated would be reflected as residential, because that area never really turned over like everybody thought it would in that close proximity to all of the industrial and to the rail line; it just did not happen. Sometimes we anticipate that things are going to happen and then they do not. That is fine, but based on the current statutes, if there is something that is not consistent, it is an automatic amendment to the land use plan.

There being no further questions or comments, Mr. Brent Rockett **MOTIONED, SECONDED** by Ms. Holly Grimsley to approve the supplemental documents to the land use plan. The vote was unanimous.

The Planning and Zoning Manager, said the next item is the selection of the Chair, Vice-Chair and second Vice-Chair. Ms. Morris opened up nominations for the Chair for the 2022- 2023 year.

Planning and Zoning Commission  
Minutes  
September 13, 2022

Mr. Charles Paxton **ominated** Mr. Adam Dagenhart, as Chair of the Planning and Zoning Commission. There being no other nominations, Ms. Holly Grimsley **SECONDED** the nomination. The vote was unanimous.

Ms. Morris turned the meeting over to the Chair, Mr. Adam Dagenhart.

The Chair asked if there were any nominations for Vice Chair.

Mr. Brent Rockett, **ominated** Mr. Charles Paxton as Vice-Chair of the Planning and Zoning Commission. There being no other nominations, Ms. Holly Grimsley, **SECONDED** the nomination. The vote was unanimous.

Mr. Steve Wise **ominated** Mr. Jeffrey Corley as second Vice Chair of the Planning and Zoning Commission.

Mr. Corley said for full disclosure to the Board, he is being sworn back in tonight but as soon as a replacement is found he is going to be leaving. He is happy to serve on that position for as long as he is here.

There being no other nominations, Ms. Holly Grimsley **SECONDED** the nomination. The vote was unanimous.

#### **No Legal Update**

Mr. David Goldberg, Deputy County Attorney, addressed the Board stating that right now he has two outstanding pieces of litigation. Ms. Arstark has filed an appeal as expected. Nothing that calls upon this Board at this point, other than there were allegations of conflict of interest that we will be dealing with and a couple of other procedural matters. It will be a while before this really gets moving, he thinks.

The other is Mr. Radford (sawmill case) that was here a couple of months ago and withdrew his appeal. We are now in enforcement proceedings in Superior Court. After he withdrew, we tried citations and that did not really take. We are waiting on a preliminary injunction. We had a hearing against his attorney to get a preliminary injunction to halt the operation of the sawmill while the case moves forward. It has actually been a couple of weeks since the hearing and the Judge said he was going to get back to us, but we have not heard anything.

He said that is the problem with the Superior Court Judge, they travel the circuit, and once they leave the county, it is pretty hard to get them to come back. Especially, when they have to write a tough order, so we are waiting to hear back on that. We will keep you updated along the way, there should be some interesting days ahead.

Mr. Richard Koch, County Attorney, addressed the Board stating that we have ten more days

Planning and Zoning Commission  
Minutes  
September 13, 2022

until the appeal period expires on the Shelly case. If he lets it go, which Mr. Koch is hoping he will, that will finally be the end of that case.

**No Directors Report**

Ms. Susie Morris, Planning and Zoning Manager addressed the Board stating that she has two things for this evening. One was actually included in the Board packet, that is the proposed Planning and Zoning Commission realignment.

What Staff is proposing is to use a different map from what is currently being used. There have been so many annexations that our northwest area, a lot of it is now Kannapolis. So, it is pretty difficult to find people there. In the Central Area, there have been a lot of annexations down toward that area. The land and parcels that we had are dwindling.

What we are going to propose to the Board of Commissioners, would be that the proposed member assignments better align with the annexation agreements that are in place, and also the proposed utility service areas.

What that would mean for this Board, would be that the Central Area Plan representative would be removed and that would not be replaced because it is part of the Concord area. The Mount Pleasant area that you see would be a new area. We happen to have a current member that could fill that slot, and that would be Mr. Dagenhart. He would represent Mount Pleasant. The Northwest area position is currently vacant and that would not be replaced, that would become part of the Kannapolis area.

We currently have two at-large members, the new at-large members would be at three. We would remove the two positions (Central Area and Northwest Area). There would be an at-large member position, a new one. That brings the actual area representatives to a total of nine, which is what we currently have and then there would be three at-large alternate positions.

Hopefully, this will open up some additional opportunities for us to solicit members and then would also allow for better representation in those planning areas.

We have been talking about this for a couple of years. Mount Pleasant has adopted their own land use plan. We would like to co-adopt that plan and this would correspond to that area. The yellow is the Eastern Area. Kannapolis has their own plan, and she thinks it was a 2015 plan and she does not know if they are updating that.

Concord's plan she thinks was a 2035 plan. We have the co-adopted one with Harrisburg. The Town of Midland, we have a plan there, but they also co-adopted their own plan which is a 2030 plan. These boundaries would better reflect the land use plan areas, because essentially, with Concord, Kannapolis and Harrisburg, anything that is in their utility service boundary eventually will be in their municipal limits.

Planning and Zoning Commission  
Minutes  
September 13, 2022

The same thing with Mount Pleasant, eventually Mount Pleasant's utility service area will probably expand, once it actually reaches the area that they are focusing on now. As you all know, once you get into the eastern portion of the County, you are going to need utilities to do anything there besides just single family unless you come in from Rowan County.

There were some adjustments with Concord and Midland and those were reflected in this map. Hopefully now, this covers not only land use planning areas but also annexation areas and service areas. There is a little bit more consistency and again, this proposal also opens up additional opportunities versus those areas that were just becoming so small because of the annexations.

Again, the only changes would be that Mr. Corley would move to an at-large member position. Mr. Dagenhart would move to the Mount Pleasant position and so we would have one vacancy there. We currently have one vacancy anyway, but it is in that northwest corner. So, hopefully with that being an at-large member position, we can talk with our alternates to see if any of them would like to move up and then we would be looking for an alternate.

Mr. Crutchfield had said that he was not sure whether he would be able to stay on the Board after November, so we might be looking for a Midland person.

But, if we have alternate positions, that is where we want to try to move people to for the succession planning and then also so that they can learn and then move up. She asked if there were any questions. We still end up with the same number of regular members, and the same number of alternate members. This really is just for information. It will be based on the Board of Commissioners decision because they are the ones who appoint the members. She just wanted this Board to see it before it went to the Board of Commissioners.

Ms. Morris said the School of Government is gearing back up for their Planning and Zoning Commission member trainings. They are having one Planning and Zoning Board basics, which essentially is the legislative side of the house. If anyone is interested in that one, there is a session on Thursday, September 29, 2022, from 1:00 to 3:30 p.m. and another session on Thursday, October 6, 2022, from 5:30 to 8:00 p.m.

If you would like to attend, the training is virtual, and you would login from home. We can handle getting you signed up. If you would let me or Lynn know, we can get you registered, the cost is \$85.00 per person so if you would like to attend, please make sure it is a time that you can attend.

The other training will be on Board of Adjustment Basics, which essentially covers the quasi-judicial matters. The daytime session is Thursday, October 20, 2022, from 1:00 to 3:30 pm. The evening session is October 27, 2022, from 5:30 to 8:00 p.m.

The third session is on Preservation Commission which is essentially quasi-judicial but since

Planning and Zoning Commission  
Minutes  
September 13, 2022

you do not deal with that side of the house just yet, that one would be something you would pay for yourself if you were interested. I can give you the information.

If you are interested, please let me or Lynn know by the end of this week for the session on September 29<sup>th</sup>. They have changed over to a different registration system, and we would want to make sure we have you registered, and everything is good and that we have enough time to fix anything if we need to with the School of Government.

She asked if there was anyone was that interested at this time.

Mr. Brent Rockett asked Ms. Morris to email the information.

Ms. Morris said she would. She said it will be the live version of the presentations that we went through.

She said with the registration and their new system, she could not renew our subscription. Hopefully, they have that worked out now, and she will be renewing the subscription and then we will start doing some additional training and have that available for any new members that come on the Board like we did before. That way they will understand what your role is and how to participate appropriately with the cases and the legalities of the different types of cases.

There being no further discussion, Ms. Holly Grimsley **MOTIONED, SECONDED** by Ms. Ingrid Nurse to adjourn the meeting at 7:04 p.m. The vote was unanimous.

**APPROVED BY:**

Mr. Adam Dagenhart

**SUBMITTED BY:**

Arlena B. Roberts

**ATTEST BY:**

Susie Morris, Planning and Zoning Manager

PLANNING STAFF REPORT  
CABARRUS COUNTY PLANNING AND ZONING COMMISSION  
10/11/2022

Staff Use Only: \_\_\_\_\_  
Approved: \_\_\_\_\_  
Denied: \_\_\_\_\_  
Tabled: \_\_\_\_\_

**Petition: RZON2022-00004 Rezoning**

Applicant Information: Jerry J. Lewis  
1548 Mark Drive  
Concord, NC 28025

Owner Information: Larry & Regina Lewis  
1225 Greylyn Drive  
Charlotte, NC 28226

Existing Zoning: LC (Limited Commercial)

Proposed Zoning: CR (Countryside Residential)

Permitted Uses: All uses permitted in the CR zoning district would be permitted on the subject property.

Parcel ID Numbers: 5534-38-5978

Property Addresses: 672 NC Highway 24-27 East

Area in Acres: ± 0.92

Site Description: Access to the property is currently provided through a 60-foot right of way adjacent to the subject property. Two storage buildings are located towards the rear of the property. The driveway for the residence on the adjoining property to the east traverses the subject property.  
  
The subject property is not located within a watershed or in the flood plain.

Adjacent Land Use: North: Agricultural & Vacant  
East: Residential  
South: Vacant  
West: Residential & Commercial (Action Glass)

Surrounding Zoning: North: Limited Commercial (LC)  
East: LC, Countryside Residential (CR), and Midland Single Family Residential (SFR)  
South: CR  
West: LC, CR, and SFR

Utility Service Provider: Currently, the subject property is not served by public sewer. Public water is available and the applicant intends to tap on.

## Exhibits

- EXHIBIT A – Staff Report
- EXHIBIT B – Application
- EXHIBIT C – Property Maps
- EXHIBIT D – Zoning Use Comparison Table
- EXHIBIT E – Adjacent Property Owner & Property Owner Letters
- EXHIBIT F – Neighborhood Meeting Information
- EXHIBIT G – Historic Maps
- EXHIBIT H – Midland Future Land Use Plan

## Intent of Zoning Districts

### **PROPOSED DISTRICT: COUNTRYSIDE RESIDENTIAL (CR)**

Lands in this district have a strong rural, pastoral feel. Natural environmental elements such as tree lines, small ponds, rock formations, and manmade elements such as pasture fencing are to be retained, if at all possible. Although the area is capable of handling higher densities of development, development is kept at very low overall densities. Development includes only the standard single family detached dwelling.

#### **RATIONALE**

This land use district was created as a direct result of the County's systematic area planning process. As a reaction to the growth of the past decade (as much as 80% in some townships) many residents are anxious to see their areas retain the appeal that inspired the resident to make his or her original investment. This district helps implement a growth management philosophy before the fact, rather than after. In summary, the principle purpose of this district is to provide some land area in the County for a permanent country, rural residential life style.

### **EXISTING DISTRICT: LIMITED COMMERCIAL (LC)**

This district is intended to accommodate relatively small scale commercial and office development at intensities complementary to residential land uses.

#### **RATIONALE**

This district is used to provide both the convenience of neighborhood oriented goods and services and the permanent protection of adjacent or intermixed residential areas by permitting only a limited range of commercial activities. The district should be located near municipal boundary lines or areas of commercial growth and may border general commercial districts, light industrial or high density residential/mixed use districts. When bordering residential districts or residential developments, care should be taken to assure natural or

manmade buffering and architectural compatibility, so the nonresidential activities are not a nuisance to residential uses.

### Agency Review Comments

**Planning Review:**

*Staff Report, Phillip Collins, Senior Planner Cabarrus County*

**Fire Marshal Review:**

*No comments, Jacob Thompson, County Fire Marshal*

**Soil and Water Review:**

*No comments. Tammi Remsburg, Cabarrus County Resource Conservation Manager*

**EMS Review:**

*No comments. Justin Brines, Cabarrus County EMS Director*

**Sheriff's Office Review:**

*No comments. Ray Gilleland, Cabarrus County Sheriff's Lieutenant*

**NCDOT Review:**

*We have no opposition to the proposed rezoning, Marc Morgan, NCDOT*

**Cabarrus Health Alliance:**

*Approved. Chrystal Swinger, Cabarrus Health Alliance*

**Midland Planning:**

The property is located in an area designated for “Neighborhood” uses per the Future Land Use Plan. However, the town did not want to broad brush designate the entire corridor as “Commercial” when they revised the plan a few years ago and leaving some areas designated for “Neighborhood” to give the town more oversite when it comes to commercial rezoning requests. The town prefers to see single family residential uses develop within major subdivisions. Not here and there along a major thoroughfare that we expect will continue to develop commercially in the long run. We do not support the rezoning. *Kassie Watts, Midland Planning, Zoning and Subdivision Administrator*

### Land Use Plan Analysis

The subject property is located within the boundaries of the Midland Planning Area. The Midland Area Land Use Plan (MALUP) recommends the subject property be developed with limited commercial uses. The MALUP states that the Limited Commercial district is reflective of the existing commercial uses in Midland. These areas shall be of a variety of commercial uses ranging in intensity and will not incorporate residential areas. Large-scale commercial development in these areas should be considered carefully on a case-by-case basis.

## Conclusions

- The front portion of the site is currently vacant; however, the rear of the site is occupied by two storage buildings.
- According to aerial photo data, the front of the subject property has always been vacant, and the two accessory buildings appear to have been placed on the subject property sometime between 2001 and 2005.
- The rear portion of the subject property is zoned CR while the front portion of the property is zoned LC. It has been zoned this way since 2003 when the rear portion of the lot was zoned Low Density Residential (LDR). The historic zoning map from 1987 indicates that the entire property was zoned LDR.
- Currently, the front portion of the lot would be considered a conforming lot under the LC zoning designation.
- If the entire lot were rezoned to CR, it would no longer be considered a conforming lot as it is less than one acre in size and the minimum average lot width is less than 150 feet.
- Rezoning the subject property would allow the property owner to construct a residence on the property.
- The applicant states in his application that the lot is too small to accommodate a commercial use and that a commercial use is not consistent with the surrounding properties.
- According to the historic zoning maps, the front portion of the subject property appears to have been zoned LC since 1993. The rear portion of the subject property was zoned LDR until 2005 when it was changed to CR. The LC zoning district does not permit single family residential uses. There are two storage buildings located on the rear of the subject property. Aerial photography reveals that the buildings were placed on the property between 2001 and 2005. There are no permits on file for the buildings; therefore, these structures are considered non-conforming uses. Rezoning of the subject property to CR would allow the property owner to construct a residence and permit the storage buildings as accessory structures. This would eliminate the non-conforming status of the subject property.
- The proposed rezoning request is inconsistent with the recommendations of the Midland Area Land Use Plan for the subject property. However, single family detached residential uses are not permitted within the Limited Commercial (LC) district and the applicant is proposing to construct a residence on the property.

This is a conventional rezoning request; therefore, all uses permitted in the CR zoning district would be allowed on the subject property if approved. The Planning and Zoning Commission should consider all the information provided and determine if the proposed rezoning is consistent with the Commission's vision for this area of Cabarrus County.



## CABARRUS COUNTY REZONING APPLICATION

STAFF USE ONLY:

Application/Accela#: RZON2022-00004Reviewed by: PECDate: 8/23/22Amount Paid: \$400

### INSTRUCTIONS/PROCEDURES:

1. Schedule a pre-application meeting with Staff to discuss the procedures and requirements for a zoning map amendment request.
2. Submit a complete application for an amendment to the official zoning map to the Planning Division. All applications must include the following:
  - Cabarrus County Land Records printout of all adjacent property owners. This includes properties located across the right-of-way and all on-site easement holders. The list must include owner name, address, and Parcel Identification Number.
  - A recent survey or legal description of the property or area of the property to be considered for rezoning.
  - Neighborhood meeting documentation (minutes and list of attendees).
  - Any additional documents essential for the application to be considered complete. (Determined as part of the pre-application meeting)
3. Submit cash, check, or money order made payable to Cabarrus County.
 

Fees: Residential rezoning request 1 acre or less = \$400.00  
       Residential rezoning request greater than 1 acre = \$400.00 plus \$15 per acre  
       Non-residential rezoning request = \$650.00 plus \$15 acre  
       (Plus, cost of advertising and engineering fees if applicable)  
       (if a 3<sup>rd</sup> submittal is required, an additional review fee will be assessed)

The deadline for submittal is always the same day as the Planning and Zoning Commission Meeting which is the second Tuesday of the month. Applications must be submitted before 2:00 PM that day for consideration on the next available agenda.

**Incomplete applications will be returned to the applicant and will not be processed.**

### PROCESS SUMMARY:

1. Hold a pre-application meeting with Staff to discuss your rezoning request and the map amendment process.
2. Submit a complete application with the appropriate fees to the Cabarrus County Planning Division.

Staff will review your complete application, prepare a staff report, schedule a public meeting date and notify adjacent property owners of the public meeting/public hearing date. A sign advertising the public hearing will also be placed on the property being considered for rezoning.

**Meeting Information:** Meetings are held the second Tuesday of each month at 6:30 PM in the Cabarrus County Governmental Center located in downtown Concord at 65 Church Street, SE.

**Expedited Vote:** A vote of  $\frac{3}{4}$  or more of the members of the Planning and Zoning Commission is considered an Expedited Vote and will constitute a final decision. If approval or denial of a rezoning request is by a vote of less than  $\frac{3}{4}$  of the members, or if an appeal of the decision is filed within 15 days

of the date of the decision, the application will automatically be forwarded to the Board of Commissioners for final consideration at a *de novo* hearing.

**Questions:** Any questions related to rezoning your property or to the rezoning process may be directed to the Planning Division at 704-920-2141, between 8 AM and 5 PM, Monday through Friday.

**SUBJECT PROPERTY INFORMATION:**

Street Address 672 NC HWY E. 24/27  
PIN(s) (10 digit #) 5534-38-5978  
Deed Reference Book 13376 Page 42  
Township # \_\_\_\_\_

**DESCRIPTION OF SUBJECT PROPERTY:**

Size (square feet or acres) .92 AC.  
Street Frontage (feet) 70.65  
Current Land Use of Property VACANT  
Surrounding Land Use North ARGI.  
South ARGI.  
East RESIDENTIAL  
West COMMERCIAL RESIDENTIAL

**REQUEST:**

Change Zoning From LC To CR

Purpose for Request:

CONSTRUCTION OF A PERSONAL  
RESIDENTIAL HOUSE  
ALREADY HAD A PERC TEST  
DONE, LOT IS TO SMALL  
FOR COMMERCIAL USE!

**LAND USE PLAN CONSISTENCY STATEMENT**

Describe how the proposed rezoning meets the land use plan(s) for the subject parcel(s):

NOT CONSISTANT WITH THE  
SURROUNDINGS.

**UTILITY SERVICE:**

Water Supply  Well or  Service Provider \_\_\_\_\_

Wastewater Treatment  Septic Tank(s) or  Service Provider \_\_\_\_\_

**PROPERTY OWNER/AGENT/APPLICANT INFORMATION:**

It is understood by all parties hereto including owner, petitioner, and/or agents that while this application will be carefully considered and reviewed, the burden of proving its need rests with the below named petitioner(s).

I do hereby certify that the information that I have provided for this application is, to the best of my knowledge, true and correct.

**PROPERTY OWNER**

LARRY JAMES LEWIS

1229 OREGON DR.

CITY, STATE, ZIP CODE

**PHONE NUMBER**

**AGENT/APPLICANT**

JERRY JUNIOR LEWIS

1548 MARK DR.

## ADDRESS

**CITY, STATE, ZIP CODE**

PHONE NUMBER

**PHONE NUMBER**

**FAX NUMBER**

lewisays@aol.com

**E-MAIL ADDRESS**

**FAX NUMBER**

jeremy.lewis62963@gmail.com

Signature of Property Owner:

Harry James Lewis

Date: 8/16/2022

8/16/9027

Signature of Property Agent/Applicant:

Applicant: Debra X. Lewis

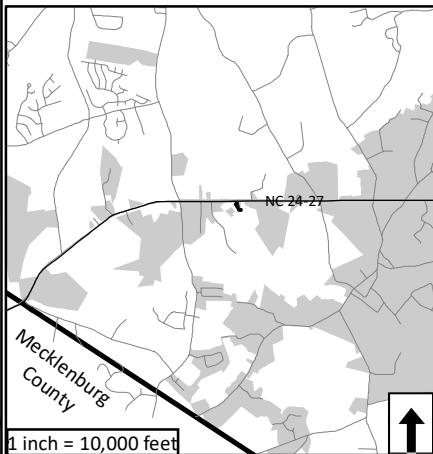
Date: 8/16/2022

## Midland Planning Area

## Existing Zoning



Applicant: Jerry Lewis  
 Owner: Larry Lewis  
 Case: RZON2022-00004  
 Address: 672 NC Highway 24-27 East  
 Purpose: Request to rezone  
     from LC to CR  
 PIN: 5534-38-5978



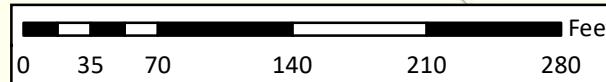
Cabarrus County shall not be held liable for any errors in this data. This includes errors of omission, commission, errors concerning the content of the data, and relative and positional accuracy of the data. These data cannot be construed to be a legal document. Primary sources from which these data were compiled must be consulted for verification of information contained within the data.

Map Prepared by Cabarrus County Planning & Development - October 2022

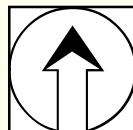
NC HWY 24-27 E

**Subject  
Property**

1 inch = 100 feet



Legend	
Tax Parcels	
Cabarrus County	
Municipal District	
Structures	
AO	
AO-CU	
AO-SU	
CR	
LDR	
LDR-SU	
MDR	
MDR-SU	
HDR	
HDR-SU	
LC	
LC-SU	
GC	
GC-SU	
LI	
LI-SU	
GI	
GI-SU	
OI	
OI-SU	
PUD	



## Midland Planning Area

### Future Land Use

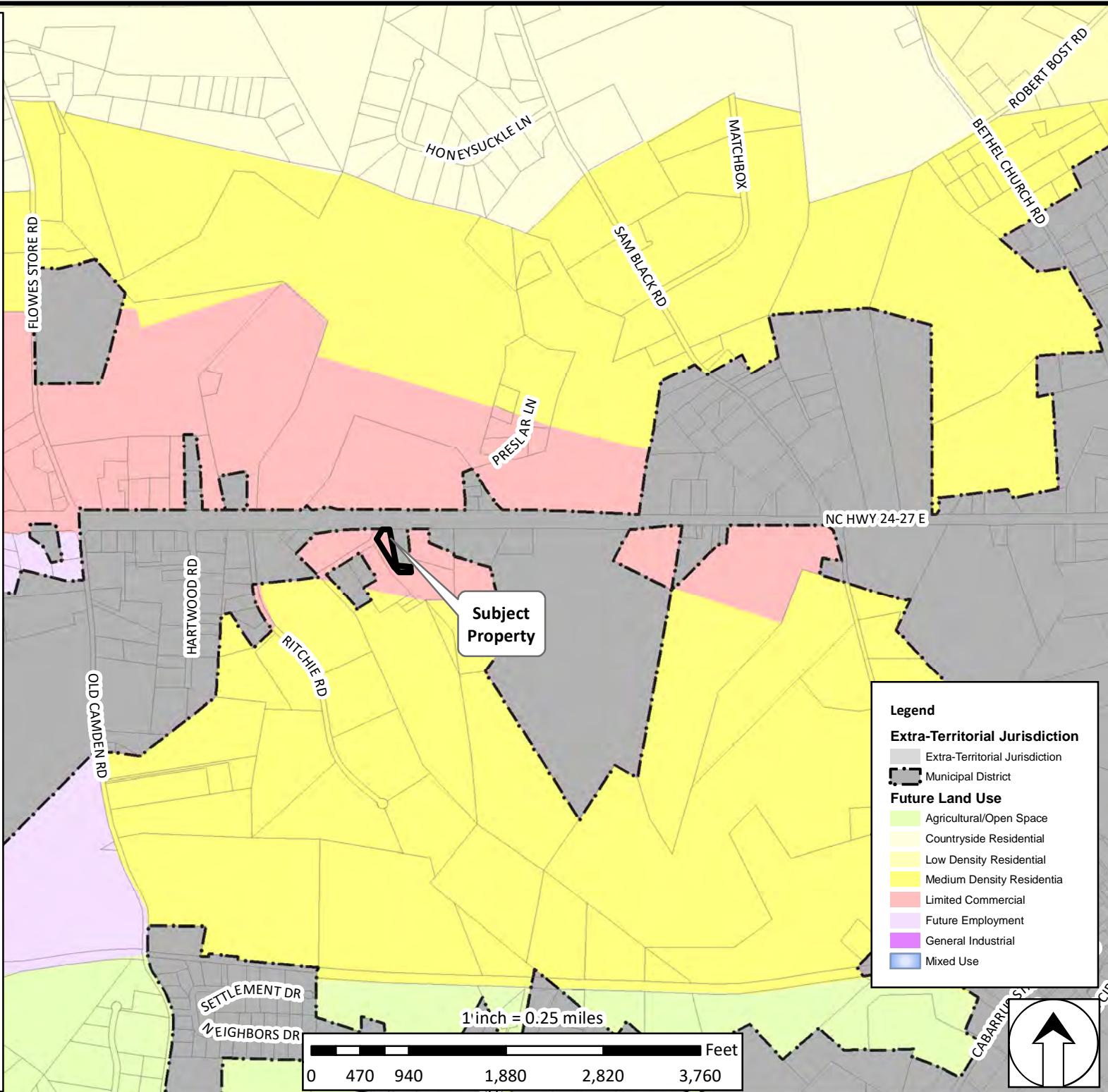


Applicant: Jerry Lewis  
Owner: Larry Lewis  
Case: RZON2022-00004  
Address: 672 NC Highway 24-27 East  
Purpose: Request to rezone  
from LC to CR  
PIN: 5534-38-5978



Cabarrus County shall not be held liable for any errors in this data. This includes errors of omission, commission, errors concerning the content of the data, and relative and positional accuracy of the data. These data cannot be construed to be a legal document. Primary sources from which these data were compiled must be consulted for verification of information contained within the data.

Map Prepared by Cabarrus County Planning & Development - October 2022

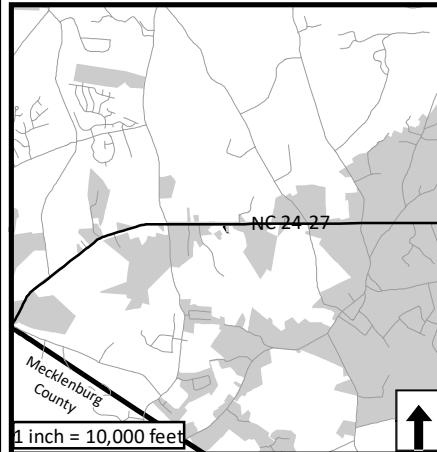


**Midland Planning Area**  
**Aerial Map**



Applicant: Jerry Lewis  
Owner: Larry Lewis  
Case: RZON2022-00004  
Address: 672 NC Highway 24-27 East  
Purpose: Request to rezone  
from LC to CR  
PIN: 5534-38-5978

Cabarrus County  
 Municipal District  
 Tax Parcels



Cabarrus County shall not be held liable for any errors in this data. This includes errors of omission, commission, errors concerning the content of the data, and relative and positional accuracy of the data. These data cannot be construed to be a legal document. Primary sources from which these data were compiled must be consulted for verification of information contained within the data.

Map Prepared by Cabarrus County Planning & Development - October 2022



<b>PERMITTED USE TABLE</b>		
<b>"P" - Permitted, "PBS" – Permitted Based on Standards, "SU"-Special Use</b>		
<b>RESIDENTIAL USES</b>	<b>LC</b>	<b>CR</b>
Family Care Home	P	P
Group Care Facility	P	-
Manufactured Home, Single Section or Multi-Section		MHO Overlay District Required
Manufactured Home Park		MHP Overlay District Required
Multifamily Residential	PBS	
Single Family Detached Residential		P
Townhouses	PBS	
<b>AGRICULTURAL USES</b>	<b>LC</b>	<b>CR</b>
Agriculture, Including Livestock		P
Agriculture Excluding Livestock		P
Agritourism, Accessory to Agriculture		P
Barn, Greenhouse, as Primary Structure		PBS
Dairy Processing		P
Livestock Sales		P
Nursery, Greenhouse	P	P
Scientific Research and Development, Accessory to Agriculture		PBS
<b>ACCESSORY USES</b>	<b>LC</b>	<b>CR</b>
Accessory Dwelling Unit	PBS	PBS
Accessory Building	PBS	PBS
Automated Teller Machine	PBS	
Community Garden, as Accessory Use	PBS	PBS
Ethanol Fuel Production, Residential District, Private Use Only		PBS
Home Occupation, General	PBS	PBS
Home Occupation, Rural		PBS
Ice Production, Dispensing, Accessory to Convenience Store	PBS	PBS
Ice Production, Dispensing, Accessory to Gas Station		PBS
Kennel, Private		PBS
Moving Van, Truck or Trailer Rental, Accessory to Self-Storage	PBS	
Swimming Pool, Accessory to Single Family Residential		PBS
Trail Head, Accessory	PBS	PBS
Wind Energy Facility, Accessory Use, On-Site Use Only		PBS

COMMERCIAL, RETAIL AND OFFICE USES	LC	CR
Animal Hospital	SU	SU
Arcade, Game Room	P	
Auction House		PBS
Automobile Parts, Tires, Accessories	P	
Automobile Rental	PBS	
Automobile Sales, New and Used	PBS	
Bank, Financial Institution, Automated Teller Machine	PBS	
Banquet Hall	P	
Barber, Beauty, Tanning, Nail or Skin Care Salon	P	
Bed and Breakfast	PBS	PBS
Building and Contractor Supply, No Outdoor Storage	P	
Car Wash, Detail Service	P	
Catering Service	P	
Contractor or Trade Shops	PBS	
Convenience Store with Petroleum Sales	P	PBS
Convenience Store without Petroleum Sales	P	PBS
Country Club with Golf Course	PBS	PBS
Crematorium	P	
Day Camp, Summer Camp, Civic Group Camp Facility		SU
Day Camp, Summer Camp, Civic Group Camp Facility	PBS	
Drug Store	P	
Dry-Cleaning Pick-Up Station	P	
Duplex, Commercial Use, Individual Lots	PBS	
Equipment Sales and Service	P	
Farmer's Market	P	
Farm Supply Sales, No Outdoor Storage	P	
Flea Market, Indoor Vendors Only	P	
Funeral Home	P	
Gas Service Station		PBS
Golf Course, Public or Private	PBS	PBS
Gunsmith	P	
Health Club or Fitness Center	P	
Hotels, Motels and Inns	P	
Kennel, Commercial	SU	SU
Laundromat	P	
Locksmith	P	
Manufactured Home Retail Sales	P	
Motorcycle, ATV, Other Motor Vehicle Dealers, New and Used	PBS	
Movie Theater	P	

COMMERCIAL, RETAIL AND OFFICE USES	LC	CR
Moving Van, Truck or Trailer Rental	PBS	
Nursery, Daycare Center	PBS	PBS
Office professional, 30,000 Square Feet or Less	P	
Parking Lot, Parking Garage, Commercial or Private	P	
Pawn Shop	P	
Pet Shop, Grooming, Enclosed Facility	P	
Printing and Reprographic Facility	P	
Reception Facilities		SU
Recreational Facility, Indoor	PBS	
Recreational Facility, Outdoor	SU	SU
Recreational Therapy Facility, Rural Setting		SU
Recyclable Materials Drop Off	PBS	
Repair Garage, Automobile	PBS	
Repair Shop, Small Engine	PBS	
Restaurant, Excluding Drive-thru	P	PBS
Restaurant with Drive-Thru Facility	PBS	
Retail Sales, Shopping Centers, 10,000 Square Feet and Less	P	
Retail Sales, Shopping Centers, 10,000 – 50,000 Square Feet	P	
Reupholstery, Furniture Repair	P	
Sawmill		PBS
Scientific Research and Development	PBS	
Self-Service Storage Facilities	PBS	
Shooting Range, Indoor	PBS	
Shooting Range, with Outdoor Target Practice		SU
Sports and Recreation Instruction or Camp		SU
Sports and Recreation Instruction or Camp	PBS	
Stables, Commercial		PBS
Storage Building Sales, with Display Area	PBS	
Swim Club, Tennis Club, Country Club	PBS	PBS
Tattoo Studio	P	
Taxidermy Studio, No Outdoor Processing	P	
Towing Service, No Towed Vehicle Storage Lot, Office Only, Storage of Tow Trucks, Car Haulers Permitted On-Site	P	
Veterinarian	SU	SU
Wellness Retreat, Wellness Spa		SU
Wireless Telecommunications Services	SU	SU
Wireless Telecommunications Services, Stealth Antennae, 65 Feet or Less	P	P
Wireless Telecommunications Services – Co-location	PBS	PBS

<b>INSTITUTIONAL, CIVIC AND PUBLIC USES</b>	<b>LC</b>	<b>CR</b>
Animal Shelter	SU	SU
Cemetery		PBS
Civic Organization Facility	P	PBS
College, University		SU
College, University	P	
Communications Tower, 911 Communications Tower	PBS	
Communications Tower, 911 Communications Tower		SU
Elementary, Middle and High Schools		SU
Government Buildings, Storage Only	PBS	
Hospital, Ambulatory Surgical Care Facility	P	
Public Cultural Facility	P	PBS
Public Service Facility	SU	SU
Public Use Facility		SU
Public Use Facility	P	
Recreational Trail, Greenway or Blueway, Connector	PBS	PBS
Religious Institution with Total Seating Capacity 351 or more		SU
Religious Institution with Total Seating Capacity 351 or more	P	
Religious Institution with Total Seating Capacity 350 or less		PBS
Religious Institution with Total Seating Capacity 350 or less	P	
Religious Institution with School		SU
Rest Home, Convalescent Home, Nursing Home with 10 Beds or Less		PBS
Rest Home, Convalescent Home, Nursing Home with More Than 10 Beds		SU
Trade and Vocational Schools	SU	
Trail Head, Primary Use Site	PBS	PBS
<b>INDUSTRIAL</b>	<b>LC</b>	<b>CR</b>
Landfill, Demolition, Less Than One Acre	PBS	PBS
Multimedia Production and Distribution Complex		SU
Slaughterhouse, Meat Packing		SU
<b>TEMPORARY USES</b>	<b>LC</b>	<b>CR</b>
Auction, Estate or Asset Liquidation	PBS	PBS
Auction, Livestock		PBS
Dumpsters, Commercial Waste Containers	PBS	PBS
FEMA Trailers, Natural Disaster or Significant Weather Event	PBS	PBS
Itinerant Merchants at Existing Business	PBS	
Mobile Personal Storage Unit, Vacate or Occupy Premise	PBS	PBS

TEMPORARY USES	LC	CR
Mobile Personal Storage Unit, Renovation	PBS	PBS
Seasonal Sale of Agriculture Products, Includes Christmas Trees and Pumpkins	PBS	
Temporary Health Care Structure		PBS
Temporary Residence in Mobile Home During Construction of New Home, Same Site		PBS
Temporary Tent or Temporary Structure, Including Cell on Wheels	PBS	

**Subject Property**

5534-38-5978  
Larry & Regina Lewis  
1225 Grelyn Drive  
Charlotte, NC 28226

**Surrounding Properties**

5534-38-8780  
Houston & Belinda Thomas  
820 NC Highway 24-27, East  
Midland, NC 28107

5534-38-1759  
Lewis Dorton  
513 Eagle Pointe Drive  
Columbia, SC 29229

5534-93-0001  
NTC Management Company LLC  
2940 McManus Road  
Midland, NC 28107

5534-39-6633  
Bethel Milling Co Inc  
1801 NC Highway 27  
Midland, NC 28107

5534-38-6988  
Gary & Hannah Barnhill  
676 NC Highway 24-27 East  
Midland, NC 28107

5534-38-5618  
Lori & Mark Morgan  
664 NC Highway 24-27 East  
Midland, NC 28107



## Cabarrus County Government – Planning and Development Department

---

September 19, 2022

Dear Property Owner:

A Zoning Map Amendment Petition has been filed in our office for property **adjacent** to yours. The properties and specifics of the rezoning are listed below. The Cabarrus County Planning and Zoning Board will consider this petition on Tuesday, October 11<sup>th</sup>, 2022 at 6:30 PM in the 2<sup>nd</sup> floor Commissioner's Chambers of the Cabarrus County Governmental Center, located at 65 Church Street S Concord, NC 28025. A Public Hearing will be conducted and public input will be allowed during that time. If you have any comments about the rezoning, I encourage you to attend this meeting.

<b>Petitioner</b>	<b>Jerry J. Lewis</b>
<b>Petition Number</b>	<b>RZON2022-00004</b>
<b>Property Location</b>	<b>672 NC Highway 24-27, East</b>
<b>Parcel ID Number</b>	<b>5534-38-5978</b>
<b>Existing Zoning</b>	<b>Countryside Residential (CR) &amp; Limited Commercial (LC)</b>
<b>Proposed Zoning Map Change</b>	<b>Countryside Residential (CR)</b>

If you have any questions regarding this petition, or the hearing process, please contact me at Cabarrus County Planning and Development at 704.920.2181.

Sincerely,

A handwritten signature in black ink that reads "Phillip Collins".

Phillip Collins, AICP  
Senior Planner  
Cabarrus County Planning and Development  
704.920.2181



## Cabarrus County Government – Planning and Development Department

---

September 19, 2022

Dear Property Owner:

A Zoning Map Amendment Petition has been filed in our office for your property. The specifics of the request are listed below. The Cabarrus County Planning and Zoning Board will consider this petition on Tuesday, October 11, 2022 at 6:30 PM in the 2<sup>nd</sup> floor Commissioner's Chambers of the Cabarrus County Governmental Center, located at 65 Church Street S Concord, NC 28025. A Public Hearing will be conducted and public input will be allowed during that time. If you have any comments about the rezoning request, I encourage you to attend this meeting.

<b>Petitioner</b>	<b>Jerry J. Lewis</b>
<b>Petition Number</b>	<b>RZON2022-00004</b>
<b>Property Location</b>	<b>672 NC Highway 24-27, East</b>
<b>Parcel ID Number</b>	<b>5534-38-5978</b>
<b>Existing Zoning</b>	<b>Countryside Residential (CR) &amp; Limited Commercial (LC)</b>
<b>Proposed Zoning Map Change</b>	<b>Countryside Residential (CR)</b>

If you have any questions regarding this petition, or the hearing process, please contact me at Cabarrus County Planning and Development at 704.920.2181.

Sincerely,

A handwritten signature in black ink that reads "Phillip Collins".

Phillip Collins, AICP  
Senior Planner  
Cabarrus County Planning and Development  
704.920.2181

Sep 21, 2022 at 10:31:24 AM  
NC-24 E, Cabarrus County



## Neighborhood Meeting Minutes

On August 18, 2022, I mailed all the above a letter stating that I am requesting rezoning the property at 672 Hwy 24/27. Currently it is light commercial, and I am requesting it be rezoned to residential so I can build a house where I am planning on living. Gary Barnhill stressed that he didn't want me to build a house next to him that he wanted to buy the property. Also, Thomas Houston George Jr said he wanted to buy the property. Mark Morgan stated that he is happy to have me for a neighbor. As of 9/16/2022 I have not heard from anyone else. It is 0.92 of an acre you really cannot do much more than put a small house on it. The county did a perk test which passed for a 3 bedroom 2 bathroom house. Thank you for your time.

# REZONING NOTICE

For 672NC Hwy 24/27 E.

Action Glass  
Lindsey Morgan Cochran  
2940 McManus Rd.  
Midland NC 28107

Edward Eugene Eaves  
12400 Sam Black Rd.  
Midland NC 28107

Gary Barnhill  
676 Hwy 24/27 E.  
Midland NC 28107

Thomas Houston George Jr.  
Belinda Thomas  
820 Hwy 24/27 E.  
Midland NC 28107

Lori Morgan  
Mark Morgan  
664 Hwy 24/27 E.  
Midland NC 28107

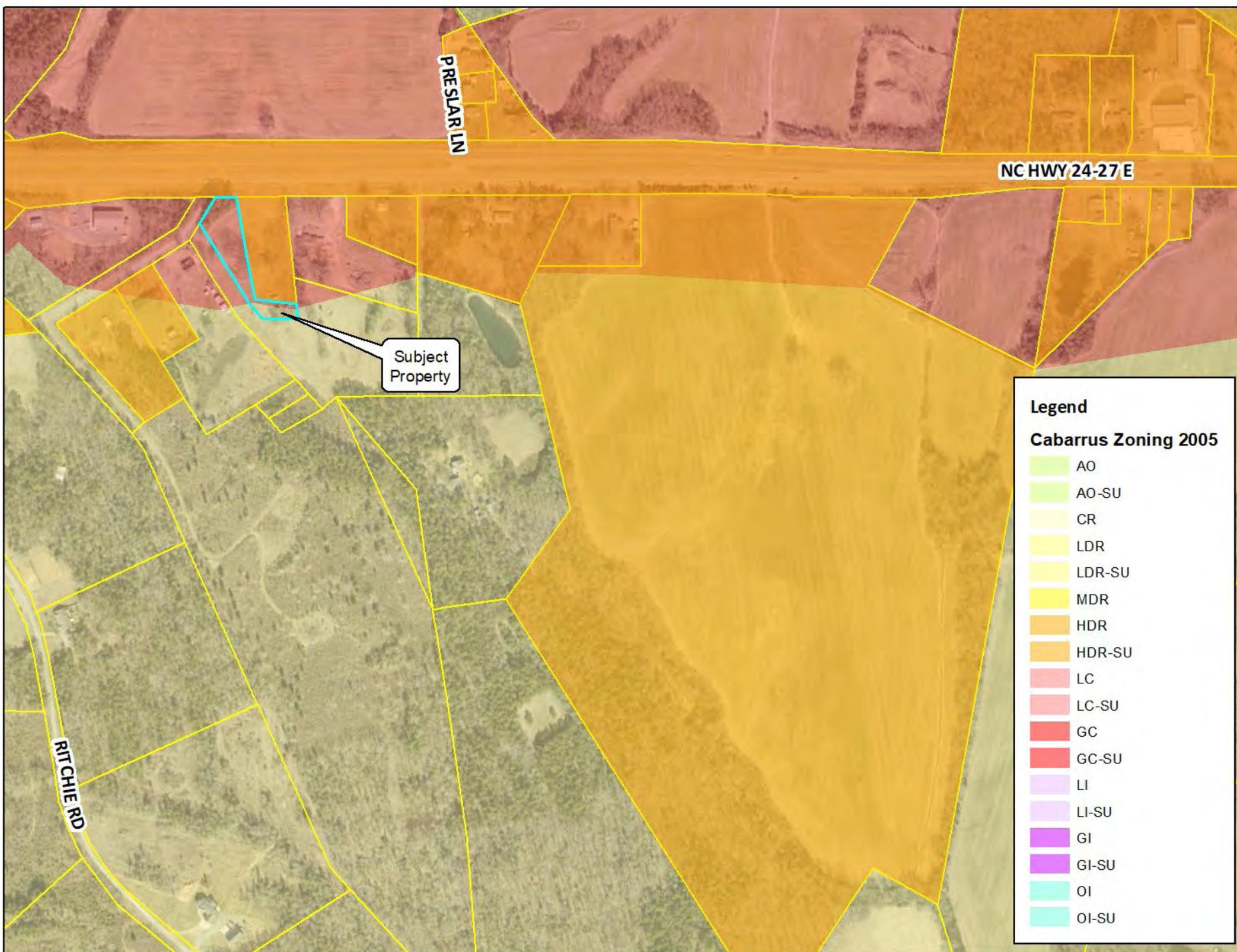
Mailed on  
8/19/2022  

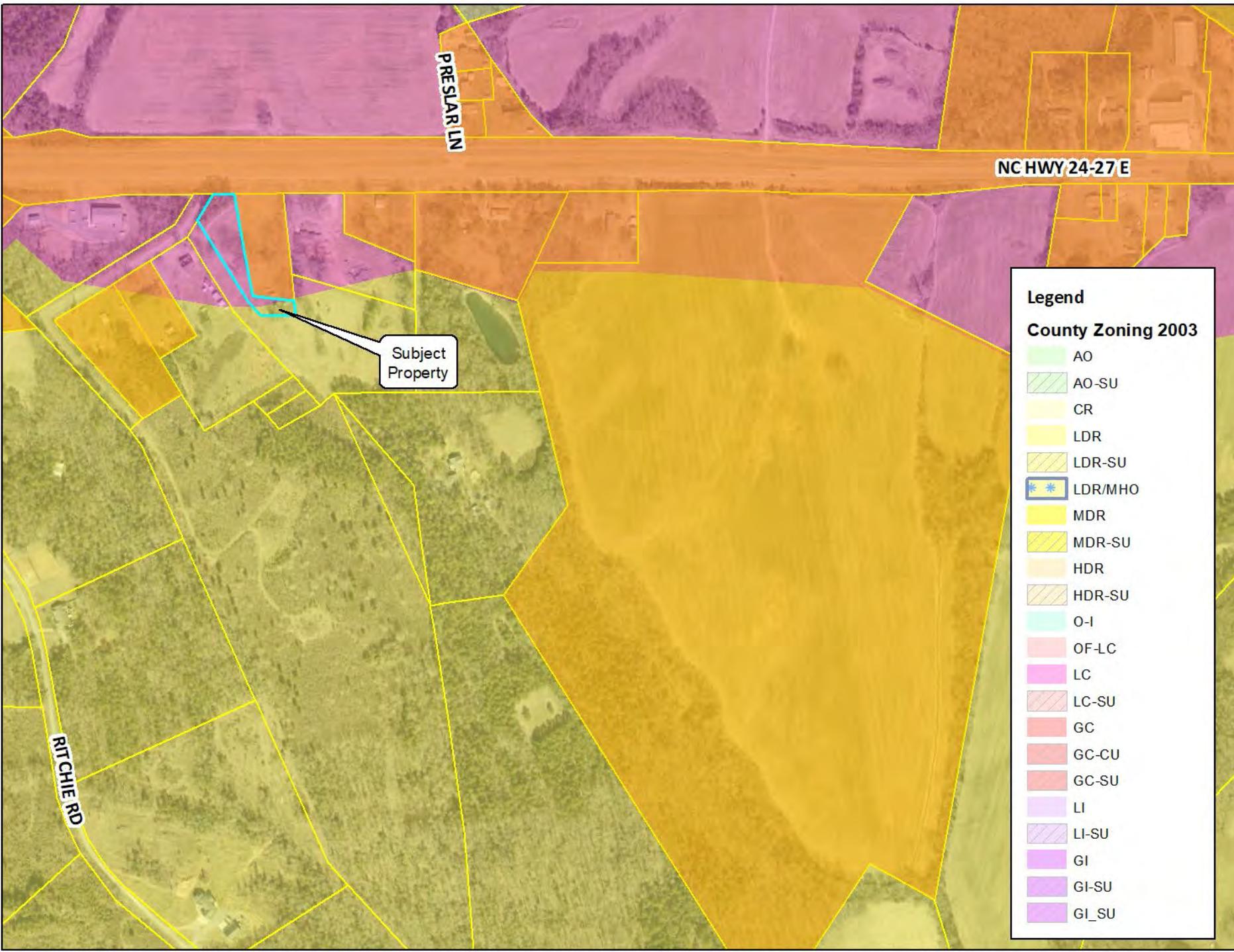

## 672 NC HWY 24/27 East

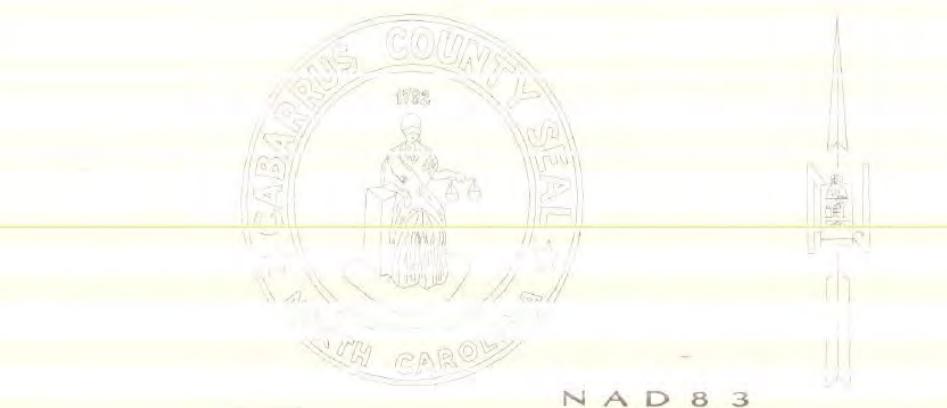
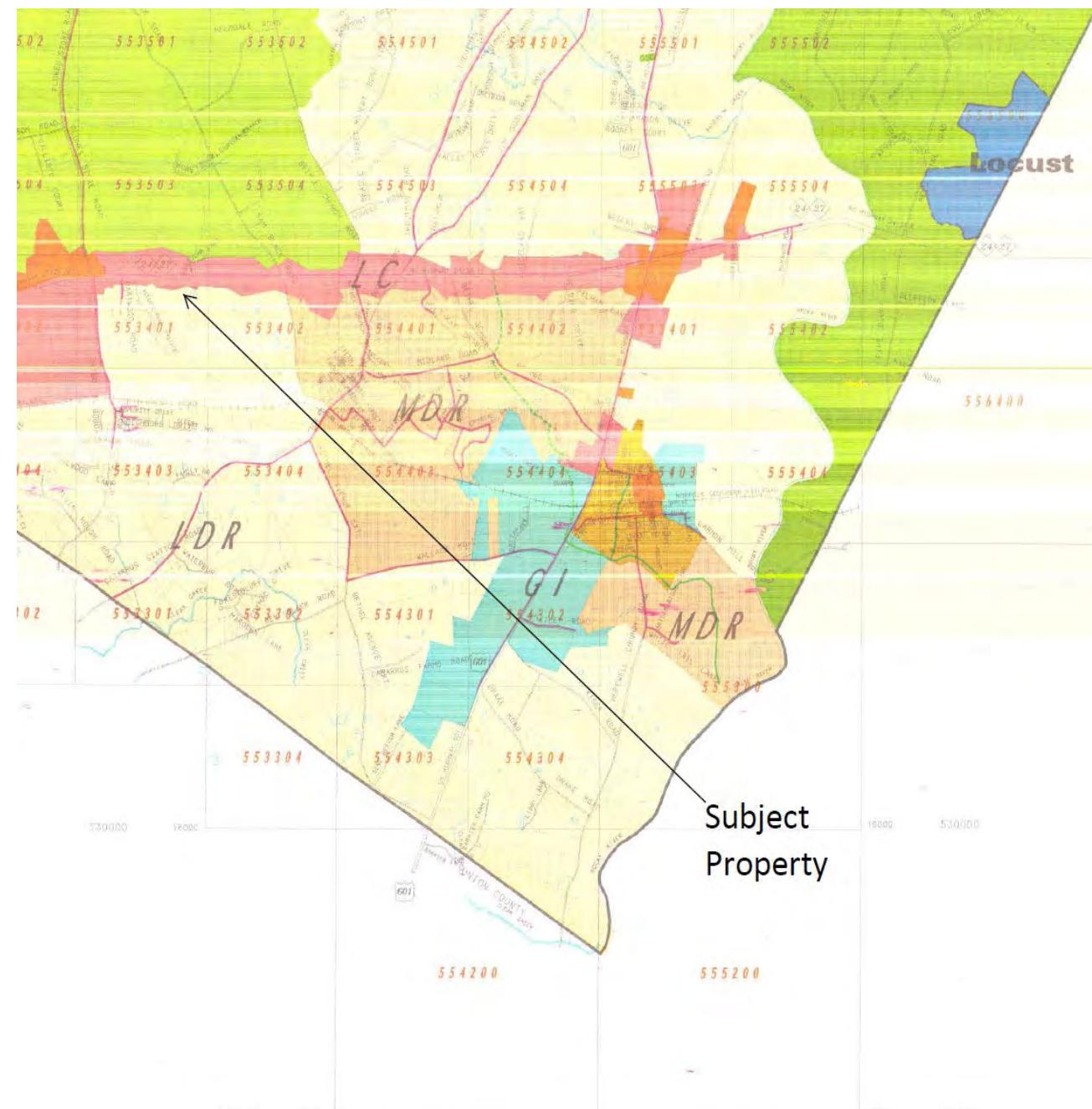
My name is Jerry Lewis, I am purchasing this property to build a personal house on. Right now it's zoned Light Commercial. I'd like to redone it to Residential. This would make the property go with the surrounding properties.

If you have any questions please contact me. My phone number is 704-564-6694. Thank you for your time.

Jerry Lewis





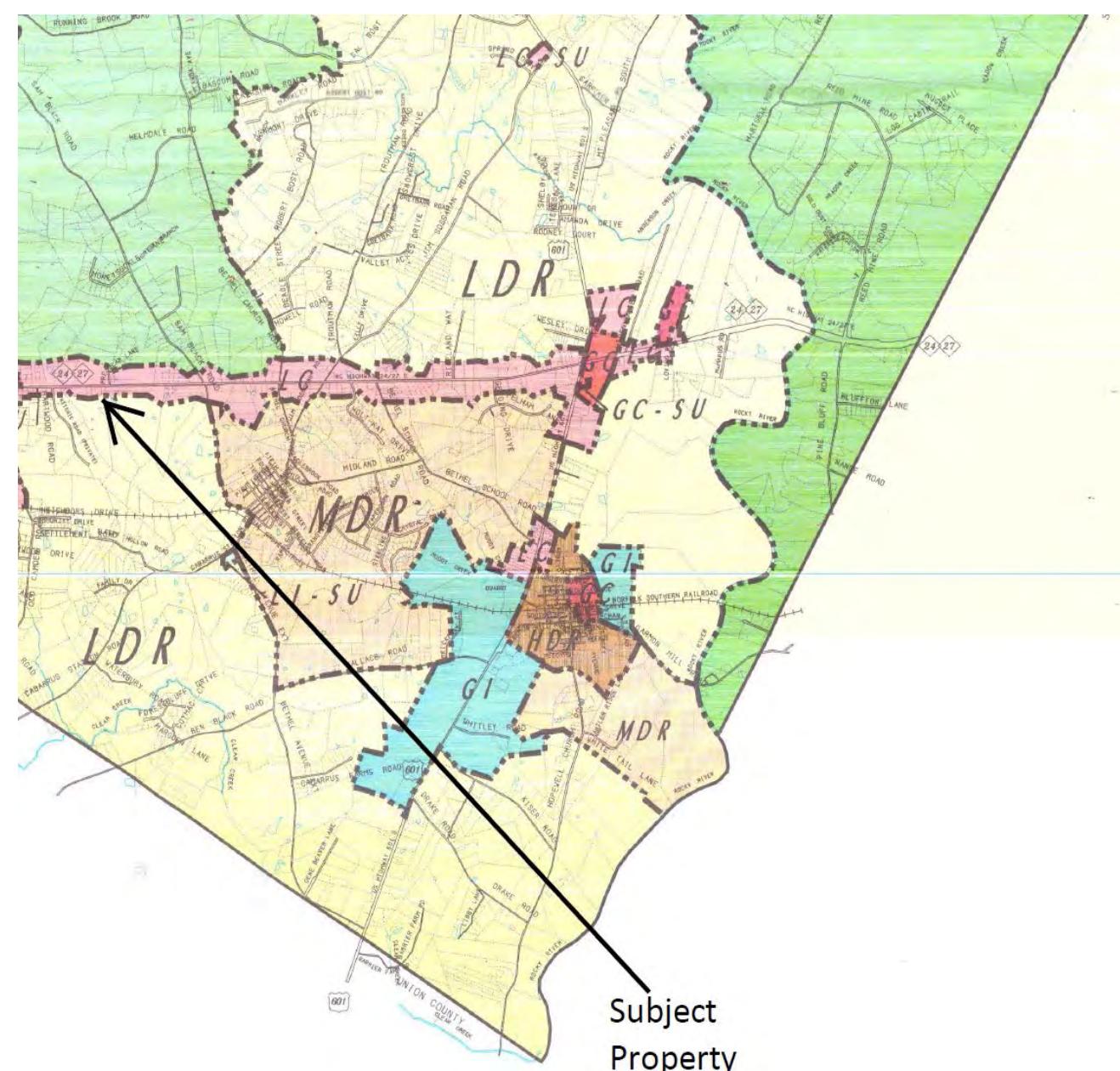


CABARRUS  
COUNTY  
2000



MARCH 01, 2000

GIS DIVISION / IS DEPART

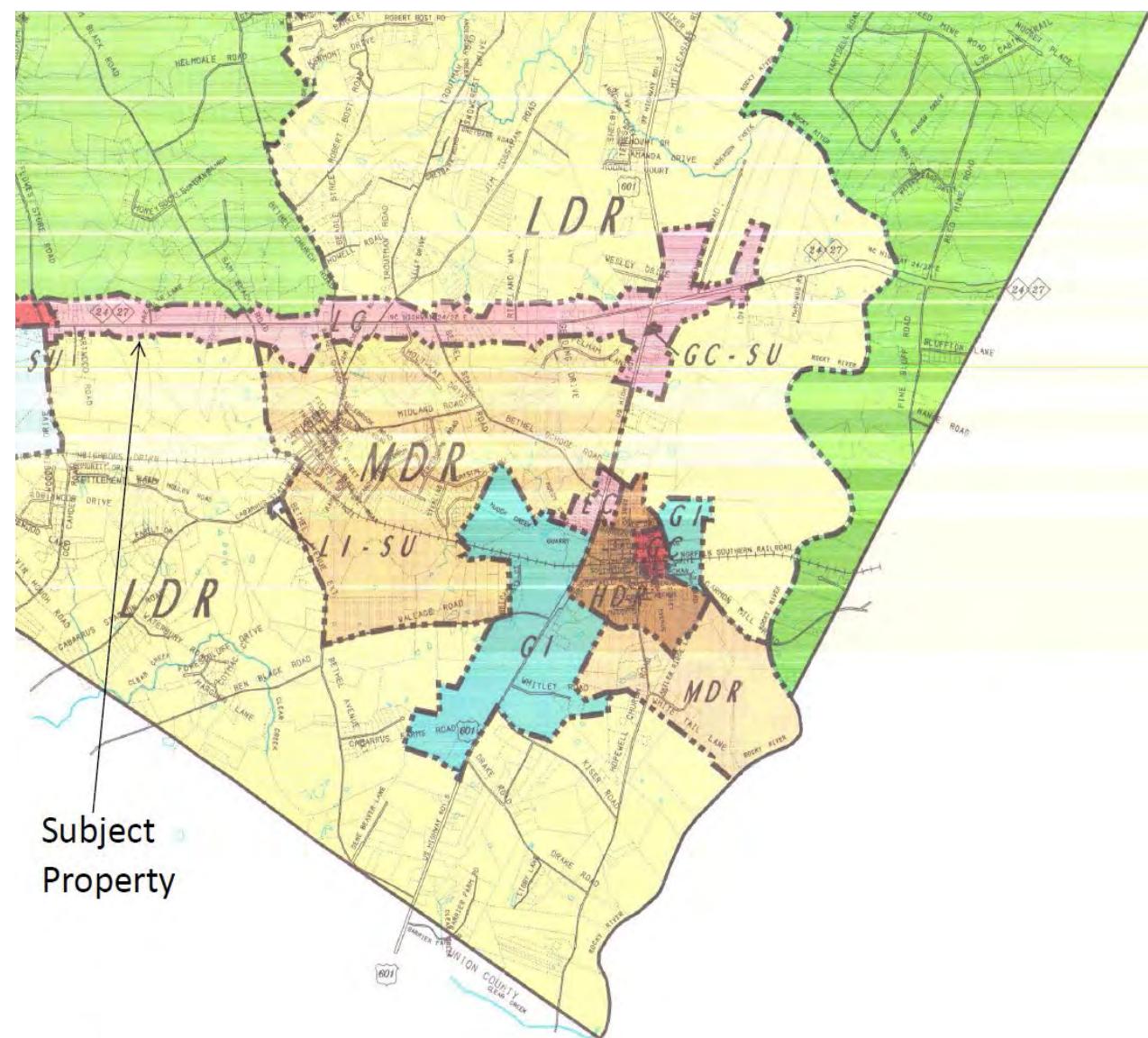


Subject  
Property

*CABARR  
COUNT  
1996*

1 INCH - 4000 FEET

JANUARY 05, 1996



CABARR  
COUNT  
1995

0 4000 FEET 12000 16000

1 INCH - 4000 FEET

NOVEMBER 07, 1999

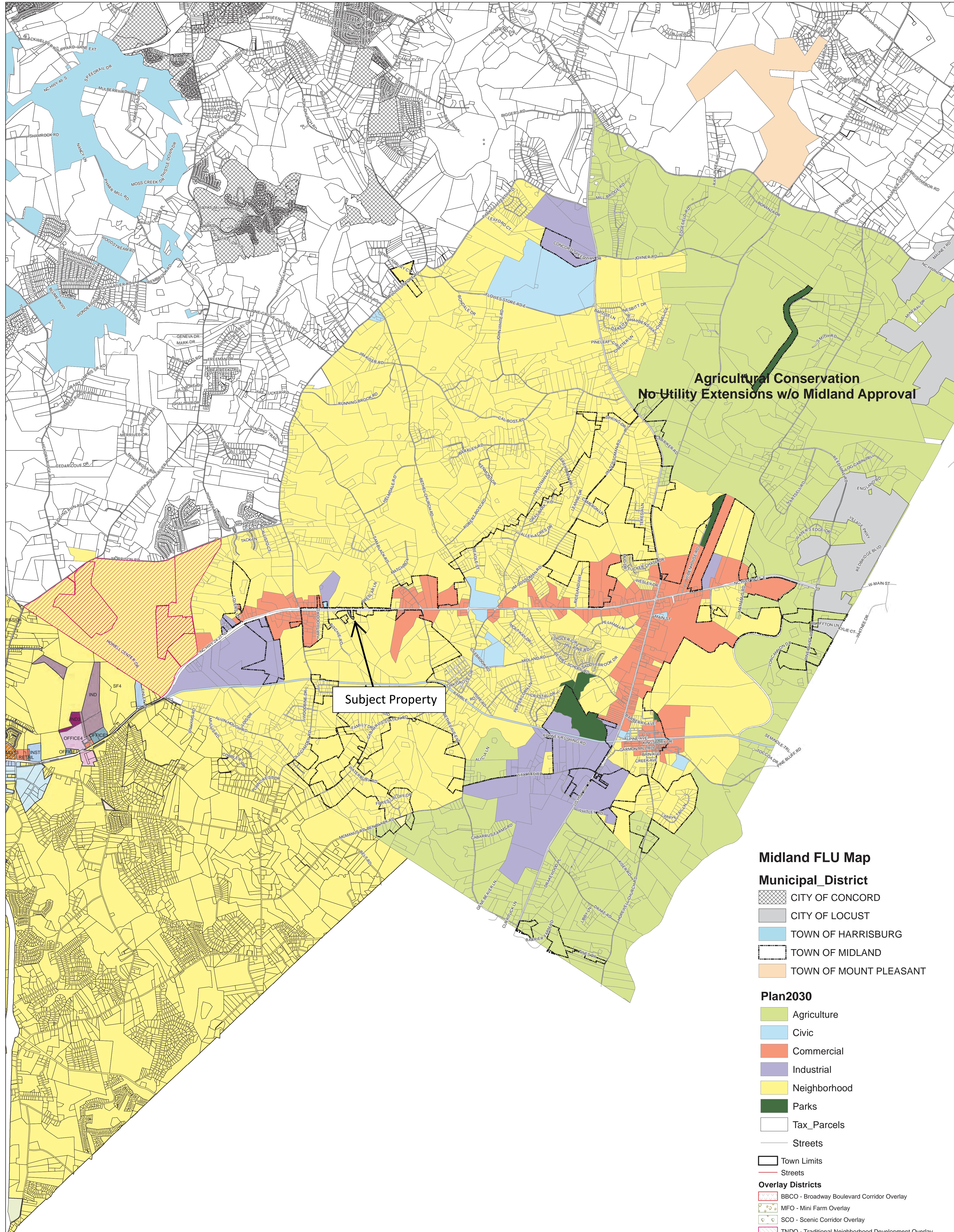
GIS DIVISION / IS DEPARTMENT

I J K L M N O P

## 1992 Zoning Map

Subject  
Property

L  
A L  
N T I A L  
I A L



Charlotte (North of Albemarle Road) - SFR (4 units per acre)  
 Mint Hill (South of Albemarle Road) - SFR (20,000 to 40,000 sq. ft. lots) Roughly 2 units per acre

## Future Land Use Map

March 28, 2017 - DRAFT



**PLANNING STAFF REPORT****CABARRUS COUNTY PLANNING AND ZONING COMMISSION**

10/01/2022

Staff Use Only:

Approved: Denied: Tabled **Special Use Permit: SUSE2022-00014**

**Applicant Information:** Peaknet, LLC by Thomas H. Johnson, Jr., Attorney  
301 Fayetteville Street, Suite 1700  
Raleigh, NC 27601

**Owner Information:** Edward D. Mesimer Trust by Edward D. Mesimer Trustee  
7621 Tuckaseegee Road  
Kannapolis, NC 28081

**PIN#:** 4693-26-5101

**Area in Acres:** +/- 129.2 acres (.95 acres for tower site)

**Purpose of Request:** This request is to construct a 235-foot tall (230 feet plus a 5-foot lightning rod) Wireless Telecommunications (WTC) Tower on the subject property. The property is currently zoned Agricultural/Open Space (AO) district. WTC towers are permitted in the AO district with the issuance of a Special Use Permit.

**Site Description:** The subject property is located on Tuckaseegee Road. The City of Kannapolis municipal limits are near the property to the south and east. Currently, several residential and agricultural structures occupy a portion of the western side of the subject property near Tuckaseegee Road. The subject property is within the Present Use Value program (bona fide farm). The applicant is proposing a 26-foot-wide gravel access drive that extends and widens the current 588.42-foot-long private road adding an additional 247.74 feet. The 836.16' road will access from Tuckaseegee Road which leads to the leased area which is 2,500 square feet in size. The compound area, within the leased area, is proposed to be 400 square feet in size.

**Current Land Uses:** The current land use of the subject property is agricultural and single family residential.

**Adjacent Land Uses:** The subject property is surrounded by residential and agricultural uses and vacant properties.

**Permitted Uses:** Any use permitted within the Agricultural Open Space (AO) district would be permitted on the subject property.

Existing Zoning: Agricultural/Open Space (AO)

Surrounding Zoning: North: Agricultural/Open Space (AO)  
East: Agricultural/Open Space (AO)  
South: Agricultural/Open Space (AO)  
West: Agricultural/Open Space (AO)

Signs Posted: Tuesday, September 20, 2022

Newspaper Notification: Wednesday, September 28, 2022

Newspaper Notification 2: Wednesday, October 5, 2022

Notification Letters: First Letter sent Monday, September 19, 2022  
Revision letter to correct meeting date sent October 26, 2022  
Revision letter to correct meeting time sent October 27, 2022

## Exhibits

- A. Staff Report
- B. Application and Project Narrative
- C. Site Plan
- D. Staff Maps
- E. Certificate of FCC Compliance and Co-Location Certification
- F. Determination of No Air Hazard
- G. AT&T Coverage Analysis
- H. Impact Study
- I. Structural Report
- J. Removal Quote for Bond
- K. NCDOT Driveway Permit
- L. Lease
- M. State Historic Preservation Office Approval
- N. Surrounding Property Owner information and Neighborhood Meeting
- O. Property Owner Letters
- P. Correspondence with State Agencies
- Q. Meeting Correspondence Items

## Agency Review Comments

### **Concord-Padgett Regional Airport Review: Approved**

*We have no issues with the proposed wireless telecommunication tower.  
(per Dirk Vanderleest, Aviation Director, Concord-Padgett Regional Airport)*

### **EMS Review: Approved**

*Approved with no comments.  
(per Justin Brines, EMS Assistant Director)*

### **Erosion Review: Approved**

*If this project remains under an acre then a formal erosion control plan will not be required. As a reminder the Financially Responsible party of the project is required to maintain sediment control measures sufficient to prevent sediment from leaving the site regardless even if the site is less than an acre.*

*(Kenny S. Llywelyn, Assistant Regional Engineer)*

### **Fire Review: Approved with Condition**

*Per the approved plans, the driveway will be increased to 26 feet wide and a Knox Lock or Knox Box will be used for Fire Department access. Approved as shown with revisions received on 09/12/2022.*

*(Matthew Hopkins, Assistant Fire Marshal)*

### **Health Review: Approved**

*Approved as shown with revisions received on 09/12/2022.  
(Chrystal Swinger, Director of Environmental Health)*

### **NCDOT Review: Approved**

*We have no issues with proposed and have issued DW permit if approved for special use  
(Marc Morgan, PE, District Engineer)*

### **Sheriff Review: Approved**

*No comments on this site.  
(Ray Gilleland, Lieutenant)*

### **Soil-Water Conservation Review: Approved**

*Our concern with this project is that the property is near the critical drinking watershed district for Coddle Creek. Any disturbance of soil needs to be carefully considered.  
(per Tammi Remsburg, Resource Conservation Coordinator)*

### **Zoning Review: Approved**

*Sandy Howell: See Staff Report*

## History / Other Information

1. The applicant provided documentation compliant with Section 8-3 of the Cabarrus County Zoning Ordinance, petitioning for a Special Use.
2. The applicant submitted a complete application including a "Project Narrative and Statement of Compliance" sheet along with a site plan.
3. The subject property is approximately 129.2 acres in size. The lease area is approximately 2,500 square feet in size.
4. Currently, a residence and several agricultural structures occupy a portion of the subject property alongside Tuckaseegee Road.
5. The applicant is proposing to construct a WTC Tower facility on the subject property.
6. The applicant is proposing to add to an existing connection off Tuckaseegee Road and has provided the NCDOT driveway permit as required.
7. The FAA has issued a Determination of No Hazard to Air Navigation for this site that expires on March 1, 2024, unless otherwise stated in the Determination. At the time of the review the applicant was intending for the tower to be a height of 230 feet and the FAA placed a condition on the approval of the tower that it be lighted to meet the FAA specifications. Since that time the applicant increased the height of the tower to 235 (to account for the 5 foot lighting rod).
8. Subject property is partially located within Coddle Creek WS-II Protected and Critical watershed areas. A small portion of the fall zone will be located with the Critical Area. The cell tower and the compound will be located outside the Critical Area.
9. The cabinets are approximately 5'11.76" in height and approximately 59 square feet. These measurements have been converted from the metric measurements found on the plan set.

## Conditions of Approval

Should the Board of Adjustment grant approval of the Conditional Use Permit, Staff requests the following conditions become part of the approval and case record:

1. Site plan review and approval is required subsequent to Board of Adjustment approval in order to ensure compliance with all applicable development requirements and conditions. (Zoning)
2. The Granting Order, stating restrictions and applicable conditions of approval shall be recorded with the deed for the property and prior to zoning permitting. (Zoning)
3. The applicant shall procure any and all applicable federal, state, and local permits prior to zoning permitting. (Zoning)
4. Any proposed future expansion of property, as well as modifications or changes to approved site plan, must receive Board of Adjustment approval in the form of an amendment to the Special Use Permit. (Zoning)
5. The applicant shall provide copies of all state, local, and federal permits for the permanent project file prior to zoning permitting. (Zoning)
6. Applicant shall comply with all applicable terms of NCDOT Driveway Permit C-1913. (NCDOT/Zoning)
7. Prior to zoning permitting, the applicant shall have the Determination of No Hazard letter from the FAA updated to address the current proposed tower height. A copy of the updated letter shall be provided for the project file. (Zoning)
8. The applicant shall file the 7460-2 form with the FAA if the project is abandoned or within five days after construction reaches its greatest height. A copy of said filing shall be provided to Planning for the project file. (FAA)
9. The applicant shall submit a bond in the amount to accommodate 1.25 times the amount of the estimate as required by Chapter 8, Number 36, Section 11 of the Cabarrus County Development Ordinance. The estimated cost of removal and to return the site to its natural condition is \$105,178; therefore, the bond will need to be in the amount of \$131,472.50. The bond shall be submitted prior to zoning permitting. (Zoning)
10. Per the approved plans, the driveway will be increased to 26 feet wide, and a Knox Lock or Knox Box shall be installed for Fire Department access. (Fire Department)

**SPECIAL USE PERMIT APPLICATION**

STAFF USE ONLY:

Application/Accela#: SUSE 2022-00014  
Reviewed by: SDW  
Date: \_\_\_\_\_  
Amount Paid: \_\_\_\_\_

**INSTRUCTIONS/PROCEDURES:**

1. Schedule a pre-application meeting with Staff to discuss the procedures and requirements for a Special Use Permit request.  
Date of Pre-Application Meeting: January 11, 2022 Staff Facilitator(s): Susie Morris
2. Submit a complete application to the Planning Division. All applications must include the following:
  - Cabarrus County Land Records printout of all adjacent property owners. This includes properties located across the right-of-way and all on-site easement holders. The list must include owner name, address, and Parcel Identification Number.
  - A recent survey or legal description of the property.
  - Copies of the proposed site plan (number to be determined at pre-application meeting).
  - Any additional documents essential for the application to be considered complete. (Determined at pre-application meeting)
3. Submit cash, check, or money order made payable to Cabarrus County.

Fees: Special Use Permit \$650.00 (includes first acre) +\$15.00 per acre  
(Plus the cost of advertising and engineering fees if applicable)  
(If a 3<sup>rd</sup> submittal is required, an additional review fee will be assessed)

The deadline for submittal is always the same day as the Planning and Zoning Commission Meeting which is the second Tuesday of the month. Applications must be submitted before 2:00 PM that day for consideration on the next available agenda.

*Incomplete applications will be returned to the applicant and will not be processed.*

**PROCESS SUMMARY:**

1. Hold a pre-application meeting with Staff to discuss your Special Use Permit request and the Special Use Permit process.
2. Submit a complete application with the appropriate fees to the Cabarrus County Planning Division.

Staff and appropriate agents will review your complete application and site plan and comments will be forwarded to you. You will need to address the comments in writing, revise the site plan accordingly and resubmit a site plan showing that all comments are addressed, and errors corrected.

3. Once advised that the site plan is correct and ready to be presented to the Board of Adjustment, you will need to submit folded copies of the site plan (number determined by staff).
4. When the copies of the plan are received, Staff will begin to prepare a staff report, schedule a public meeting date, and notify adjacent property owners of the public meeting/public hearing date. A sign advertising the public hearing will also be placed on the property being considered for the Special Use Permit.

**Meeting Information:** Meetings are held the second Tuesday of each month at 6:30 PM in the Cabarrus County Governmental Center located in downtown Concord at 65 Church Street, SE.

**Special Use Permit:** Special Use Permits are considered by the Board of Adjustment during a quasi-judicial hearing. This means that anyone wishing to speak regarding the application must be sworn in. The vote requirement for the Special Use Permit to pass is a simple majority. Additional conditions may be added as part of the Special Use Permit approval process.

**Questions:** Any questions related to the Special Use Permit process may be directed to the Planning Division at 704-920-2141, between 8 AM and 5 PM, Monday through Friday.

**TO THE BOARD OF ADJUSTMENT:**

I HEREBY PETITION THE BOARD OF ADJUSTMENT TO GRANT THE ZONING ADMINISTRATOR THE AUTHORITY TO ISSUE A SPECIAL USE PERMIT FOR THE USE OF THE PROPERTY AS DESCRIBED BELOW.

APPLICANT	PROPERTY OWNER
Peaknet, LLC by Thomas H. Johnson, Jr. atty	Edward D. Mesimer Trust by Edward D. Mesimer Trustee
NAME	NAME
301 Fayetteville Street, Suite 1700	7621 Tuckaseegee Road
ADDRESS	ADDRESS
Raleigh, NC 27601	Kannapolis, NC 28081
CITY, STATE, ZIP CODE	CITY, STATE, ZIP CODE
919-981-4006	704-224-2002
PHONE NUMBER	PHONE NUMBER
919-981-4300	
FAX NUMBER	FAX NUMBER
tjohnson@williamsmullen.com	edwardmesimer100@gmail.com
E-MAIL ADDRESS	E-MAIL ADDRESS
<b><u>PARCEL INFORMATION:</u></b>	
Existing Use of Property	Agricultural
Proposed Use of Property	Communications Tower
Existing Zoning	AO
Property Location	7615 Tuckaseegee Road
Property Acreage	129.2 acres (.95 acres for tower site)
Parcel Number (PIN)	46932651010000

**LAND USE OF ADJACENT PROPERTIES:**

NORTH Residential and Agricultural  
EAST Residential and Agricultural

SOUTH Residential and Agricultural  
WEST Residential and Governmental

**GENERAL REQUIREMENTS:**

The Zoning Ordinance imposes the following general requirements on the use requested by the applicant. Under each requirement, the applicant should explain, with reference to the attached plans (when applicable) how the proposed use satisfies these requirements.

1. The Board must find that the use(s) as proposed "are not detrimental to the public health, safety or general welfare."

See attached Exhibit A

---

2. The Board must find that the use(s) as proposed "are appropriately located with respect to transportation facilities, water supply, fire and police protection, waste disposal, etc."

See attached Exhibit A

---

3. The Board must find that the use(s) as proposed "will not violate neighborhood character nor adversely affect surrounding land uses."

See attached Exhibit A

---

4. The Board must find that the use(s) as proposed "will comply with the general plans for the physical development of the County or Town, as embodied in the Zoning Ordinance or in the area development plans that have been adopted."

See attached Exhibit A

**SPECIFIC REQUIREMENTS:**

The Zoning Ordinance also imposes SPECIFIC REQUIREMENTS on the use(s) requested by the applicant. The applicant should be prepared to demonstrate that, if the land is used in a manner consistent with the plans, specifications, and other information presented to the Board, the proposed use(s) will comply with specific requirements concerning the following:

Nature of use (type, number of units, and/or area):  
Communications Tower

Accessory uses (if any):  
None

**SETBACK PROVISIONS:**

Principle Use:

Front: 280 feet Side yard Single: 280 feet Side yard Total: 280 feet Rear: 280 feet

Accessory Use:

Front: \_\_\_\_\_ Side yard Single: \_\_\_\_\_ Side yard Total: \_\_\_\_\_ Rear: \_\_\_\_\_

Height provisions: Principle Use: \_\_\_\_\_ Accessory Use: \_\_\_\_\_

Off street parking and loading provisions: (include calculations)

Parking is provided for service vehicles to the site with the necessary turnaround for fire and rescue equipment.

---

Sign provisions: (include sketch drawing with dimensions)

See Sheets C-5 and C-10 of construction drawings

---

Provisions for screening landscaping and buffering: (show on site plan)

See Sheet L-1 of construction drawings

---

Provisions for vehicular circulation and access to streets: (provide NCDOT permit and/or TIA)

Driveway permit from NCDOT is included with application. See Sheet C-1 of construction drawings showing

vehicular circulation and access and Sheets C-11A, C-11B, C-11C and C-11D for roadway design.

---

Adequate and safe design for grades, paved curbs and gutters, drainage systems, and treatment or turf to handle storm waters, prevent erosion, subdue dust:

See erosion and sedimentation plan on Sheets C-12A, C-12B, C-12C and C-13.

---

An adequate amount and safe location of play areas for children and other recreational uses according to the concentration of residential property:

Not applicable

---

Compliance with applicable overlay zones: (see Chapter 4 of Zoning Ordinance)

Complies with the airport overlay and the watershed overlay requirements

---

Compliance with the Flood Damage Prevention Ordinance: (see Chapter 16)

The proposed use is not a a flood zone

---

Other requirements may be requested by the applicant or specified by the Board for protection of the public health, safety, welfare, and convenience:

Acknowledged

---

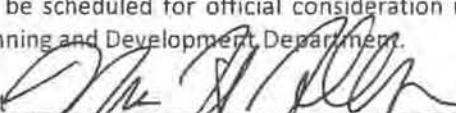
**PREDEFINED STANDARDS:**

Each individual Special Use listed in the Zoning Ordinance may have specific standards imposed. Refer to Chapter 8, the Special Use section of the Zoning Ordinance for these requirements. Each standard should be addressed in the site plan submitted along with this application.

**CERTIFICATION:**

I hereby confirm that the information contained herein and herewith is true and correct and that this application shall not be scheduled for official consideration until all the required contents have been submitted to the Planning and Development Department.

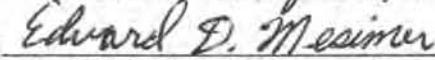
Signature of Applicant



Date: 4/11/2022

Thomas H. Johnson, Jr. Attorney for Peaknet, LLC

Signature of Owner



Date: 4-12-22

Edward D. Mesimer, Trustee for the Edward D. Mesimer Trust

EXHIBIT A  
Special Use Permit for Communications Tower  
7615 Tuckaseegee Road, Kannapolis, NC

**General Requirements**

1. The communications tower will benefit the public health, safety and welfare by providing improved wireless service in the area. Most households now rely on wireless service for their basic communications needs as many no longer have landline phones. In the event of an emergency, residents need reliable wireless service to reach emergency services by dialing 911. In addition, wireless internet access is critical for those who work from home or need reliable, fast internet service.
2. This communications tower has direct access to Tuckaseegee Road by an existing private road and driveway. NCDOT has already approved a driveway permit which is included with the application. Electrical and communications fiber is readily available to the site. The site access complies with fire code in the event that police, fire and rescue access is needed. This use will not require water, sewer or waste disposal services.
3. The communications tower is allowed as a special use in the AO district which provides a legal presumption that the use is in harmony with the other uses in the AO district. There is also an impact study by a NC licensed appraiser being submitted in support of the application that finds that the communications tower will not have an adverse impact on adjoining property values.
4. The general plans for the County support the need for infrastructure for the County and its residents. Wireless infrastructure is critical to the public both for telephone communications and internet access.

**Predefined Standards**

These standards are addressed by the included construction drawings and as follows:

Section 4c: Peaknet, LLC has no existing sites in Cabarrus County of its municipalities

**Section 5**

-The tower will be galvanized steel in color.

-The design of the buildings and related structures are designed to blend in with the surroundings as shown on the construction drawings.

-The only lighting will be as required by the FAA

-The tower and antennas will meet or exceed current standards and regulations of the FAA, the FCC, and any other state or federal government agency with the authority to regulate towers and antennas as confirmed by the enclosed Certificate of Compliance.

-As confirmed by the notes on Sheet T-1 of the construction drawings, the tower and antennas will conform with the State Building Code and all federal requirements.

-Since the setback is tower height plus 50 feet the tower, if it fails, will remain on site as shown by the setbacks on Sheet C-1 of the construction drawings.

-Signs are as shown on Sheets C-5 and C-10 of the construction drawings and are those necessary to provide identification information and warn of any danger.

#### Section 6

-The construction drawings are sealed by a NC licensed engineer.

-The construction drawings include a site plan on Sheet C-1 that includes the required information.

-There are no existing towers in AT&T's search ring for this tower site.

-A notarized Co-Location certification is included with this application.

-A notarized Statement of Compliance is included with this application.

#### Section 8

--There are no other towers within AT&T's search ring for this tower site.

-There is no other tower within 1,500 feet of this site.

-The tower compound will be enclosed with a fence 8 feet in height as shown on Sheet C-9 of the construction drawings with barbed wire to prevent climbing.

-The landscaping in compliance with the Ordinance is as shown on Sheet L-1 of the construction drawings.

#### Section 9

-The drawings contain detail of all ground equipment and other related structures that comply with the Ordinance.

#### Section 11

-The applicant agrees to post a bond for the removal cost of the tower and related structures in the amount of 1.25 the removal cost.

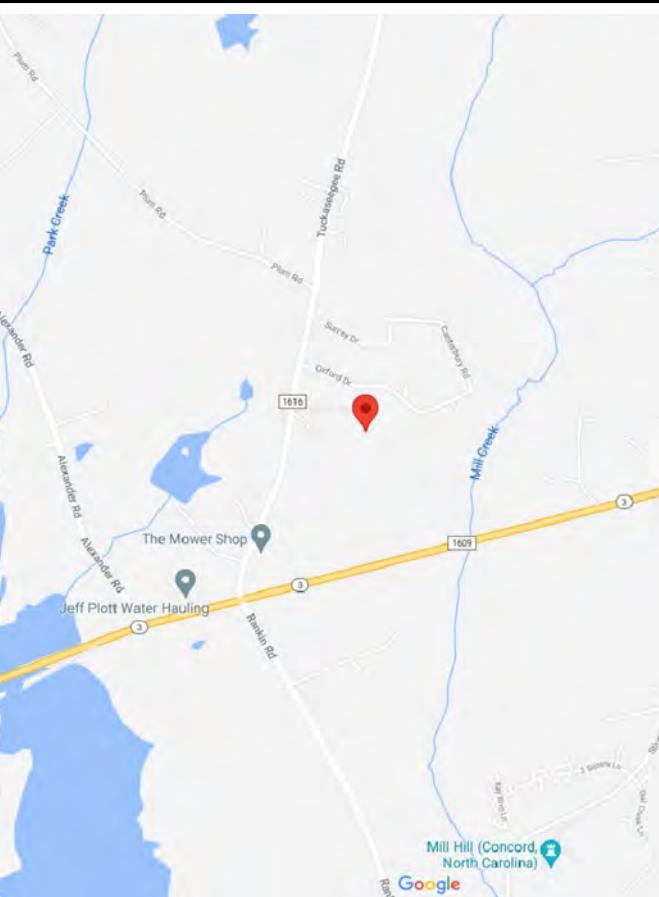
The setback requirements are shown on Sheet C-1 of the drawings.

AT&T SITE #: 074-4164  
 AT&T SITE NAME: WCL00164  
 PROJECT DESCRIPTION: PROPOSED WIRELESS  
 TELECOMMUNICATIONS  
 FACILITY  
 TOWER TYPE: 235' MONOPOLE  
 SITE ADDRESS: 7615 TUCKASEEGEE RD  
 KANNAPOLIS, NC 28081  
 (CABARRUS COUNTY)  
 JURISDICTION: CABARRUS COUNTY  
 AREA OF CONSTRUCTION: 0.95 AC  
 (41,371 ± SQ. FT.)  
 PRESENT OCC. TYPE: RESIDENTIAL /  
 AGRICULTURAL  
 CURRENT ZONING: AO  
 PARCEL ID #: 03-004-0005.00

#### PROJECT INFORMATION

LATITUDE: N 35° 29' 12.73" (NAD '83)  
 LONGITUDE: W 80° 42' 18.65" (NAD '83)  
 GROUND ELEVATION: ±736.5' (NAVD '88)

#### 1A CERTIFICATION



LOCATION MAP

PROJECT INFORMATION:



**2002 PISGAH CHURCH ROAD, SUITE 300  
 GREENSBORO, NC 27455  
 OFFICE: (336) 286-6163**

**7615 TUCKASEEGEE RD  
 KANNAPOLIS, NC 28081  
 (CABARRUS COUNTY)**

**AT&T SITE #: 074-4164  
 AT&T SITE NAME: WCL00164  
 FA LOCATION CODE: 15498781**

#### TOWER OWNER:

NAME: PEAKNET  
 SITE NAME: CONCORD MP  
 ADDRESS: 9887 4TH STREET NORTH, SUITE 100  
 CITY, STATE, ZIP: SAINT PETERSBURG, FL 33702  
 CONTACT: TIM SCOTT  
 PHONE: (919) 413-5324

#### APPLICANT/LICENSEE:

NAME: AT&T MOBILITY  
 ADDRESS: 2002 PISGAH CHURCH RD, STE 300  
 CITY, STATE, ZIP: GREENSBORO, NC 27455  
 NOC #: (800) 638-2822

#### SURVEYOR

NAME: TOWER ENGINEERING PROFESSIONALS  
 ADDRESS: 326 TRYON ROAD  
 CITY, STATE, ZIP: RALEIGH, NC 27603  
 CONTACT: ALAN H. ALLBERT  
 PHONE: (919) 661-6351

#### CIVIL ENGINEER:

NAME: TOWER ENGINEERING PROFESSIONALS  
 ADDRESS: 326 TRYON ROAD  
 CITY, STATE, ZIP: RALEIGH, NC 27603  
 CONTACT: SCOTT C. BRANTLEY, P.E.  
 PHONE: (919) 661-6351

#### ELECTRICAL ENGINEER:

NAME: TOWER ENGINEERING PROFESSIONALS  
 ADDRESS: 326 TRYON ROAD  
 CITY, STATE, ZIP: RALEIGH, NC 27603  
 CONTACT: MARK S. QUAKENBUSH, P.E.  
 PHONE: (919) 661-6351

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING:  
 1. NORTH CAROLINA BUILDING CODE  
 (2018 EDITION)  
 2. NORTH CAROLINA CODE COUNCIL  
 3. ANSI/ATIA-222-H  
 4. 2017 NEC W. NC AMENDMENTS  
 5. LOCAL BUILDING CODE  
 6. CITY/COUNTY ORDINANCES

#### CODE COMPLIANCE

#### UTILITIES:

POWER COMPANY: DUKE ENERGY  
 CONTACT: CUSTOMER SERVICE  
 PHONE: (919) 508-5400  
 METER # NEAR SITE: 078907787

TELEPHONE COMPANY: CHARTER SPECTRUM  
 CONTACT: CUSTOMER SERVICE  
 PHONE: (833) 267-6094  
 PHONE # NEAR SITE: UNKNOWN  
 PEDESTAL # NEAR SITE: UNKNOWN

#### PROPERTY OWNER:

NAME: MESIMER EDWARD D TRUST  
 ADDRESS: 7621 TUCKASEEGEE RD  
 CITY, STATE, ZIP: KANNAPOLIS, NC 28081  
 CONTACT: UNKNOWN  
 PHONE: UNKNOWN

CONTACT INFORMATION

PLANS PREPARED FOR:

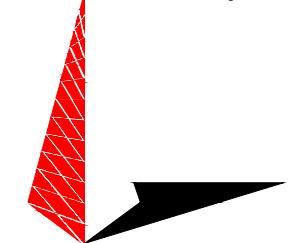


**9887 FOURTH STREET N, ST 100  
 ST. PETERSBURG, FL 33702**

**PEAKNET SITE NAME:  
 CONCORD MP**

PLANS PREPARED BY:

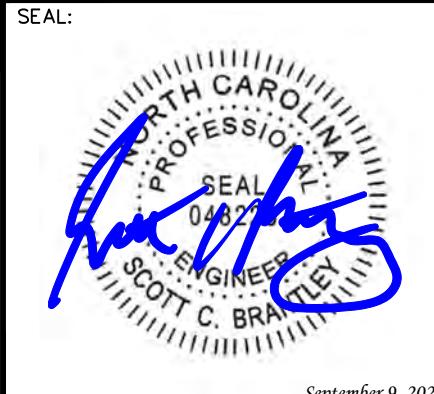
EXHIBIT C



TOWER ENGINEERING PROFESSIONALS  
 326 TRYON ROAD  
 RALEIGH, NC 27603-3530  
 OFFICE: (919) 661-6351  
 www.tepgroup.net  
 N.C. LICENSE # C-1794

13	09-09-22	CONSTRUCTION
12	06-29-22	CONSTRUCTION
11	06-10-22	CONSTRUCTION
10	05-11-22	CONSTRUCTION
9	04-11-22	CONSTRUCTION
8	03-29-22	CONSTRUCTION
7	03-16-22	CONSTRUCTION
6	03-11-22	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS



September 9, 2022



September 9, 2022

SHEET NUMBER: T-1	REVISION: 13
TEP #: 304265.599340	

**2018 APPENDIX B**  
**BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS**  
**(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)**  
 (Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: CONCORD MP  
 Address: 7615 TUCKASEEGEE RD, KANNAPOLIS, NC Zip Code 28081  
 Owner/Authorized Agent: TIM SCOTT Phone # ( 919 ) 413 - 5324 E-Mail   
 Owned By:  City/County  Private  State  
 Code Enforcement Jurisdiction:  City  County CABARRUS  State

**CONTACT:** Tower Engineering Professionals

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural	Tower Engineering Professionals	Scott Brantley	048226	( 919 ) 661-6351	sbrantley@tepgroup.net
Civil	Tower Engineering Professionals	Mark S. Quakenbush	042109	( 919 ) 661-6351	mquakenbush@tepgroup.net
Electrical					
Fire Alarm					
Plumbing					
Mechanical					
Sprinkler-Standpipe					
Structural					
Retaining Walls >5' High					
Other					

(“Other” should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

**2018 NC BUILDING CODE:**  New Building  Addition  Renovation  
 1<sup>st</sup> Time Interior Completion  
 Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements  
 Phased Construction - Shell/Core- Contact the local inspection jurisdiction for possible additional procedures and requirements

**2018 NC EXISTING BUILDING CODE: EXISTING:**  Prescriptive  Repair  Chapter 14  
 Alteration:  Level I  Level II  Level III  
 Historic Property  Change of Use

**CONSTRUCTED:** (date) \_\_\_\_\_ **CURRENT OCCUPANCY(S) (Ch. 3):** \_\_\_\_\_  
**RENOVATED:** (date) \_\_\_\_\_ **PROPOSED OCCUPANCY(S) (Ch. 3):** \_\_\_\_\_

**OCCUPANCY CATEGORY (Table 1604.5):** Current:  I  II  III  IV  
 Proposed:  I  II  III  IV

**BASIC BUILDING DATA**  
**Construction Type:**  I-A  II-A  III-A  IV  V-A  
 (check all that apply)  I-B  II-B  III-B  V-B  
**Sprinklers:**  No  Partial  Yes  NFPA 13  NFPA 13R  NFPA 13D  
**Standpipes:**  No  Yes **Class**  I  II  III  Wet  Dry  
**Fire District:**  No  Yes **Flood Hazard Area:**  No  Yes  
**Special Inspections Required:**  No  Yes (Contact the local inspection jurisdiction for additional procedures and requirements.)

2018 NC Administrative Code and Policies

Gross Building Area Table			
FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
3 <sup>rd</sup> Floor			N/A
2 <sup>nd</sup> Floor			N/A
Mezzanine			N/A
1 <sup>st</sup> Floor		71 SQ FT CONCRETE PAD	
Basement			N/A
<b>TOTAL</b>		71 SQ FT CONCRETE PAD	

**ALLOWABLE AREA**

**Primary Occupancy Classification(s):** Select one Select one Select one Select one Select one Select one Select one

Assembly	<input type="checkbox"/> A-1	<input type="checkbox"/> A-2	<input type="checkbox"/> A-3	<input type="checkbox"/> A-4	<input type="checkbox"/> A-5
Business	<input type="checkbox"/>				
Educational	<input type="checkbox"/>				
Factory	<input type="checkbox"/> F-1 Moderate	<input type="checkbox"/> F-2 Low			
Hazardous	<input type="checkbox"/> H-1 Detonate	<input type="checkbox"/> H-2 Deflagrate	<input type="checkbox"/> H-3 Combust	<input type="checkbox"/> H-4 Health	<input type="checkbox"/> H-5 HPM
Institutional	<input type="checkbox"/> I-1 Condition	<input type="checkbox"/> 1	<input type="checkbox"/> 2		
	<input type="checkbox"/> I-2 Condition	<input type="checkbox"/> 1	<input type="checkbox"/> 2		
	<input type="checkbox"/> I-3 Condition	<input type="checkbox"/> 1	<input type="checkbox"/> 2	<input type="checkbox"/> 3	<input type="checkbox"/> 4
				<input type="checkbox"/> 5	
	<input type="checkbox"/> I-4				
Mercantile	<input type="checkbox"/>				
Residential	<input type="checkbox"/> R-1	<input type="checkbox"/> R-2	<input type="checkbox"/> R-3	<input type="checkbox"/> R-4	
Storage	<input type="checkbox"/> S-1 Moderate	<input checked="" type="checkbox"/> S-2 Low	<input type="checkbox"/> High-piled		
	<input type="checkbox"/> Parking Garage	<input type="checkbox"/> Open	<input type="checkbox"/> Enclosed	<input type="checkbox"/> Repair Garage	
Utility and Miscellaneous	<input type="checkbox"/>				

**Accessory Occupancy Classification(s):** N/A

**Incidental Uses (Table 509):** N/A

**Special Uses (Chapter 4 – List Code Sections):** N/A

**Special Provisions: (Chapter 5 – List Code Sections):** N/A

**Mixed Occupancy:**  No  Yes Separation: \_\_\_\_\_ Hr. Exception: \_\_\_\_\_

Non-Separated Use (508.3) - The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.

Separated Use (508.4) - See below for area calculations. For each story, the area of the occupancy shall be such that the sum of the areas of each use divided by the allowable floor area of each use does not exceed 1.

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} + \dots = \dots \leq 1.00$$

**NOT A BUILDING**

PLANS PREPARED FOR:



2002 PISGAH CHURCH ROAD, SUITE 300  
 GREENSBORO, NC 27455

PLANS PREPARED FOR:



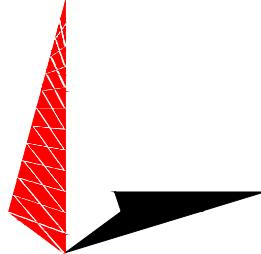
9887 FOURTH STREET NORTH, SUITE 100  
 ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

**AT&T SITE #:** 074-4164  
**PEAKNET SITE NAME:**  
**CONCORD MP**

7615 TUCKASEEGEE RD  
 KANNAPOLIS, NC 28081  
 (CABARRUS COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS  
 326 TRYON ROAD  
 RALEIGH, NC 27603  
 OFFICE: (919) 661-6351  
 www.tepgroup.net  
 N.C. LICENSE # C-1794

SEAL:



3	10-28-21	CONSTRUCTION
2	10-21-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

**APPENDIX B**

SHEET NUMBER:	REVISION:
<b>T-2</b>	<b>3</b>

TEP #: 304265.599340

2018 NC Administrative Code and Policies

PLANS PREPARED FOR:

2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

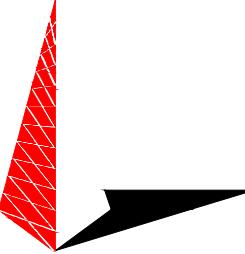
PLANS PREPARED FOR:

9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

**AT&T SITE #:** 074-4164**PEAKNET SITE NAME:****CONCORD MP**7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

PLANS PREPARED BY:

**TOWER ENGINEERING PROFESSIONALS**326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # C-1794

SEAL:



October 28, 2021

3	10-28-21	CONSTRUCTION
2	10-21-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

**APPENDIX B**

SHEET NUMBER:	REVISION:
<b>T-3</b>	<b>3</b>

TEP #: 304265.599340

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2 <sup>4</sup> AREA	(C) AREA FOR FRONTRAGE INCREASE <sup>1,5</sup>	(D) ALLOWABLE AREA PER STORY OR UNLIMITED <sup>2,3</sup>

<sup>1</sup> Frontage area increases from Section 506.2 are:

- Perimeter which fronts a public way \_\_\_\_\_ feet minimum width = \_\_\_\_\_ (F)
- Total Building Perimeter
- Ratio (F/P) = \_\_\_\_\_ (F/P)
- W = Minimum width of public way \_\_\_\_\_ feet
- Percent of frontage increase = \_\_\_\_\_ x W/30 = \_\_\_\_\_ (%)

<sup>2</sup> Unlimited area applicable under condition 507.

<sup>3</sup> Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).

<sup>4</sup> The maximum area of open parking garages must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1.

<sup>5</sup> Frontage increase is based on the unsprinklered area value in Table 506.2.

**NOT A BUILDING**

**ALLOWABLE HEIGHT**

	ALLOWABLE	ON PLANS	CODE REFERENCE
Building Height in Feet (Table 504.3)			
Building Height in Stories (Table 504.4)			

<sup>1</sup> Provide code reference if the "Shown on Plans" quantity is not based on the "Allowable" quantity.

**NOT A BUILDING**

**FIRE PROTECTION REQUIREMENTS**

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING		DETAIL # AND SHEET # FOR RATED ASSEMBLY	DESIGN # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
		REQ'D	PROVIDED (W/ _____ * REDUCTION)			
Structural Frame, including columns, girders, trusses						
Bearing Walls						
Exterior						
North						
East						
West						
South						
Interior						
Nonbearing Walls and Partitions						
Exterior walls						
North						
East						
West						
South						
Interior walls and partitions						
Floor Construction						
Including supporting beams and joists						
Floor Ceiling Assembly						
Columns Supporting Floors						
Roof Construction, including supporting beams and joists						
Roof Ceiling Assembly						
Columns Supporting Roof						
Shaft Enclosures - Exit						
Shaft Enclosures - Other						
Corridor Separation						
Occupancy/Fire Barrier Separation						
Party/Fire Wall Separation						
Smoke Barrier Separation						
Smoke Partition						
Tenant/Dwelling Unit/Sleeping Unit Separation						
Incidental Use Separation						

\* Indicate section number permitting reduction

PERCENTAGE OF WALL OPENING CALCULATIONS			
FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)

---

LIFE SAFETY REQUIREMENTS	
Emergency Lighting:	
Exit Signs:	
Fire Alarm:	
Smoke Detection Systems:	<input type="checkbox"/> Yes <input type="checkbox"/> Partial _____
Panic Hardware:	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes

## LIFE SAFETY PLAN REQUIREMENTS

ACCESSIBLE DWELLING UNITS (SECTION 1107)							
TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

---

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES PROVIDED		ACCESSIBLE SPACES PROVIDED		TOTAL # ACCESSIBLE PROVIDED
	REQUIRED	WITH VAN SPACES PROVIDED	VAN SPACES WITH 132" ACCESS AISLE	8' ACCESS AISLE	
<b>TOTAL</b>					

**NOT A BUILDING**

**Special approval:** (Local Jurisdiction, Dept., State, SC, DPI, DHHS, etc., describe below)

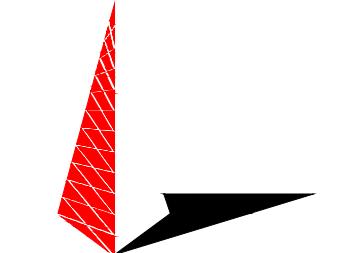
**Special approval:** (Local Jurisdiction, Dep't, State, etc., describe below) **BC, DPI, DHHS, etc., describe below)**

The logo for AT&T, featuring a blue and white globe icon followed by the text "at&t" in a lowercase, sans-serif font.

The logo for PeakNet, featuring the word "PeakNet" in a blue, sans-serif font with a stylized "e", followed by a graphic of green dots arranged in a semi-circular pattern.

PROJECT INFORMATION:  
**AT&T SITE #:** 074-4164  
**PEAKNET SITE NAME:**  
**CONCORD MP**  
7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

The logo for Tower Engineering Professionals is located in the top left corner. It features a red triangle with diagonal hatching, which is partially cut by a black diagonal line, creating a stylized 'T' shape. Below the graphic, the company name is printed in a bold, black, sans-serif font. Underneath the name, the address and office information are listed in a smaller, black, sans-serif font. The website address is in a slightly larger, black, sans-serif font, and the license number is in a smaller, black, sans-serif font at the bottom.



**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
[www.tepgroup.net](http://www.tepgroup.net)  
N.C. LICENSE # C-1794

A circular North Carolina Professional Engineer seal. The outer ring contains the text "NORTH CAROLINA" at the top and "PROFESSIONAL" at the bottom. The center contains "SEAL" at the top and "04826" below it. The bottom half of the seal contains "ENGINEER" on the left and "SCOTT C. BRANTLEY" on the right. Two blue ink signatures are present: one on the left and one on the right, both appearing to be "S. C. Brantley". The date "October 28, 2021" is written in the bottom right corner of the image.

October 28, 2021

3	10-28-21	CONSTRUCTION
2	10-21-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

## APPENDIX B

SHEET NUMBER: **T-4** REVISION: **3**  
TEP #: 304265.599340

PLANS PREPARED FOR:



2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

PLANS PREPARED FOR:



9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

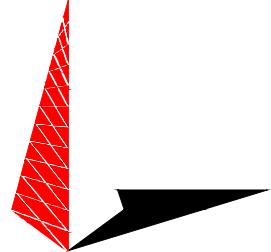
AT&T SITE #: 074-4164

PEAKNET SITE NAME:

CONCORD MP

7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS

326 TRYON ROAD

RALEIGH, NC 27603

OFFICE: (919) 661-6351

www.tepgroup.net

N.C. LICENSE # C-1794

SEAL:



October 28, 2021

3	10-28-21	CONSTRUCTION
2	10-21-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

## APPENDIX B

SHEET NUMBER:	REVISION:
T-5	3

TEP #: 304265.599340

### ENERGY SUMMARY

#### ENERGY REQUIREMENTS:

The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code:  No (If no, remainder of this section is not applicable)

Exempt Building:  No  Yes (Provide code or reason)

Climate Zone:  3A  4A  5A

Method of Compliance: Energy ASHRAE 188.1 (Prescriptive or Performance)  Prescriptive  Performance

#### THERMAL ENVELOPE (Prescriptive)

##### Roof/ceiling Assembly (each assembly)

Description of assembly: \_\_\_\_\_  
U-Value of total assembly: \_\_\_\_\_  
R-Value of insulation: \_\_\_\_\_  
Skylights in each assembly: \_\_\_\_\_  
U-Value of skylight: \_\_\_\_\_  
total square footage of skylights in each assembly: \_\_\_\_\_

##### Exterior Walls (each assembly)

Description of assembly: \_\_\_\_\_  
U-Value of total assembly: \_\_\_\_\_  
R-Value of insulation: \_\_\_\_\_  
Openings (windows or doors with glazing)  
U-Value of assembly: \_\_\_\_\_  
Solar heat gain coefficient: \_\_\_\_\_  
projection factor: \_\_\_\_\_  
Door R-Values: \_\_\_\_\_

##### Walls below grade (each assembly)

Description of assembly: \_\_\_\_\_  
U-Value of total assembly: \_\_\_\_\_  
R-Value of insulation: \_\_\_\_\_

##### Floors over unconditioned space (each assembly)

Description of assembly: \_\_\_\_\_  
U-Value of total assembly: \_\_\_\_\_  
R-Value of insulation: \_\_\_\_\_

##### Floors slab on grade

Description of assembly: \_\_\_\_\_  
U-Value of total assembly: \_\_\_\_\_  
R-Value of insulation: \_\_\_\_\_  
Horizontal/vertical requirement: \_\_\_\_\_  
slab heated: \_\_\_\_\_

NOT A BUILDING

NOT A BUILDING

NOT A BUILDING

PLANS PREPARED FOR:



2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

PLANS PREPARED FOR:



9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

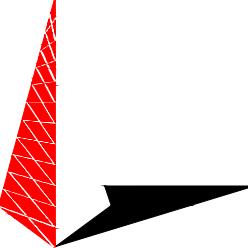
**AT&T SITE #: 074-4164**

**PEAKNET SITE NAME:**

**CONCORD MP**

7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

PLANS PREPARED BY:



**TOWER ENGINEERING PROFESSIONALS**

326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # C-1794

SEAL:



October 28, 2021

3	10-28-21	CONSTRUCTION
2	10-21-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

## APPENDIX B

SHEET NUMBER:	REVISION:
<b>T-6</b>	<b>3</b>

TEP #: 304265.599340

### 2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS MECHANICAL DESIGN (PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)

#### MECHANICAL SUMMARY

##### MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

###### Thermal Zone

winter dry bulb: \_\_\_\_\_  
summer dry bulb: \_\_\_\_\_

###### Interior design conditions

winter dry bulb: \_\_\_\_\_  
summer dry bulb: \_\_\_\_\_  
relative humidity: \_\_\_\_\_

###### Building heating load:

###### Building cooling load:

###### Mechanical Spacing Conditioning System

Unitary  
description of unit: \_\_\_\_\_  
heating efficiency: \_\_\_\_\_  
cooling efficiency: \_\_\_\_\_  
size category of unit: \_\_\_\_\_

###### Boiler

Size category. If oversized, state reason.: \_\_\_\_\_

###### Chiller

Size category. If oversized, state reason.: \_\_\_\_\_

List equipment efficiencies: \_\_\_\_\_

**NOT A BUILDING**

### 2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS ELECTRICAL DESIGN (PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)

#### ELECTRICAL SUMMARY

##### ELECTRICAL SYSTEM AND EQUIPMENT

Method of Compliance: Energy Code  Performance  Prescriptive  
ASHRAE 90.1  Prescriptive  Prescriptive

###### Lighting schedule (each fixture type)

lamp type required in fixture  
number of lamps in fixture  
ballast type used in fixture  
number of ballasts  
total wattage per fixture  
total interior wattage allowed (whole building or space by space)  
total exterior wattage allowed

**NOT A BUILDING**

###### Additional Efficiency Packages Options (When using the 2018 NCECC; not required for ASHRAE 90.1)

- C406.2 More Efficient HVAC Equipment Performance
- C406.3 Reduced Lighting Power Density
- C406.4 Enhanced Digital Lighting Controls
- C406.5 On-Site Renewable Energy
- C406.6 Dedicated Outdoor Air System
- C406.7 Reduced Energy Use in Service Water Heating

## GENERAL NOTES:

- ALL REFERENCES MADE TO LICENSEE IN THESE DOCUMENTS SHALL BE CONSIDERED AT&T OR ITS DESIGNATED REPRESENTATIVE.
- ALL WORK PRESENTED ON THESE DRAWINGS MUST BE COMPLETED BY THE CONTRACTOR UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING TO HAVE SUFFICIENT EXPERIENCE AND ABILITY, IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED AND IS PROPERLY LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE OF NORTH CAROLINA.
- WORK SHALL BE COMPLETED IN ACCORDANCE WITH ANSI/TIA 222-H STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES, ASCE 7-05 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES AND THE NORTH CAROLINA BUILDING CODE, 2018 EDITION.
- UNLESS SHOWN OR NOTED OTHERWISE ON THE CONTRACT DRAWINGS, OR IN THE SPECIFICATIONS, THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HEREIN, AND TO THE PROCEDURES TO BE USED ON THIS PROJECT.
- ALL HARDWARE ASSEMBLY MANUFACTURER'S INSTRUCTIONS SHALL BE FOLLOWED EXACTLY AND SHALL SUPERSEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS DURING ERECTION AND/OR FIELD MODIFICATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF TEMPORARY BRACING, GUYS OR TIE DOWNS THAT MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER THE COMPLETION OF THE PROJECT.
- THE LESSEE SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHILE WORK IS BEING PERFORMED. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL CONDITIONS PRIOR TO SUBMITTING THE PROPOSAL. ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS SHOWN ON THE DRAWINGS (LATEST REVISION) SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING ANY MATERIALS ORDERING, FABRICATION OR CONSTRUCTION WORK ON THIS PROJECT. CONTRACTOR SHALL NOT SCALE CONTRACT DRAWINGS IN LIEU OF FIELD VERIFICATION. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LESSEE AND THE LESSEE'S ENGINEER. THE DISCREPANCIES MUST BE RESOLVED BEFORE THE CONTRACTOR IS TO PROCEED WITH THE WORK. THE CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE LESSEE AND/OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE PROCEDURES. A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY GOVERNING AGENCY INSPECTORS.
- ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE LESSEE AND ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
- THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES, AND COMPLIANCE WITH LOCAL, PROVINCIAL AND FEDERAL REGULATIONS REGARDING SAFETY, SHALL BE THE CONTRACTOR'S RESPONSIBILITY, AND THIS, PER THE INTERNATIONAL CODE - REGULATORS RESPECTING OCCUPATIONAL SAFETY & HEALTH THE SUCCESSFUL CONTRACTOR WILL SUBMIT HIS SAFETY MANUAL AT THE PROJECT SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- ACCESS TO THE PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTENDED CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIALS ACCESS, WITH THE LESSEE'S PROJECT MANAGER.
- BILL OF MATERIALS AND PART NUMBERS LISTED ON CONSTRUCTION DRAWINGS ARE INTENDED TO AID CONTRACTOR/LESSEE. CONTRACTOR/LESSEE SHALL VERIFY PARTS AND QUANTITIES WITH MANUFACTURER PRIOR TO BIDDING AND/OR ORDERING MATERIALS.
- THE CONTRACTOR SHALL REWORK (DRY, SCARIFY, ETC.) ALL MATERIAL NOT SUITABLE FOR SUBGRADE IN ITS PRESENT STATE. AFTER REWORKING, IF THE MATERIAL REMAINS UNSUITABLE, THE CONTRACTOR SHALL UNDERCUT THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL. ALL SUBGRADES SHALL BE PROOF-ROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PAVING. ANY SOFT MATERIAL SHALL BE REWORKED OR REPLACED.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL PIPES, DITCHES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTED BY THE LESSEE. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURE IN OPERABLE CONDITION.
- ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE YEAR FROM ACCEPTANCE DATE.
- ANY BUILDINGS ON THIS SITE ARE INTENDED TO SHELTER EQUIPMENT WHICH WILL ONLY BE PERIODICALLY MAINTAINED, AND ARE NOT INTENDED FOR HUMAN OCCUPANCY.
- TEMPORARY FACILITIES FOR PROTECTION OF TOOLS AND EQUIPMENT SHALL CONFORM TO LOCAL REGULATIONS AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- RENTAL CHARGES, SAFETY, PROTECTION AND MAINTENANCE OF RENTED EQUIPMENT SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR AND ITS SUBCONTRACTORS SHALL CARRY LIABILITY INSURANCE IN THE AMOUNTS AND FORM IN ACCORDANCE WITH SPECIFICATIONS. CERTIFICATES DEMONSTRATING PROOF OF COVERAGE SHALL BE PROVIDED TO PRIOR TO THE START OF THE WORK ON THE PROJECT.

- THE CONTRACTOR SHALL CONTACT ALL APPLICABLE UTILITY SERVICES TO VERIFY LOCATIONS OF EXISTING UTILITIES AND REQUIREMENTS FOR NEW UTILITY CONNECTIONS PRIOR TO EXCAVATING. CONTRACTOR WILL BE RESPONSIBLE TO ASSIST IN COORDINATING AND OBTAINING PRIMARY POWER TO THE SITE PRIOR TO TOWER ERECTION BEFORE PROJECT COMPLETION. (ON SITE VISITS WITH UTILITY COMPANY REPRESENTATIVES AS NECESSARY, ETC...)
- THE CONTRACTOR SHALL GUARANTEE THE WORK PERFORMED ON THE PROJECT BY THE CONTRACTOR AND ANY OR ALL OF THE SUBCONTRACTORS WHO PERFORMED WORK FOR THE CONTRACTOR ON THIS PROJECT. THE GUARANTEE SHALL BE FOR A FULL YEAR FOLLOWING ISSUANCE OF THE FINAL PAYMENT OF HOLDBACK.
- AWARDED CONTRACTOR WILL BE REQUIRED TO SIGN AND RETURN A COPY OF AN AWARD LETTER FOR THE LESSEE'S FILE.
- CONTRACTOR WILL BE REQUIRED TO PROVIDE PROOF OF LICENSE TO PERFORM WORK IN JURISDICTION AT TIME OF BID AWARD.
- CONTRACTOR WILL PROVIDE A CONSTRUCTION SCHEDULE PRIOR TO CONSTRUCTION STARTING AND WILL PROVIDE UPDATE/CHANGES (WITH EXPLANATIONS) TO THAT SCHEDULE WHEN/IF ITEMS ARE DELAYED OR PUSHED OUT.
- CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE PROJECT MANAGERS WITH PHOTOS OF THE MAJOR CONSTRUCTION MILESTONES AS THEY OCCUR.
- CONTRACTOR SHOULD BE PREPARED FOR RANDOM SAFETY INSPECTIONS AT ALL TIMES.
- CONTRACTOR IS EXPECTED TO MAINTAIN PROPER WORKING CONDITIONS AND PROCEDURES PER LOCAL AND FEDERAL STANDARDS AT ALL TIMES.
- CONTRACTOR WILL BE REQUIRED TO OBTAIN THE NECESSARY ELECTRICAL PERMITS AND INSPECTIONS AS REQUIRED BY JURISDICTION.
- CONTRACTOR IS RESPONSIBLE FOR CONCRETE COMPRESSION TESTING.
- CONTRACTOR IS RESPONSIBLE FOR GROUND MEG TESTING AND PROVIDING PROOF OF RESULT.
- WHEN REQUESTED, PROVIDE 3 COPIES OF FABRICATION AND ERECTION DRAWINGS PRIOR TO FABRICATION. ALLOW UP TO 1 WEEK FOR REVIEW BY CONSULTANT.
- IN ADDITION TO CONTRACTOR'S QUALITY CONTROL PROGRAM, INDEPENDENT TESTING AND INSPECTION MAY BE PERFORMED BY LESSEE OR LESSEE'S REPRESENTATIVE.
- SUBMIT RED-LINES COPY OF CONSTRUCTION DRAWINGS UPON COMPLETION OF CONSTRUCTION HIGHLIGHTING CHANGES IN THE STAMPED AND SIGNED AS-BUILT CONDITION FROM SHOWN ON THE DRAWINGS.
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL GRADING AND FILL COMPACTION TESTING REQUIRED AS SET FORTH IN THE GEO TECHNOLOGICAL REPORT PROVIDED BY LESSEE.

## CONCRETE:

- ALL CONCRETE AND CONCRETE MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE NORTH CAROLINA BUILDING CODE, 2018 EDITION.
- THE CONTRACTOR SHALL TAKE SAMPLES OF THE CONCRETE POURED UNDER THE CONDITIONS OUTLINED IN THE NORTH CAROLINA BUILDING CODE, 2018 EDITION.
- ANY FAILURE OF A CONCRETE TEST CYLINDER TO MEET THE SPECIFIED STRENGTH REQUIREMENTS MUST BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY. CORRECTIVE ACTION MUST BE APPROVED BY THE ENGINEER AND ALL RELATED COSTS SHALL BE AT THE CONTRACTOR'S EXPENSE.
- THE MINIMUM 28-DAY COMPRESSIVE STRENGTH OF THE CONCRETE SHALL BE A MINIMUM OF 4,000 PSI (21 MPa), EXCEPT AS NOTED OR DIRECTED IN THE SOIL REPORT. THE CONCRETE, WHEN POURED, SHALL CONTAIN 7% AIR ENTRAINMENT WITH AN ALLOWABLE VARIATION OF +2%.
- CONTRACTOR MUST TAKE SLUMP TEST AT LEAST ONCE FROM EACH TRANSIT MIXER AFTER A MINIMUM OF 5% CONCRETE LOAD HAD BEEN DISCHARGED. SLUMP, UNLESS NOTED OTHERWISE ON THE DRAWINGS, SHALL BE 75 MM (2.95 INCHES).
- MIXED CONCRETE ON SITE (REMOTE AREAS) WITH THE CORRECT PROPORTION OF CEMENT, SAND, GRAVEL, AND AIR-ENTRAINING AGENT ALREADY ADDED, THE DRY PREMIX IS TO BE MIXED IN A CONCRETE BATCHER IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- BEFORE POURING CONCRETE, THE TRANSPORTING EQUIPMENT AND FORMS SHALL BE CLEANED AND ALL DEBRIS AND ICE SHALL BE REMOVED FROM PLACES TO BE OCCUPIED BY THE CONCRETE. ANY WATER THAT HAS ACCUMULATED IN THE FORMS SHALL BE REMOVED.
- ALL CONCRETE SHALL BE VIBRATED AND WORKED AROUND THE REINFORCEMENTS, EMBEDDED FIXTURES AND INTO THE CORNERS OF THE FORMS. ANY EXCESS WATER THAT ACCUMULATES WHILE THE CONCRETE IS BEING POURED SHALL BE REMOVED.

PLANS PREPARED FOR:

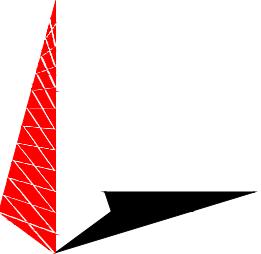
  
at&t  
2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

PLANS PREPARED FOR:

  
PeakNet  
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:  
**AT&T SITE #: 074-4164**  
**PEAKNET SITE NAME: CONCORD MP**  
7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

PLANS PREPARED BY:

  
TOWER ENGINEERING PROFESSIONALS  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # C-1794



3	10-28-21	CONSTRUCTION
2	10-21-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

## GENERAL NOTES

SHEET NUMBER:	REVISION:
N-1	3

TEP #: 304265.599340

## **CONCRETE (CONTINUED):**

9. THE DESIGN ENGINEER SHALL RECEIVE A MINIMUM OF 24 HOURS NOTICE OF EVERY POUR.
10. THE CONCRETE IN FOUNDATIONS MUST BE POURED IN CONTINUOUS POURS BETWEEN CONSTRUCTION JOINTS. NO CONSTRUCTION JOINTS OTHER THAN THOSE SHOWN ON SITE SPECIFIC DRAWINGS WILL BE PERMITTED. THE CONTRACTOR SHALL PROVIDE EFFICIENT EQUIPMENT TO COMPLETE THE POURING OF EACH SECTION IN ONE CONTINUOUS POUR.
11. ALL FRAMEWORK SHALL BE BUILT IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE SHALL BE THOROUGHLY BRACED AND PLUMBED SO THAT THE FINISHED CONCRETE WILL CONFORM TO THE SHAPES, LINES, GRADES, AND DIMENSIONS INDICATED ON THE SITE DRAWINGS.
12. FORMS AND SHORING SHALL NOT BE REMOVED UNTIL THE CONCRETE IS ADEQUATELY SET. THEIR REMOVAL SHALL BE DONE IN SUCH A MANNER AS TO ENSURE THE COMPLETE SAFETY OF THE STRUCTURE.
13. FORMS WHICH SUPPORT THE WEIGHT OF THE CONCRETE, OR OF SUPERIMPOSED LOADS, SHALL NOT BE REMOVED UNTIL THE CONCRETE IS STRONG ENOUGH TO CARRY ITS OWN WEIGHT, AND SUCH SUPERIMPOSED LOADS AS MAY BE PLACED UPON IT.
14. THE CONCRETE SHALL BE MAINTAINED IN A MOIST CONDITION FOR AT LEAST 5 DAYS AFTER IT HAS BEEN POURED.
15. ALL SURFACES WHICH ARE NOT PROTECTED BY FORMS OR A SEALED WATERPROOF COATING SHALL BE KEPT MOIST BY CONTINUOUS SPRINKLING, OR OTHER MEANS SUCH AS COVERING WITH MOIST SAND, SAWDUST, OR BURLAP.
16. WHERE NECESSARY, THE CONCRETE SHALL BE PROTECTED AGAINST THE WEATHER BY A FRAMED HOUSING, TARPAULINS, OR OTHER SUITABLE COVERING.

## **REINFORCING STEEL (REBAR):**

1. REINFORCING STEEL SHALL MEET CODE AND BE PLACED ACCORDING TO THE APPLICABLE DRAWINGS. THE MINIMUM THICKNESS OF CONCRETE OVER THE STEEL SHALL BE AT LEAST 3".
2. ALL REINFORCEMENTS THAT ARE REQUIRED FOR A DAY'S POUR ON CONCRETE SHALL BE SECURELY FIXED IN PLACE IN SUFFICIENT TIME TO PERMIT INSPECTION BEFORE CONCRETING BEGINS.
3. THE DESIGN ENGINEER SHALL BE GIVEN 24 HOURS NOTICE BEFORE THE CONCRETE IS TO BE POURED. FAILURE TO COMPLY MAY NECESSITATE, BUT NOT BE LIMITED TO, THE REMOVAL OF THE POURED CONCRETE AT THE CONTRACTOR'S EXPENSE.

## **GROUTING:**

1. WHERE GROUT IS INDICATED ON THE DRAWINGS UNDER STRUCTURAL BASE PLATES, THIS SHALL BE A NON-SHRINK, NON-FERROUS TYPE. METHODS OF MIXING AND PLACING MUST BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

## **COLD WEATHER CONCRETING:**

1. THE CONTRACTOR SHALL PROVIDE AND HAVE ON THE SITE READY FOR USE, ADEQUATE EQUIPMENT FOR HEATING CONCRETE MATERIALS AND PROTECTING FRESH CONCRETE DURING FREEZING OR NEAR FREEZING WEATHER CONDITIONS, ACCORDING TO THE NORTH CAROLINA UNIFORM STATEWIDE BUILDING CODE.
2. ALL CONCRETE MATERIALS, REBAR, FORMS, FILLERS, AND THE EARTH WITH WHICH THE CONCRETE IS TO COME INTO CONTACT WITH, SHALL BE FREE FROM FROST AND ICE.
3. WHENEVER THE SURROUNDING TEMPERATURE IS BELOW 39°F, ALL CONCRETE POURED IN THE FORMS SHALL HAVE A TEMPERATURE OF 68°F FOR 4 DAYS.
4. THE HOUSING, COVERING, OR OTHER PROTECTION USED FOR THE CURING SHALL REMAIN IN PLACE AND INTACT FOR AT LEAST 24 HOURS AFTER THE ARTIFICIAL HEATING IS DISCONTINUED.
5. SALT, CALCIUM CHLORIDE, OR OTHER CHEMICALS SHALL NOT BE USED IN THE CONCRETE MIX TO PREVENT THE WATER CONTENT FROM FREEZING.

## **UTILITIES:**

1. CONTRACTOR SHALL CONTACT A SUBSURFACE UTILITY LOCATOR FOR LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. LOCATION OF EXISTING SEWER, WATER LINES, GAS LINES, CONDUITS OR OTHER STRUCTURES ACROSS, UNDERNEATH, OR OTHERWISE ALONG THE LINE OF PROPOSED WORK ARE NOT NECESSARILY SHOWN ON THE PLANS, AND IF SHOWN ARE ONLY APPROXIMATELY CORRECT. CONTRACTOR ASSUMES SOLE RESPONSIBILITY FOR VERIFYING LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES (INCLUDING TEST PITS BY HAND IF NECESSARY) IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS, OR IF THERE APPEARS TO BE A CONFLICT.
2. CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH APPROPRIATE UTILITY LICENSEES AND CONSTRUCTION MANAGER.
3. DAMAGE BY THE CONTRACTOR TO UTILITIES OR PROPERTY OF OTHERS, INCLUDING EXISTING PAVEMENT AND OTHER SURFACES DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE LICENSEE. FOR GRASSES AREAS, SEED AND MULCH SHALL BE ACCEPTABLE.

## **UTILITIES (CONT.):**

4. THE CONTRACTOR SHALL COORDINATE WITH THE LESSEE THE REQUIREMENTS FOR AND LIMITS OF OVERHEAD AND/OR UNDERGROUND ELECTRICAL SERVICE.
5. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF NEW UNDERGROUND TELEPHONE SERVICE WITH THE TELEPHONE UTILITY AND THE LESSEE'S REQUIREMENTS.
6. ALL UNDERGROUND UTILITIES SHALL BE INSTALLED AND TESTED SATISFACTORY PRIOR TO COMMENCING ANY PAVING OPERATIONS WHERE SUCH UTILITIES ARE WITHIN THE LIMITS OF PAVEMENT.

## **SITE GRADING PREPARATION:**

1. REMOVE OBSTRUCTIONS, TREES, SHRUBS, GRASS, AND OTHER VEGETATION TO PERMIT INSTALLATION OF NEW CONSTRUCTION.
2. DO NOT REMOVE TREES, SHRUBS, AND OTHER VEGETATION INDICATED TO REMAIN OR TO BE RELOCATED. DO NOT WORK OUTSIDE LESSEE LEASE AREA. CUT MINOR ROOTS AND BRANCHES OF TREES INDICATED TO REMAIN IN A CLEAN AND CAREFUL MANNER WHERE SUCH ROOTS AND BRANCHES OBSTRUCT INSTALLATION OF NEW CONSTRUCTION.
3. REMOVE STUMPS, OBSTRUCTIONS, AND DEBRIS EXTENDING TO A DEPTH OF 18 INCHES BELOW EXPOSED SUBGRADE. USE ONLY HAND METHODS FOR GRUBBING WITHIN TREE PROTECTION ZONE.
4. CHIP REMOVED TREE BRANCHES AND DISPOSE OF OFF-SITE.
5. UNLESS SPECIFICALLY NOTED ON THE CONSTRUCTION DRAWINGS THE ACCESS ROAD SHALL BE CLEARED OF ALL TREES WITHIN 10' ON EACH SIDE OF THE PROPOSED TRAVEL LANE OR 30 FEET WIDE, WHICHEVER IS GREATER.
6. FILL DEPRESSIONS CAUSED BY CLEARING AND GRUBBING OPERATIONS WITH SATISFACTORY SOIL MATERIAL UNLESS FURTHER EXCAVATION OR EARTHWORK IS INDICATED. PLACE FILL MATERIAL IN HORIZONTAL LAYERS NOT EXCEEDING A LOOSE DEPTH OF 8 INCHES AND COMPACT EACH LAYER TO A DENSITY EQUAL TO ADJACENT ORIGINAL GROUND.
7. REMOVED SOD AND GRASS BEFORE STRIPPING TOPSOIL. STRIP TOPSOIL TO WHATEVER DEPTHS ARE ENCOUNTERED IN A MANNER TO PREVENT INTERMINGLING WITH UNDERLYING SUBSOIL OR OTHER WASTE MATERIALS. REMOVE SUBSOIL AND NON-SOIL MATERIALS FROM TOPSOIL, INCLUDING TRASH, DEBRIS, WEEKS, ROOTS, AND OTHER WASTE MATERIALS.
8. STOCKPILE TOPSOIL MATERIALS AWAY FROM EDGE OF EXCAVATIONS WITHOUT INTERMINGLING SUBSOIL GRADE AND SHAPE STOCKPILES TO DRAIN SURFACE WATER. COVER TO PREVENT WINDBLOWN DUST OR CONTAMINATION BY AIR-BORNE WEED SEEDING. DO NOT STOCKPILE TOPSOIL WITHIN TREE PROTECTION ZONES.
9. UNLESS DIRECTED OTHERWISE BY LESSEE CONSTRUCTION MANAGER ALL TOPSOIL THAT HAS BEEN STRIPPED OR CUT AND STOCKPILED, BUT IS NOT NEEDED AFTER THE COMPLETION OF ALL FINAL TOPSOIL SPREADING AND GRASSING, SHALL BE REMOVED FROM THE PROPERTY BY THE CONTRACTOR.

10. UNLESS DIRECTED OTHERWISE BY LESSEE CONSTRUCTION MANAGER ALL TIMBER FROM CLEARING OPERATIONS SHALL BE REMOVED FROM THE PROPERTY.
11. REMOVED EXISTING ABOVE- AND BELOW-GRADE IMPROVEMENTS AS INDICATED AND AS NECESSARY TO FACILITATE NEW CONSTRUCTION.
12. REMOVED SLABS, PAVING, CURBS, GUTTERS, AND AGGREGATE BASE AS INDICATED. UNLESS EXISTING FULL-DEPTH JOINTS COINCIDE WITH LINE DEMOLITION, NEATLY SAW-CUT LENGTH OF EXISTING PAVEMENT TO REMAIN BEFORE EXISTING PAVEMENT. SAW-CUT FACES VERTICALLY. PAINT CUT ENDS OF STEEL REINFORCEMENT IN CONCRETE TO REMAIN TO PREVENT CORROSION AND PROVIDE ORANGE SAFETY CAPS ON ALL BLUNT ENDS.
13. DISPOSAL: REMOVE SURPLUS SOIL MATERIAL, STUMPS, BRUSH, CHIPS, UNSUITABLE TOPSOIL, OBSTRUCTIONS, DEMOLISHED MATERIALS, AND WASTE MATERIALS INCLUDING TRASH AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF LICENSEE'S PROPERTY.

14. BURNING ON SITE IS PROHIBITED. BURYING STUMPS, BRUSH, TREES, AND ORGANIC MATTER IS PROHIBITED. SEPARATE RECYCLABLE MATERIALS PRODUCED DURING SITE CLEARING FROM OTHER NON-RECYCLABLE MATERIALS. STORE OR STOCKPILE WITHOUT INTERMINGLING WITH OTHER MATERIALS AND TRANSPORT THEM TO RECYCLING FACILITIES.

PLANS PREPARED FOR:



2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

PLANS PREPARED FOR:



9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

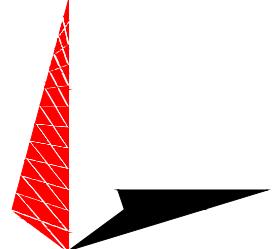
**AT&T SITE #:** 074-4164

**PEAKNET SITE NAME:**

**CONCORD MP**

7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

PLANS PREPARED BY:



**TOWER ENGINEERING PROFESSIONALS**

326 TRYON ROAD

RALEIGH, NC 27603

OFFICE: (919) 661-6351

www.tepgroup.net

N.C LICENSE # C-1794

SEAL:



3 10-28-21 CONSTRUCTION

2 10-21-21 PRELIMINARY

REV DATE ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

**GENERAL  
NOTES**

SHEET NUMBER: REVISION:

**N-2**

**3**

TEP #: 304265.599340



### VICINITY MAP n.t.s.

**NOTES:**

1. BASIS OF THE BEARINGS AND COORDINATES IS THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM (NAD 83/2011) BASED ON DIFFERENTIAL GPS OBSERVATIONS PERFORMED ON JUNE 16, 2021; TIED TO THE NATIONAL SPATIAL REFERENCE SYSTEM VIA CORS STATIONS; AND EXPRESSED IN US SURVEY FEET. ALL DISTANCES ARE NC GRID DISTANCES.
2. AREA COMPUTED BY COORDINATE GEOMETRY
3. DEED REFERENCE: DEED BOOK 12043, PAGE 23
4. PLAT REFERENCE: NOT ON RECORD
5. PARCEL #: 4693265101000
6. THIS SURVEY IS NOT AN ALTA/NSPS LAND TITLE SURVEY.
7. SEE SHEET 3 FOR TITLE COMMITMENT NO. UST69470
8. ALL PROPERTY OWNERSHIPS WERE TAKEN FROM CURRENT COUNTY TAX MAP RECORDS AND/OR RECORDED PLATS ONLY
9. BY GRAPHIC DETERMINATION THE SUBJECT PROPERTY LIES IN FLOOD ZONE "X", AREA DETERMINED TO BE OUTSIDE 0.2% CHANCE OF ANNUAL FLOOD BASED UPON FEMA COMMUNITY PANEL # 3710469300J, EFFECTIVE NOVEMBER 05, 2008.
10. LESSEE INFORMATION: PEAKNET SERVICES, LLC, 9887 FOURTH ST NORTH, STE 100 ST. PETERSBURG, FL 33702
11. PROPERTY OWNER INFORMATION: EDWARD D. MESIMER TRUST AGREEMENT 7621 TUCKASEEGEE RD KANNAPOLIS, NC 28081

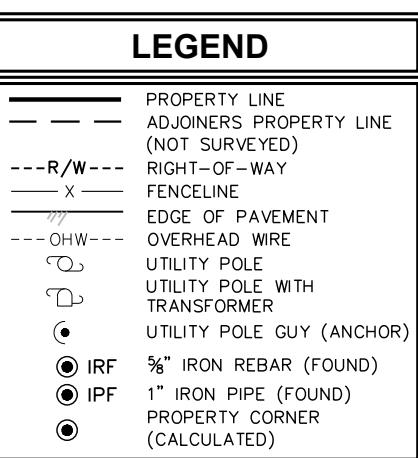
REV	DATE	ISSUED FOR	INITIALS
0	07/08/2021	PRELIMINARY	DDS
1	08/04/2021	FINAL	DDS
2	09/22/2021	REVISIONS	DDS
3	02/23/2022	REVISIONS	DDS
4	05/31/2022	TOWER HEIGHT	DDS

THIS MAP MAY NOT BE A CERTIFIED SURVEY AND HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS AND HAS NOT BEEN REVIEWED FOR COMPLIANCE WITH RECORDING REQUIREMENTS FOR PLATS (G.S. 47-30(n))

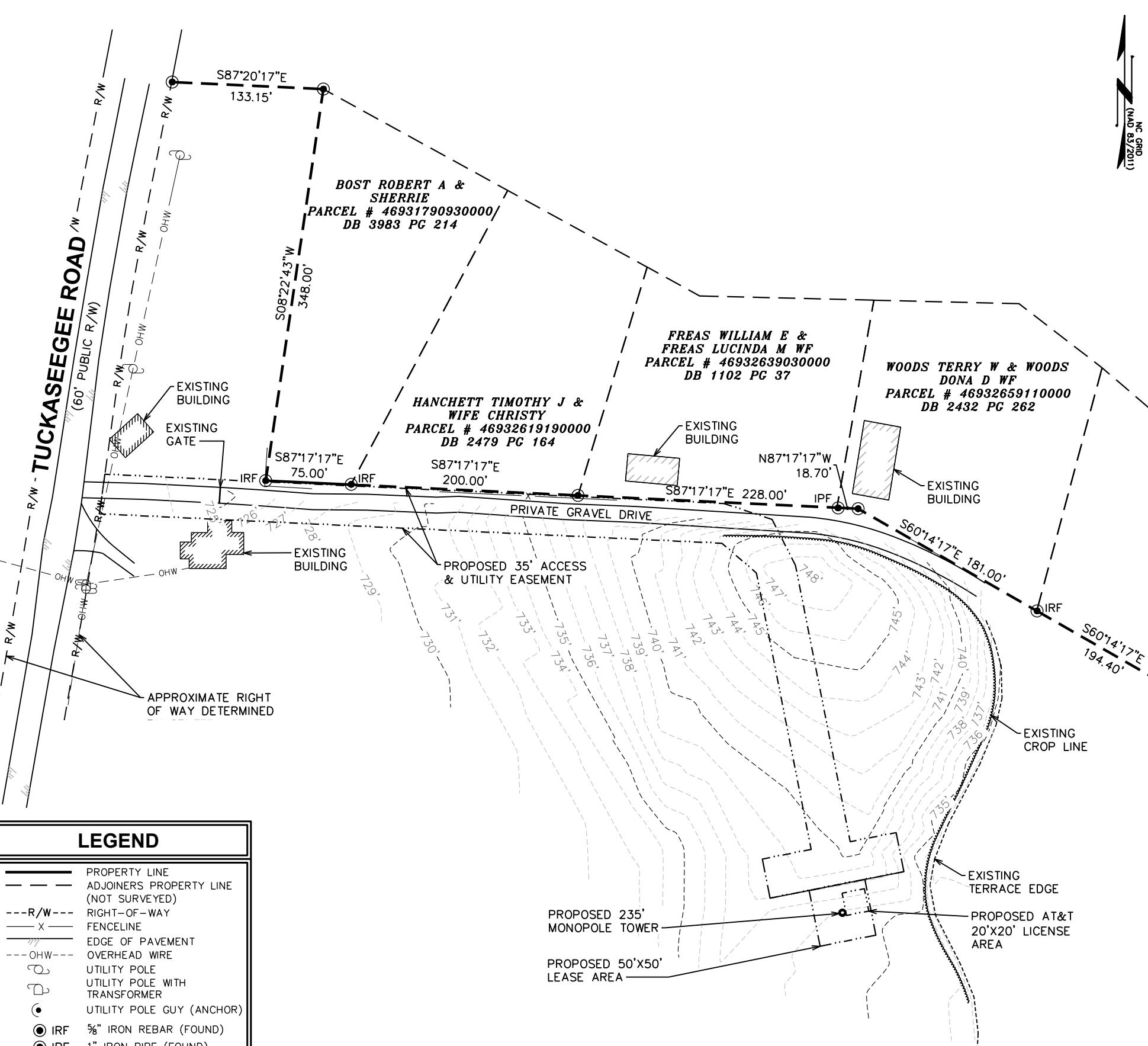
### 1A CERTIFICATE

LATITUDE: N 35° 29' 12.73" (NAD '83/2011)  
LONGITUDE: W 80° 42' 18.65" (NAD '83/2011)

GROUND ELEV. (AMSL): 735.90' ± (NAVD '88)



- PROPERTY LINE
- - - ADJOINERS PROPERTY LINE (NOT SURVEYED)
- R/W --- RIGHT-OF-WAY
- X — FENCELINE
- /— EDGE OF PAVEMENT
- OHW --- OVERHEAD WIRE
- U — UTILITY POLE
- UTILITY POLE WITH TRANSFORMER
- UTILITY POLE GUY (ANCHOR)
- IRF 5/8" IRON REBAR (FOUND)
- IPF 1" IRON PIPE (FOUND)
- PROPERTY CORNER (CALCULATED)



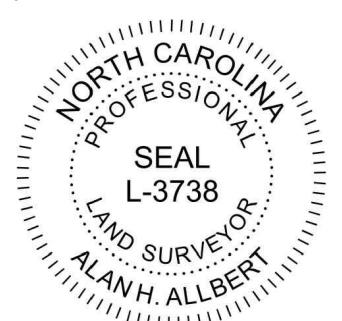
**TEP ENGINEERING, PLLC**  
326 TRYON ROAD  
RALEIGH, NC 27603-3530  
(919) 661-6351  
COA # P-1403

SHEET #: 1 OF 3 TEP #: 304265

### TOPOGRAPHIC SURVEY

I, Alan H. Allbert, certify that this plat was drawn under my supervision from an actual survey performed under my supervision (deed description recorded in Book 12043, page 23, etc.) (other); that the ratio of precision as calculated is 1:10,000; that the Global Positioning System (GPS) survey and the following information was used to perform the GPS (GNSS) if dual constellations are used) survey:

Class of survey: Class A  
Positional accuracy: 0.06  
Type of GPS field procedure: Real-Time Kinematic  
Dates of survey: June 16, 2021  
Datum/Epoch: Horizontal Datum is NAD 1983/2011, Vertical Datum is NAVD 1988  
Published/Fixed-control use: VRS  
Geoid model: GEOID18  
Combined grid factor(s): 0.999853  
Units: U.S. Survey Feet  
That this map meets the requirements of the standards of practice for land surveying in North Carolina (21 NCAC 56.1600).  
Witness my original signature and seal this the 23rd day of February, 2022.



*Alan H. Allbert*

ALAN H. ALLBERT  
NORTH CAROLINA PLS # L-3738

### PROJECT INFORMATION:

#### CONCORD MP

7621 TUCKASEEGEE RD  
KANNAPOLIS, TOWNSHIP  
CABARRUS COUNTY, NC, 28081

PRELIMINARY TELECOMMUNICATIONS SURVEY PREPARED FOR:



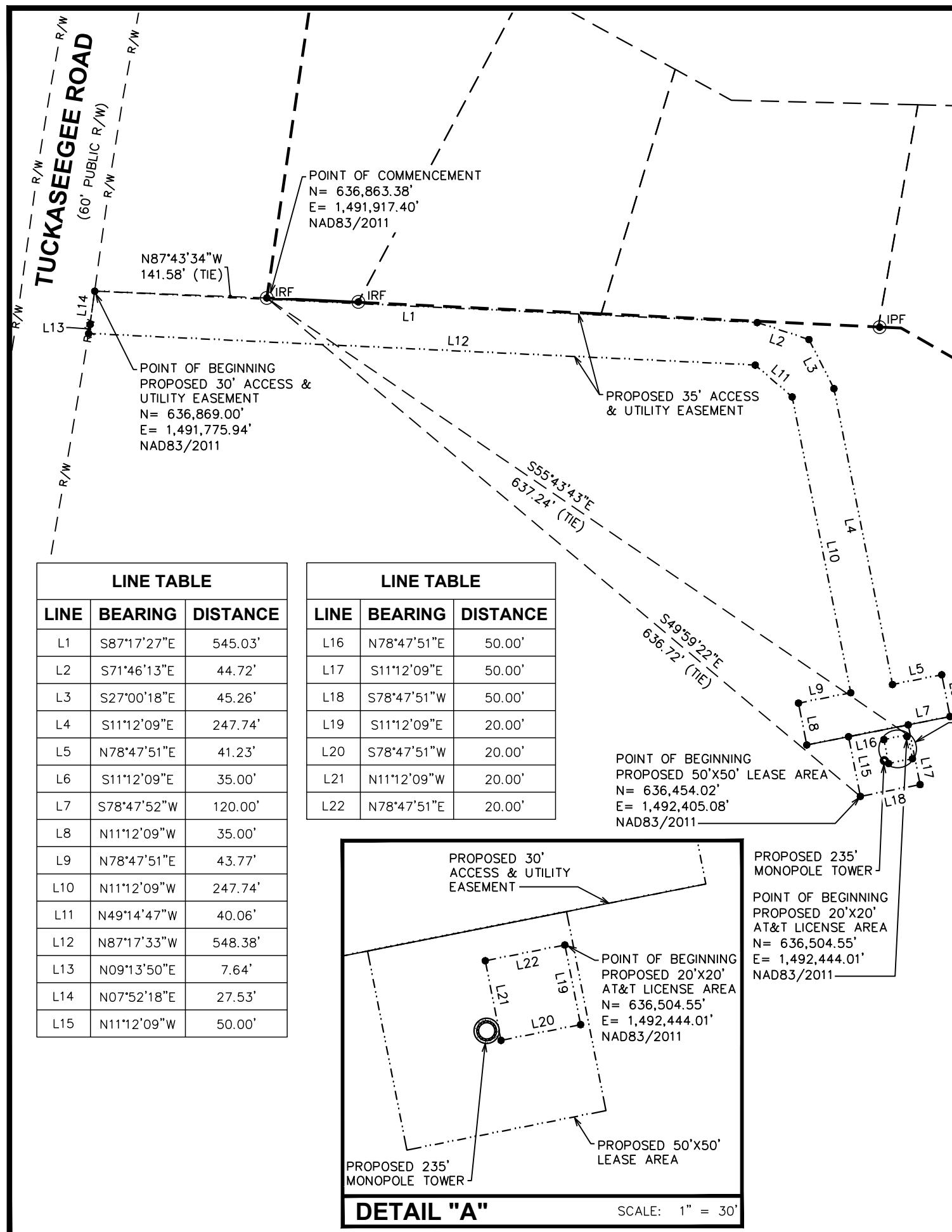
9887 FOURTH STREET NORTH, SUITE 100  
SAINT PETERSBURG, FL 33702

FIELD WORK PERFORMED ON: 6/16/21

0' 100' 200'

SCALE: 1" = 100'

ORIGINAL MAP SIZE 11.00" X 17.00"



## LEGAL DESCRIPTION OF 50' X 50' LEASE AREA

ALL THAT CERTAIN LEASE AREA, SITUATED, LYING AND BEING IN NUMBER THREE TOWNSHIP, CABARRUS COUNTY, NORTH CAROLINA, BEING A PORTION OF THE LANDS DESCRIBED IN DEED BOOK 12043 AT PAGE 23 OF THE CABARRUS COUNTY REGISTER OF DEEDS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT AN EXISTING IRON REBAR FOUND ON A NORTHERLY LINE OF THE PARCEL DESCRIBED IN SAID DEED BOOK 12043, PAGE 23, HAVING NORTH CAROLINA STATE PLANE COORDINATES OF NORTHING = 636,863.38', AND EASTING = 1,491,917.40'; THENCE, FROM THE POINT OF COMMENCEMENT, SOUTH 49°59'22" EAST A DISTANCE OF 636.72 FEET TO A POINT ON THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED 50' X 50' LEASE AREA, SAID POINT BEING THE TRUE POINT OF BEGINNING, HAVING NORTH CAROLINA STATE PLANE COORDINATES OF NORTHING = 636,454.02', AND EASTING = 1,492,405.08'; THENCE, FROM THE POINT OF BEGINNING, NORTH 11°12'09" WEST A DISTANCE OF 50.00 FEET TO A POINT; THENCE NORTH 78°47'51" EAST A DISTANCE OF 50.00 FEET TO A POINT; THENCE SOUTH 11°12'09" EAST A DISTANCE OF 50.00 FEET TO THE POINT OF BEGINNING.

SAID LEASE AREA CONTAINING 2,500 SQUARE FEET OR 0.057 ACRES MORE OR LESS.

## LEGAL DESCRIPTION OF 30' ACCESS & UTILITY EASEMENT

ALL THAT CERTAIN EASEMENT AREA, SITUATED, LYING AND BEING IN NUMBER THREE TOWNSHIP, CABARRUS COUNTY, NORTH CAROLINA, BEING A PORTION OF THE LANDS DESCRIBED IN DEED BOOK 12043 AT PAGE 23 OF THE CABARRUS COUNTY REGISTER OF DEEDS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT AN EXISTING IRON REBAR FOUND ON A NORTHERLY LINE OF THE PARCEL DESCRIBED IN SAID DEED BOOK 12043, PAGE 23, HAVING NORTH CAROLINA STATE PLANE COORDINATES OF NORTHING = 636,863.38', AND EASTING = 1,491,917.40'; THENCE, FROM THE POINT OF COMMENCEMENT, NORTH 87°43'34" WEST A DISTANCE OF 141.58 FEET TO A POINT ON THE NORTHWEST CORNER OF THE HEREIN DESCRIBED 30' ACCESS AND UTILITY EASEMENT, ALSO BEING ON THE EASTERN RIGHT OF WAY LINE OF TUCKASEEGEE ROAD, SAID POINT BEING THE TRUE POINT OF BEGINNING HAVING NORTH CAROLINA STATE PLANE COORDINATES OF: NORTHING = 636,869.00'; AND EASTING = 1,491,775.94'; THENCE, FROM THE POINT OF BEGINNING AND LEAVING SAID EASTERN RIGHT OF WAY, SOUTH 87°17'27" EAST A DISTANCE OF 545.03 FEET TO A POINT; THENCE SOUTH 27°46'13" EAST A DISTANCE OF 44.72 FEET TO A POINT; THENCE SOUTH 27°00'18" EAST A DISTANCE OF 45.26 FEET TO A POINT; THENCE SOUTH 11°12'09" EAST A DISTANCE OF 247.74 FEET TO A POINT; THENCE NORTH 78°47'51" EAST A DISTANCE OF 41.23 FEET TO A POINT; THENCE SOUTH 11°12'09" EAST A DISTANCE OF 35.00 FEET TO A POINT; THENCE SOUTH 78°47'52" WEST A DISTANCE OF 120.00 FEET TO A POINT; THENCE NORTH 11°12'09" WEST A DISTANCE OF 35.00 FEET TO A POINT; THENCE NORTH 78°47'51" EAST A DISTANCE OF 43.77 FEET TO A POINT; THENCE NORTH 11°12'09" WEST A DISTANCE OF 247.74 FEET TO A POINT; THENCE NORTH 49°14'47" WEST A DISTANCE OF 40.06 FEET TO A POINT; THENCE NORTH 87°17'33" WEST A DISTANCE OF 548.38 FEET TO A POINT; THENCE NORTH 87°30'33" WEST A DISTANCE OF 572.55 FEET TO A POINT ON SAID EASTERN RIGHT OF WAY; THENCE, ALONG SAID EASTERN RIGHT OF WAY, NORTH 09°13'50" EAST A DISTANCE OF 7.64 FEET TO A POINT; THENCE, CONTINUING ALONG SAID EASTERN RIGHT OF WAY, NORTH 07°52'18" EAST A DISTANCE OF 27.53 FEET TO THE POINT OF BEGINNING.

SAID EASEMENT AREA CONTAINING 34,418.87 SQUARE FEET OR 0.790 ACRES MORE OR LESS.

## LEGAL DESCRIPTION OF AT&T 20' X 20' LICENSE AREA

ALL THAT CERTAIN LICENSE AREA, SITUATED, LYING AND BEING IN NUMBER THREE TOWNSHIP, CABARRUS COUNTY, NORTH CAROLINA, BEING A PORTION OF THE LANDS DESCRIBED IN DEED BOOK 12043 AT PAGE 23 OF THE CABARRUS COUNTY REGISTER OF DEEDS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT AN EXISTING IRON REBAR FOUND ON A NORTHERLY LINE OF THE PARCEL DESCRIBED IN SAID DEED BOOK 12043, PAGE 23, HAVING NORTH CAROLINA STATE PLANE COORDINATES OF NORTHING = 636,863.38', AND EASTING = 1,491,917.40'; THENCE, FROM THE POINT OF COMMENCEMENT, SOUTH 55°43'43" EAST A DISTANCE OF 637.24 FEET TO A POINT ON THE NORTHEAST CORNER OF THE HEREIN DESCRIBED 20' X 20' LICENSE AREA, SAID POINT BEING THE TRUE POINT OF BEGINNING, HAVING NORTH CAROLINA STATE PLANE COORDINATES OF NORTHING = 636,504.55', AND EASTING = 1,492,444.01'; THENCE, FROM THE POINT OF BEGINNING, SOUTH 11°12'09" EAST A DISTANCE OF 20.00 FEET TO A POINT; THENCE SOUTH 78°47'51" WEST A DISTANCE OF 20.00 FEET TO A POINT; THENCE NORTH 11°12'09" WEST A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING.

SAID LICENSE AREA CONTAINING 400.00 SQUARE FEET OR 0.009 ACRES MORE OR LESS.

**TEP ENGINEERING, PLLC**  
326 TRYON ROAD  
RALEIGH, NC 27603-3530  
(919) 661-6351  
COA # P-1403

SHEET #: 2 OF 3 TEP #: 304265

## LEGAL DESCRIPTIONS



*Alan H. Allbert*  
ALAN H. ALLBERT  
NORTH CAROLINA PLS #L-3738

PROJECT INFORMATION:

## CONCORD MP

7621 TUCKASEEGEE RD  
KANNAPOLIS, TOWNSHIP  
CABARRUS COUNTY, NC, 28081

PRELIMINARY TELECOMMUNICATIONS SURVEY PREPARED FOR:



9887 FOURTH STREET NORTH, SUITE 100  
SAINT PETERSBURG, FL 33702

FIELD WORK PERFORMED ON: 6/16/21

0' 100' 200'

SCALE: 1" = 100'

ORIGINAL MAP SIZE 11.00" X 17.00"

REV	DATE	ISSUED FOR	INITIALS
0	07/08/2021	PRELIMINARY	DDS
1	08/04/2021	FINAL	DDS
2	09/22/2021	REVISION	DDS
3	02/23/2022	REVISION	DDS
4	05/31/2022	TOWER HEIGHT	DDS

## TITLE EXCEPTIONS

### **SCHEDULE B - SECTION II EXCEPTIONS**

U.S. TITLE SOLUTIONS  
COMMITMENT FOR TITLE INSURANCE  
COMMITMENT NO: UST69470  
COMMITMENT EFFECTIVE DATE: SEPTEMBER 15, 2021  
SCHEDULE B - SECTION II

1. MORTGAGES, DEEDS OF TRUST AND UCCS  
NONE FOUND WITHIN PERIOD SEARCHED.

2. JUDGMENTS AND LIENS  
NONE FOUND WITHIN PERIOD SEARCHED.

3. COVENANTS AND RESTRICTIONS  
NONE FOUND WITHIN PERIOD SEARCHED.

4. EASEMENTS AND RIGHTS OF WAY

4.1 CONSENT FINAL JUDGMENT BY VAUDREY MESIMER AND WIFE, EDITH G. MESIMER TO  
TOWN OF MIDLAND, DATED JANUARY 18, 2012, RECORDED FEBRUARY 01, 2012, IN BOOK  
9862, PAGE 205.

NOTES: TAKING OF EASEMENT PURPOSES;

PLEASE SEE FOR REFERENCE: MEMO OF ACTION 8548.204. (AFFECT PARENT PARCEL. DOES  
NOT CONTAIN SURVEY PLOTTABLE ITEMS.)

4.2 RIGHT OF WAY AND EASEMENT AGREEMENT BY EDITH GOODMAN MESIMER INDIVIDUALLY  
AND AS EXECUTRIX OF THE LAST WILL AND TESTAMENT OF ETHEL EARNHARDT GOODMAN,  
DECEASED TO LEVEL 3 COMMUNICATIONS, LLC, DATED AUGUST 20, 1999, RECORDED  
AUGUST 31, 1999, IN BOOK 2647, PAGE 100.

NOTES: COMMUNICATION SYSTEM PURPOSES (AFFECT PARENT PARCEL. DOES NOT CONTAIN  
SURVEY PLOTTABLE ITEMS.)

5. OTHER RECORDED DOCUMENTS  
NONE FOUND WITHIN PERIOD SEARCHED.

6. OTHER UNRECORDED DOCUMENTS

6.1 PROPERTY CARD (AFFECT PARENT PARCEL. NOT SURVEY RELATED.)

## **TITLE LEGAL DESCRIPTION**

SITUATED IN THE TOWNSHIP OF KANNAPOLIS, COUNTY OF CABARRUS, STATE OF NORTH  
CAROLINA:

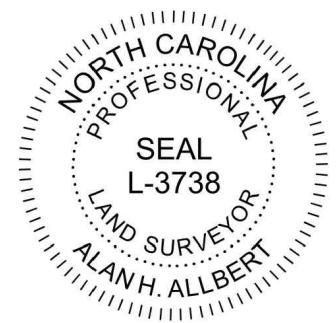
PARENT PARCEL:

AS SET FORTH IN DEED IN BOOK 12043, PAGE 23.



SHEET #: 3 OF 3 TEP #: 304265

## **TITLE EXCEPTIONS**



*Alan H. Allbert*

ALAN H. ALLBERT  
NORTH CAROLINA PLS #L-3738

PROJECT INFORMATION:

## **CONCORD MP**

7621 TUCKASEEGEE RD  
KANNAPOLIS, TOWNSHIP  
CABARRUS COUNTY, NC, 28081

PRELIMINARY TELECOMMUNICATIONS  
SURVEY PREPARED FOR:



9887 FOURTH STREET NORTH, SUITE 100  
SAINT PETERSBURG, FL 33702

FIELD WORK PERFORMED ON: 6/16/21

0' 100' 200'

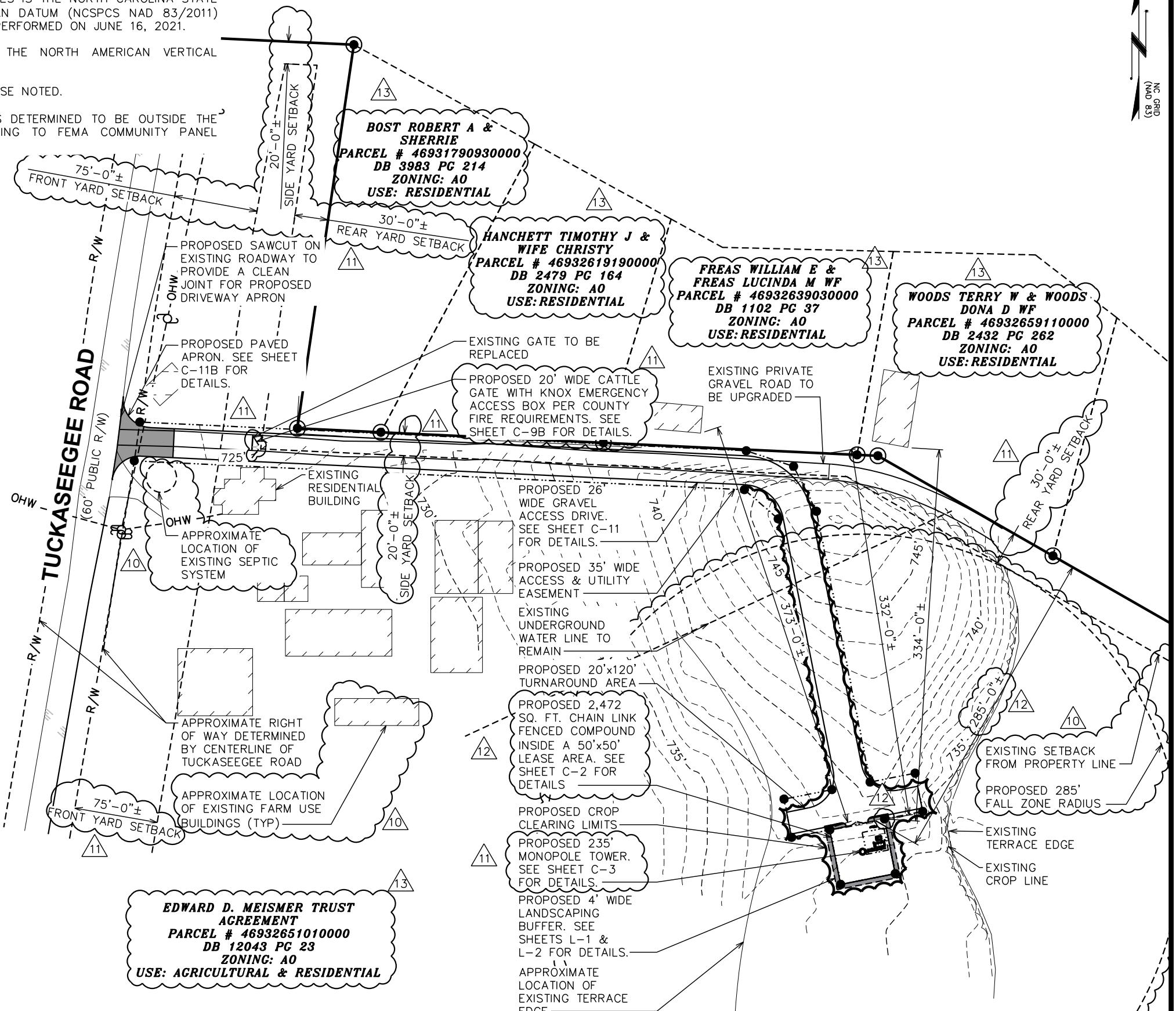
SCALE: 1" = 100'

ORIGINAL MAP SIZE 11.00" X 17.00"

REV	DATE	ISSUED FOR	INITIALS
0	07/08/2021	PRELIMINARY	DDS
1	08/04/2021	FINAL	DDS
2	09/22/2021	REVISION	DDS
3	02/23/2022	REVISION	DDS
4	05/31/2022	TOWER HEIGHT	DDS

## **NOTES:**

1. THE BASIS OF THE BEARINGS AND COORDINATES IS THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM (NCSPCS NAD 83/2011) BASED ON DIFFERENTIAL GPS OBSERVATIONS PERFORMED ON JUNE 16, 2021.
2. VERTICAL INFORMATION SHOWN, BASED ON THE NORTH AMERICAN VERTICAL DATUM OF NAVD 1988 IN FEET.
3. ALL DISTANCES ARE GROUND UNLESS OTHERWISE NOTED.
4. THE TOWER IS LOCATED IN ZONE "X." AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO FEMA COMMUNITY PANEL #3710469300J, EFFECTIVE NOVEMBER 5, 2008.



PLANS PREPARED FOR:



2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

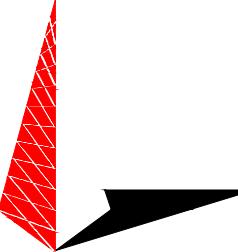
**PLANS PREPARED FOR:**



9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:  
**AT&T SITE #:** 074-4164  
**PEAKNET SITE NAME:**  
**CONCORD MP**  
7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

**PLANS PREPARED BY:**



**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
[www.tepgroup.net](http://www.tepgroup.net)  
N.C. LICEN\$# C-1794

SEAL:



Digitized by srujanika@gmail.com

13 09-09-22 CONSTRUCTION

12 06-29-22 CONSTRUCTION

Digitized by srujanika@gmail.com

SHEET TITLE:

## SITE PLAN

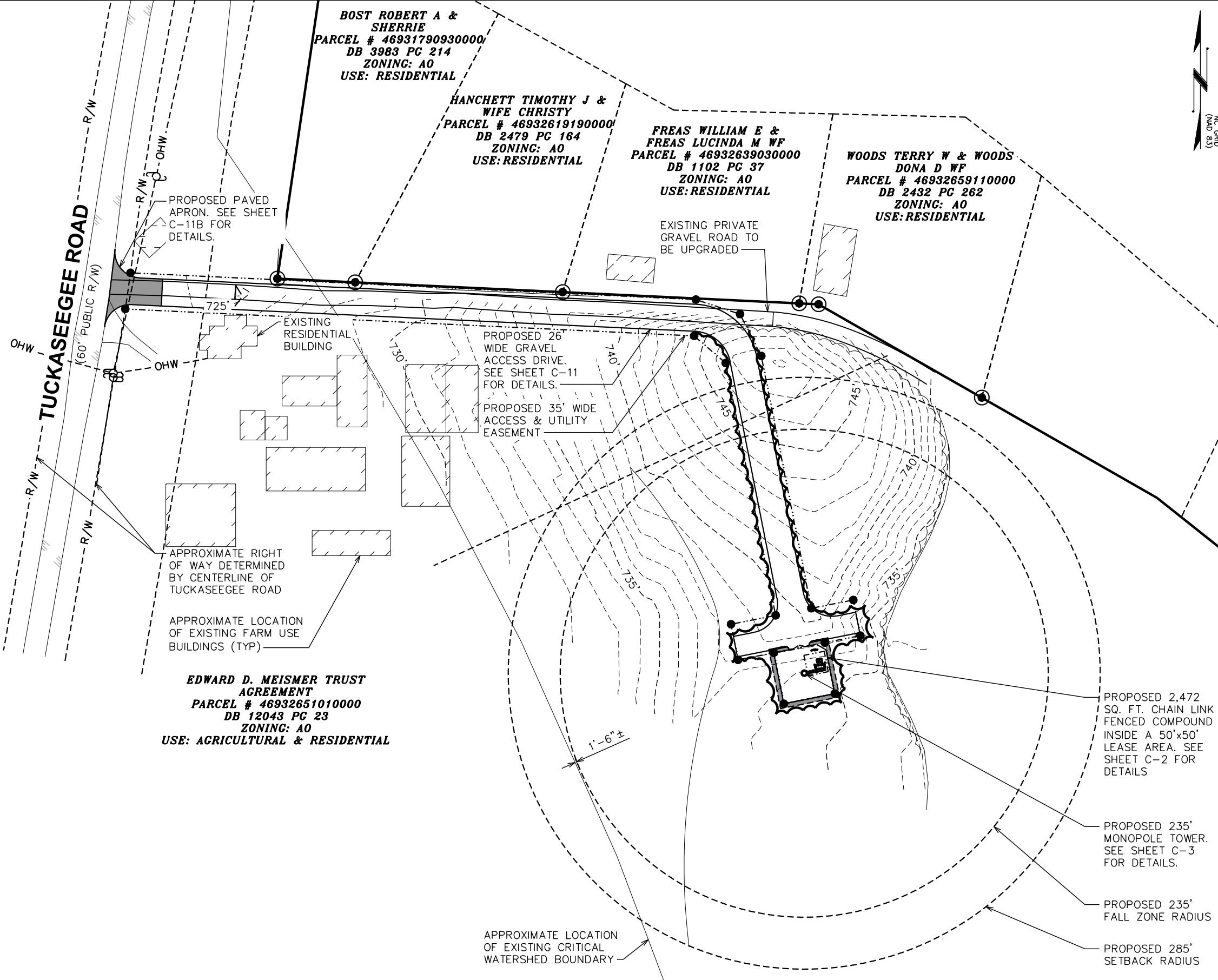
SHEET NUMBER: REVISION:

C-1 13

## SITE PLAN

SCALE: 1" = 100'

14



PLANS PREPARED FOR:

2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

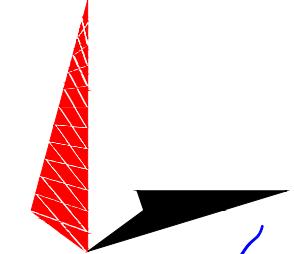
PLANS PREPARED FOR:

9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:  
**AT&T SITE #:** 074-4164  
**PEAKNET SITE NAME:**  
**CONCORD MP**

7615 TUCKASEESEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

PLANS PREPARED BY:



**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # C-1794

SEAL:



October 3, 2022

14	10-03-22	CONSTRUCTION
13	09-09-22	CONSTRUCTION
REV	DATE	ISSUED FOR:

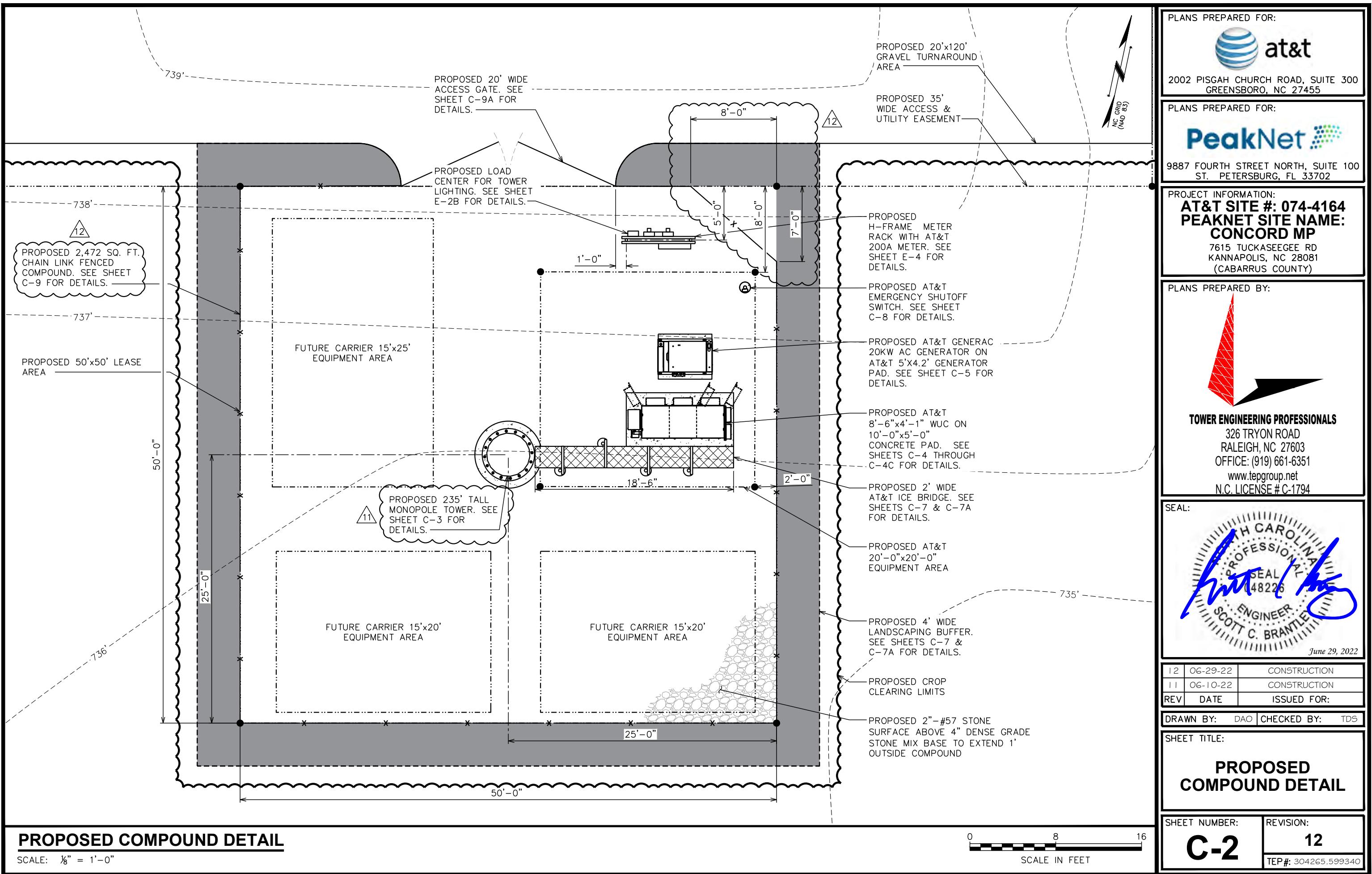
DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

**WATERSHED PLAN**

SHEET NUMBER:	REVISION:
<b>C-1A</b>	<b>14</b>

TEP #: 304265.599340

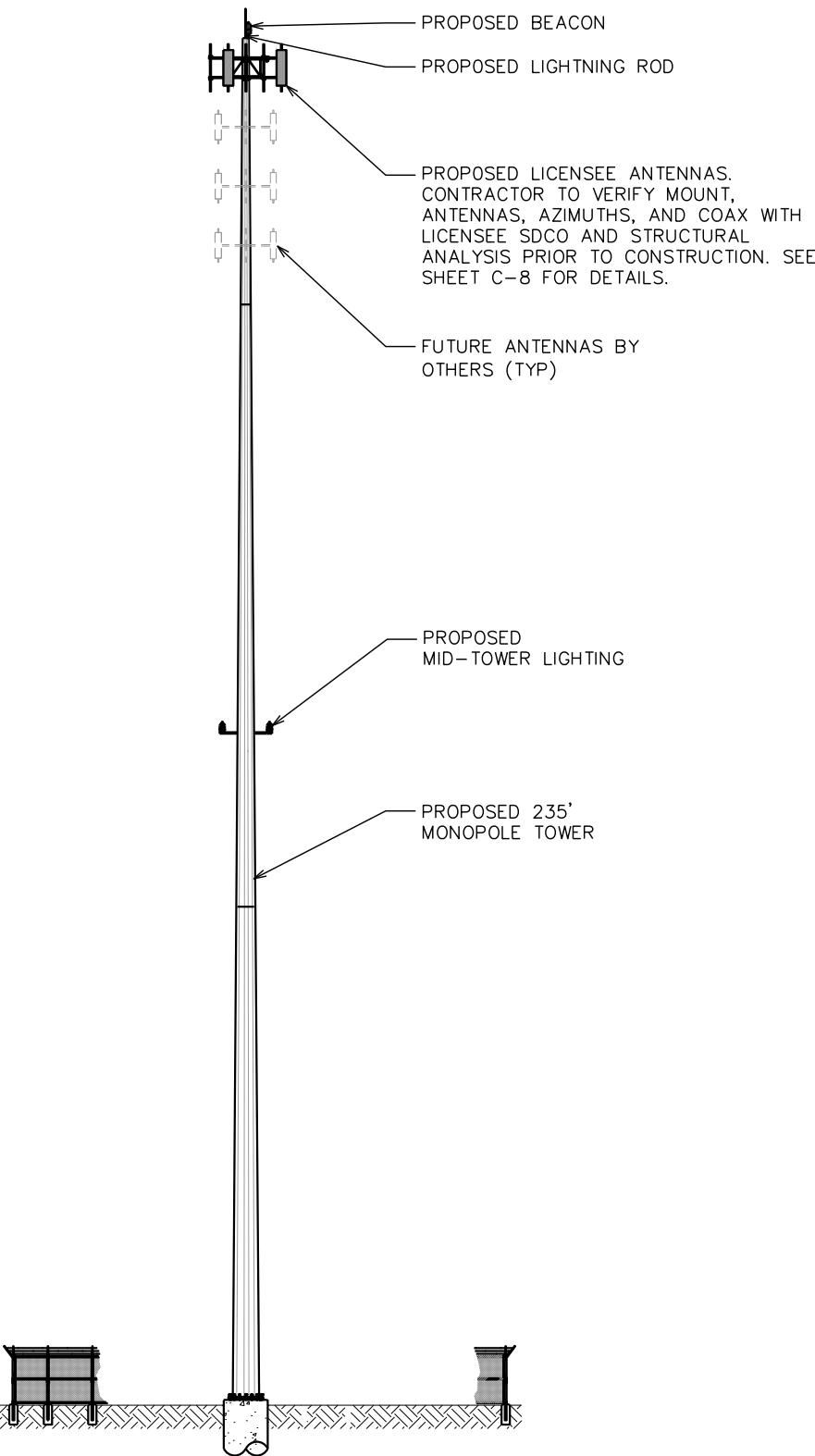


**NOTES:**

1. PROPOSED CABLES TO BE RUN AS PER SPECIFICATIONS OF PASSING STRUCTURAL ANALYSIS.
2. TOWER SHALL BE CONSTRUCTED OF GALVANIZED STEEL OR PAINTED PER APPLICABLE STANDARDS OF THE FAA OR OTHER APPLICABLE FEDERAL OR STATE AGENCY.
3. TOWER ELEVATION SHOWN FOR REFERENCE ONLY. VERIFY ACTUAL TOWER DESIGN & LOADING WITH TOWER DRAWINGS FROM MANUFACTURER AND/OR PASSING STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTION.

235'-0"±  
 T/ LIGHTNING ROD  
 230'-0"±  
 T/ TOWER  
 225'-0"±  
 Q/ LICENSEE  
 ANTENNAS

0'-0" (REFERENCE)  
 T/ GRADE

**TOWER ELEVATION**

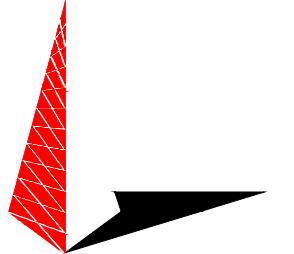
SCALE: 1" = 30'

0 30 60  
SCALE IN FEET

PLANS PREPARED FOR:  
  
 at&t  
 2002 PISGAH CHURCH ROAD, SUITE 300  
 GREENSBORO, NC 27455

PLANS PREPARED FOR:  
  
 PeakNet  
 9887 FOURTH STREET NORTH, SUITE 100  
 ST. PETERSBURG, FL 33702

PROJECT INFORMATION:  
**AT&T SITE #: 074-4164**  
**PEAKNET SITE NAME: CONCORD MP**  
 7615 TUCKASEEGEE RD  
 KANNAPOLIS, NC 28081  
 (CABARRUS COUNTY)

PLANS PREPARED BY:  
  
**TOWER ENGINEERING PROFESSIONALS**  
 326 TRYON ROAD  
 RALEIGH, NC 27603  
 OFFICE: (919) 661-6351  
 www.tepgroup.net  
 N.C. LICENSE # C-1794



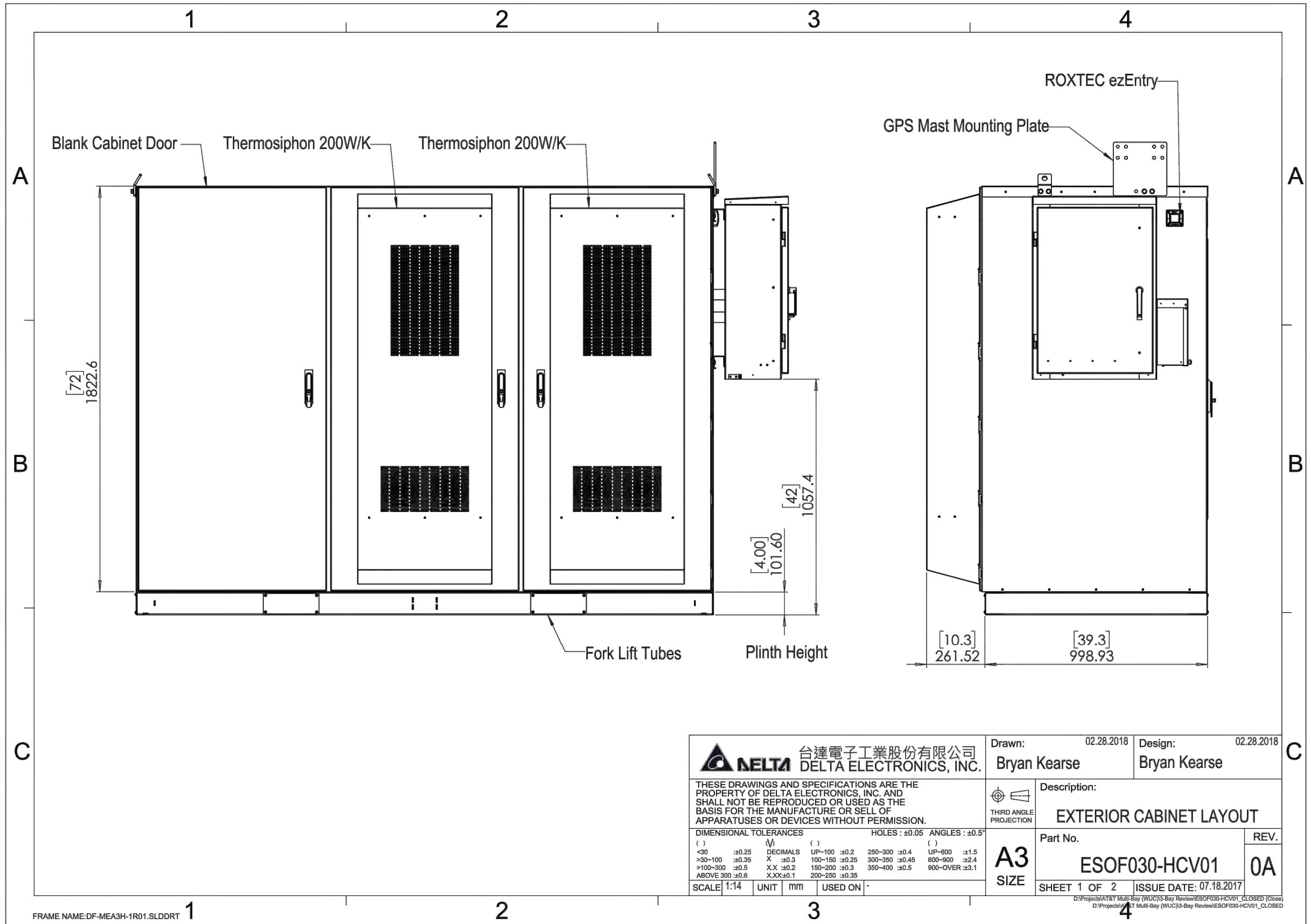
11	06-10-22	CONSTRUCTION
10	05-11-22	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

**TOWER ELEVATION**

SHEET NUMBER: C-3	REVISION: 11
TEP #: 304265.599340	



PLANS PREPARED FOR:

**at&t**  
2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

PLANS PREPARED FOR:

**PeakNet**  
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:  
**AT&T SITE #:** 074-4164  
**PEAKNET SITE NAME:** CONCORD MP  
7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

PLANS PREPARED BY:

**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # C-1794

SEAL:

SCOTT C. BRANTLEY  
NORTH CAROLINA  
PROFESSIONAL  
ENGINEER  
October 28, 2021

3	10-28-21	CONSTRUCTION
2	10-21-21	PRELIMINARY
REV	DATE	ISSUED FOR:
DRAWN BY: DAO		CHECKED BY: TDS
SHEET TITLE: WUC DETAILS I		
SHEET NUMBER: C-4		REVISION: 3
TEP #: 304265.599340		

1

2

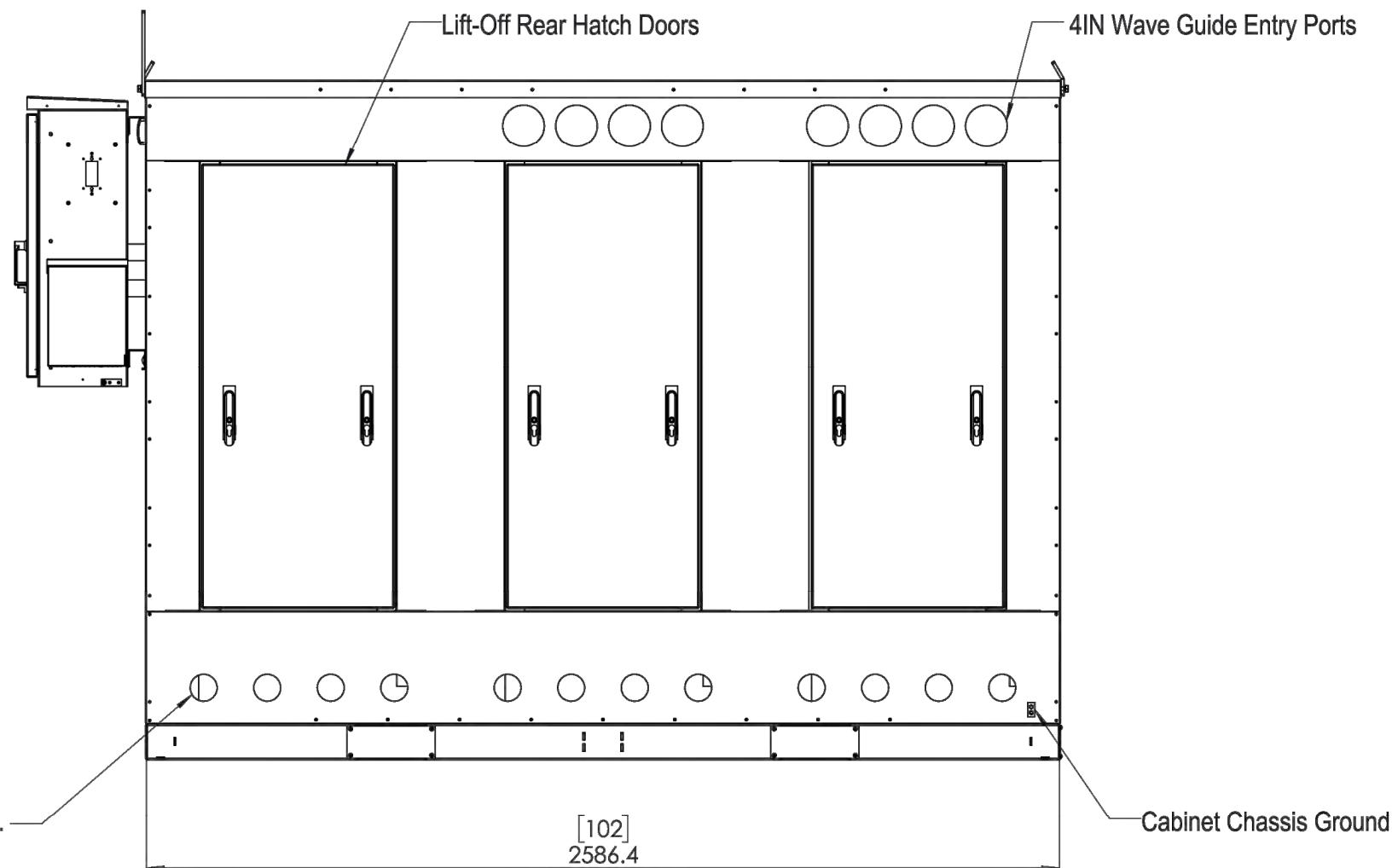
3

4

A

B

C



FRAME NAME:DF-MEA3H-1R01.SLDDRT

**EXTERIOR CABINET LAYOUT**

SCALE: N.T.S.

PLANS PREPARED FOR:

2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

PLANS PREPARED FOR:

9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

AT&amp;T SITE #: 074-4164

PEAKNET SITE NAME:

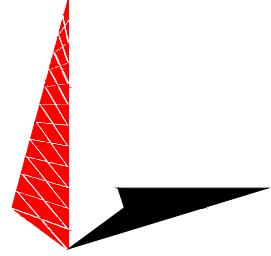
CONCORD MP

7615 TUCKASEEGEE RD

KANNAPOLIS, NC 28081

(CABARRUS COUNTY)

PLANS PREPARED BY:



**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # C-1794

SEAL:



3 10-28-21 CONSTRUCTION

2 10-21-21 PRELIMINARY

REV DATE ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

**WUC**  
**DETAILS II**

SHEET NUMBER: REVISION:

**C-4A****3**

TEP #: 304265.599340



台達電子工業股份有限公司  
DELTA ELECTRONICS, INC.

Drawn: 02.28.2018 Design: 02.28.2018

Bryan Kearse Bryan Kearse

Description: THIRD ANGLE PROJECTION

EXTERIOR CABINET LAYOUT

Part No. REV.

A3 ESOF030-HCV01 0A

SIZE SHEET 2 OF 2 ISSUE DATE: 07.18.2017

DIMENSIONAL TOLERANCES HOLES: ±0.05 ANGLES: ±0.5°

( ) ( ) ( ) ( )

&lt;30 ±0.25 DECIMALS UP-100 ±0.2 250-300 ±0.4 UP-600 ±1.5

&gt;30-100 ±0.35 X ±0.3 100-150 ±0.25 300-350 ±0.45 600-900 ±2.4

&gt;100-300 ±0.5 XX ±0.2 150-200 ±0.3 350-400 ±0.5 900-OVER ±3.1

ABOVE 300 ±0.6 XXX±0.1 200-250 ±0.35

SCALE 1:14 UNIT mm USED ON -

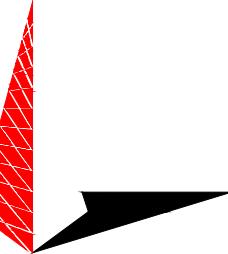
D:\Projects\AT&amp;T Multi-Bay (WUC)\3-Bay Review\ESOF030-HCV01\_Closed (Close)

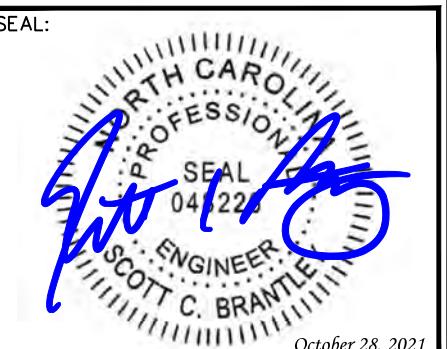
D:\Projects\AT&amp;T Multi-Bay (WUC)\3-Bay Review\ESOF030-HCV01\_Closed

PLANS PREPARED FOR:  
  
 2002 PISGAH CHURCH ROAD, SUITE 300  
 GREENSBORO, NC 27455

PLANS PREPARED FOR:  
  
 9887 FOURTH STREET NORTH, SUITE 100  
 ST. PETERSBURG, FL 33702

PROJECT INFORMATION:  
**AT&T SITE #: 074-4164**  
**PEAKNET SITE NAME: CONCORD MP**  
 7615 TUCKASEEGEE RD  
 KANNAPOLIS, NC 28081  
 (CABARRUS COUNTY)

PLANS PREPARED BY:  
  
**TOWER ENGINEERING PROFESSIONALS**  
 326 TRYON ROAD  
 RALEIGH, NC 27603  
 OFFICE: (919) 661-6351  
 www.tepgroup.net  
 N.C. LICENSE # C-1794



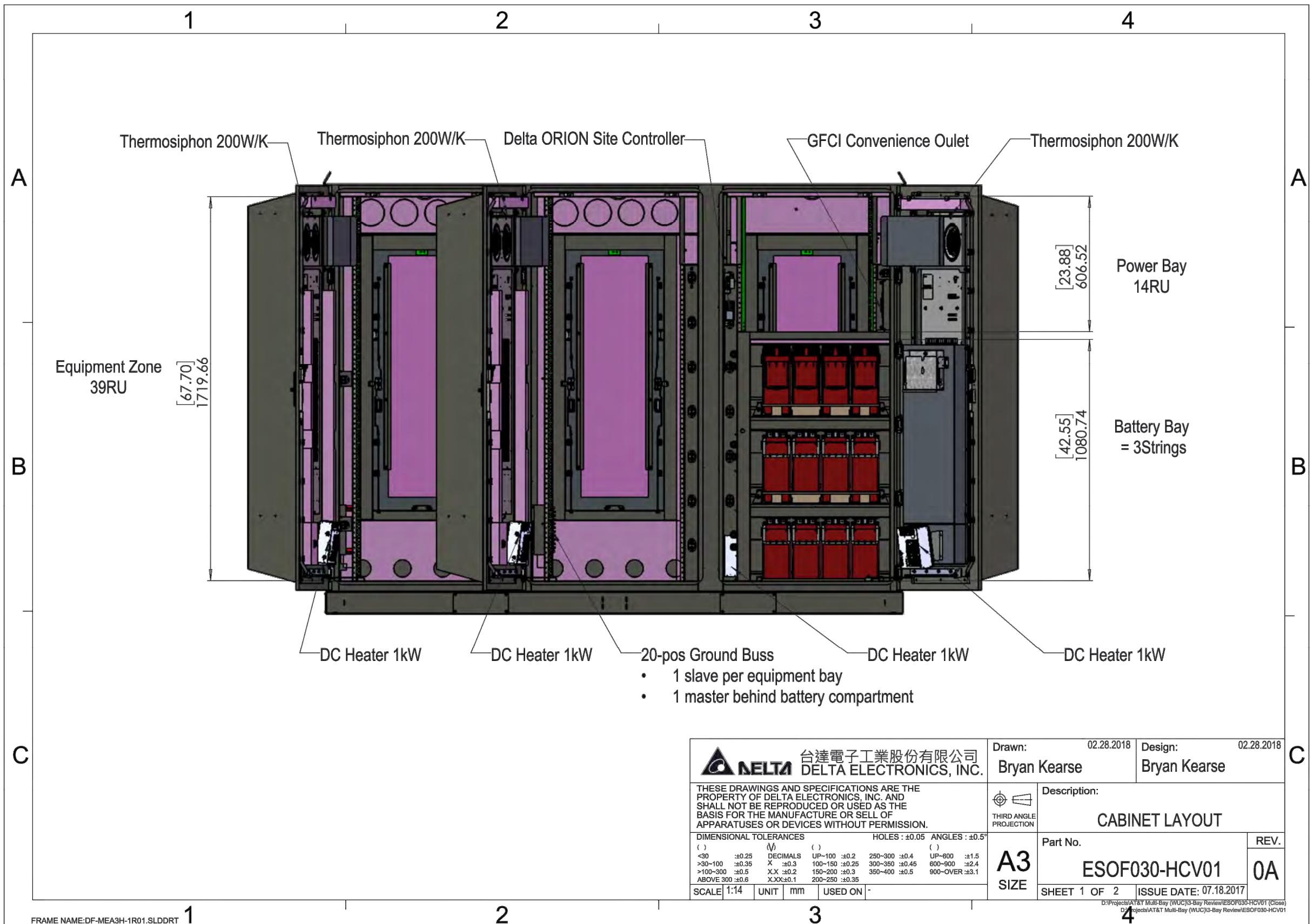
3	10-28-21	CONSTRUCTION
2	10-21-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

**WUC  
DETAILS III**

SHEET NUMBER: C-4B REVISION: 3  
 TEP #: 304265.599340



1

2

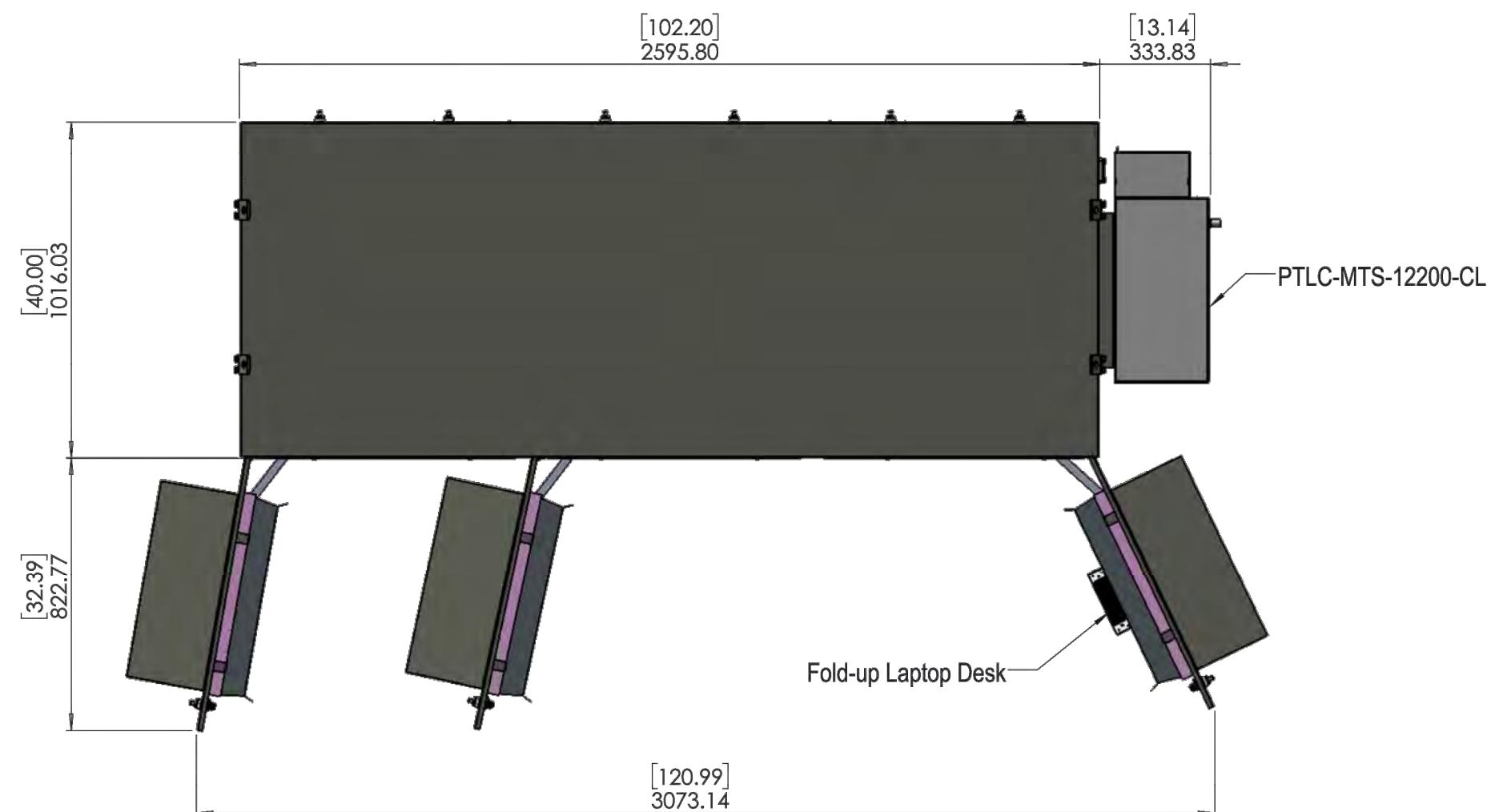
3

4

A

B

C



FRAME NAME:DF-MEA3H-1R01.SLDDRT

1

2

3

A

B

C

## CABINET FOOTPRINT

SCALE: N.T.S.

PLANS PREPARED FOR:

2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

PLANS PREPARED FOR:

9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

AT&amp;T SITE #: 074-4164

PEAKNET SITE NAME:

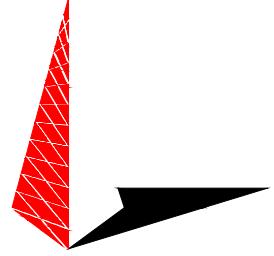
CONCORD MP

7615 TUCKASEEGEE RD

KANNAPOLIS, NC 28081

(CABARRUS COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS

326 TRYON ROAD

RALEIGH, NC 27603

OFFICE: (919) 661-6351

www.tepgroup.net

N.C. LICENSE # C-1794

SEAL:



3 10-28-21 CONSTRUCTION

2 10-21-21 PRELIMINARY

REV DATE ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

**WUC**  
**DETAILS IV**

SHEET NUMBER: REVISION:

**C-4C** 3  
TEP #: 304265.599340

**DELTA** 台達電子工業股份有限公司  
**DELTA ELECTRONICS, INC.**

THESE DRAWINGS AND SPECIFICATIONS ARE THE  
PROPERTY OF DELTA ELECTRONICS, INC. AND  
SHALL NOT BE REPRODUCED OR USED AS THE  
BASIS FOR THE MANUFACTURE OR SELL OF  
APPARATUSES OR DEVICES WITHOUT PERMISSION.

DIMENSIONAL TOLERANCES HOLES:  $\pm 0.05$  ANGLES:  $\pm 0.5^\circ$

( )	( )	( )	( )		
<30	$\pm 0.25$	DECIMALS	UP-100 $\pm 0.2$	250-300 $\pm 0.4$	UP-600 $\pm 1.5$
>30-100	$\pm 0.35$	X $\pm 0.3$	100-150 $\pm 0.25$	300-350 $\pm 0.45$	600-900 $\pm 2.4$
>100-300	$\pm 0.5$	XX $\pm 0.2$	150-200 $\pm 0.3$	350-400 $\pm 0.5$	900-OVER $\pm 3.1$
ABOVE 300	$\pm 0.6$	XXX $\pm 0.1$	200-250 $\pm 0.35$		

SCALE 1:14 UNIT mm USED ON -

Drawn: 02.28.2018 Design: 02.28.2018  
Bryan Kearse Bryan Kearse

THIRD ANGLE PROJECTION Description:

FOOTPRINT w/DOOR SWING

Part No. ESOF030-HCV01 REV. 0A

SIZE A3

SHEET 2 OF 2 ISSUE DATE: 07.18.2017

D:\Projects\AT&amp;T Multi-Bay (WUC)\3-Bay Review\ESOF030-HCV01\Close

D:\Projects\AT&amp;T Multi-Bay (WUC)\3-Bay Review\ESOF030-HCV01

PLANS PREPARED FOR:

2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

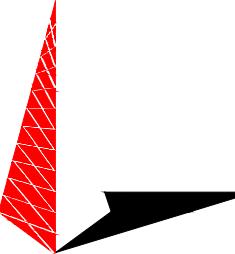
PLANS PREPARED FOR:

9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

AT&T SITE #: 074-4164  
PEAKNET SITE NAME:  
CONCORD MP7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # C-1794

SEAL:



March 29, 2022

8	03-29-22	CONSTRUCTION
7	03-16-22	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

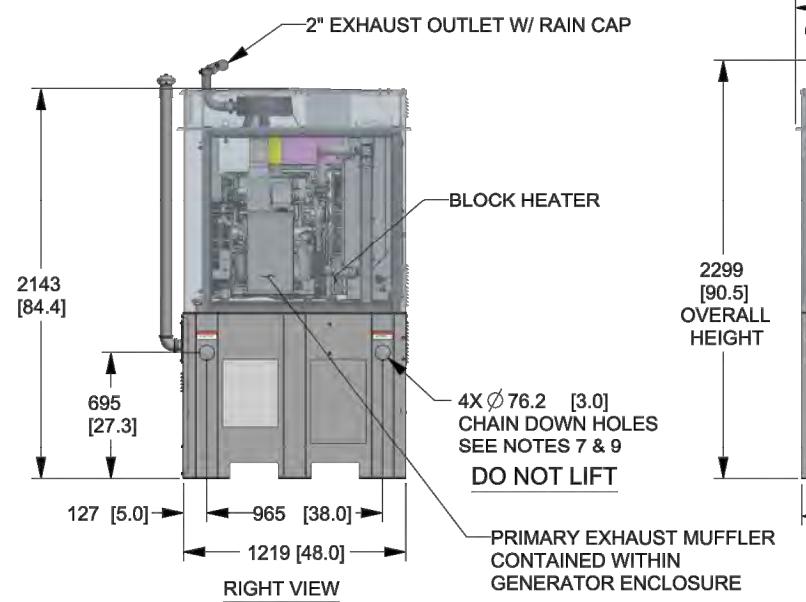
GENERATOR  
DETAILS

SHEET NUMBER:	REVISION:
C-5	8

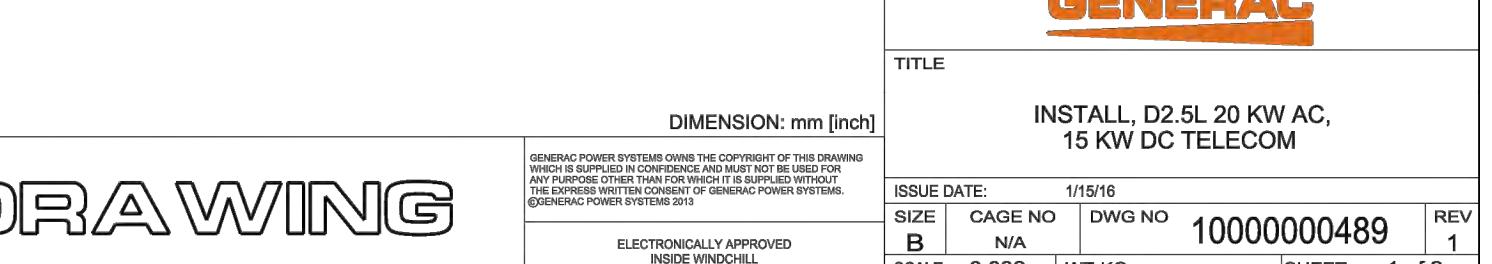
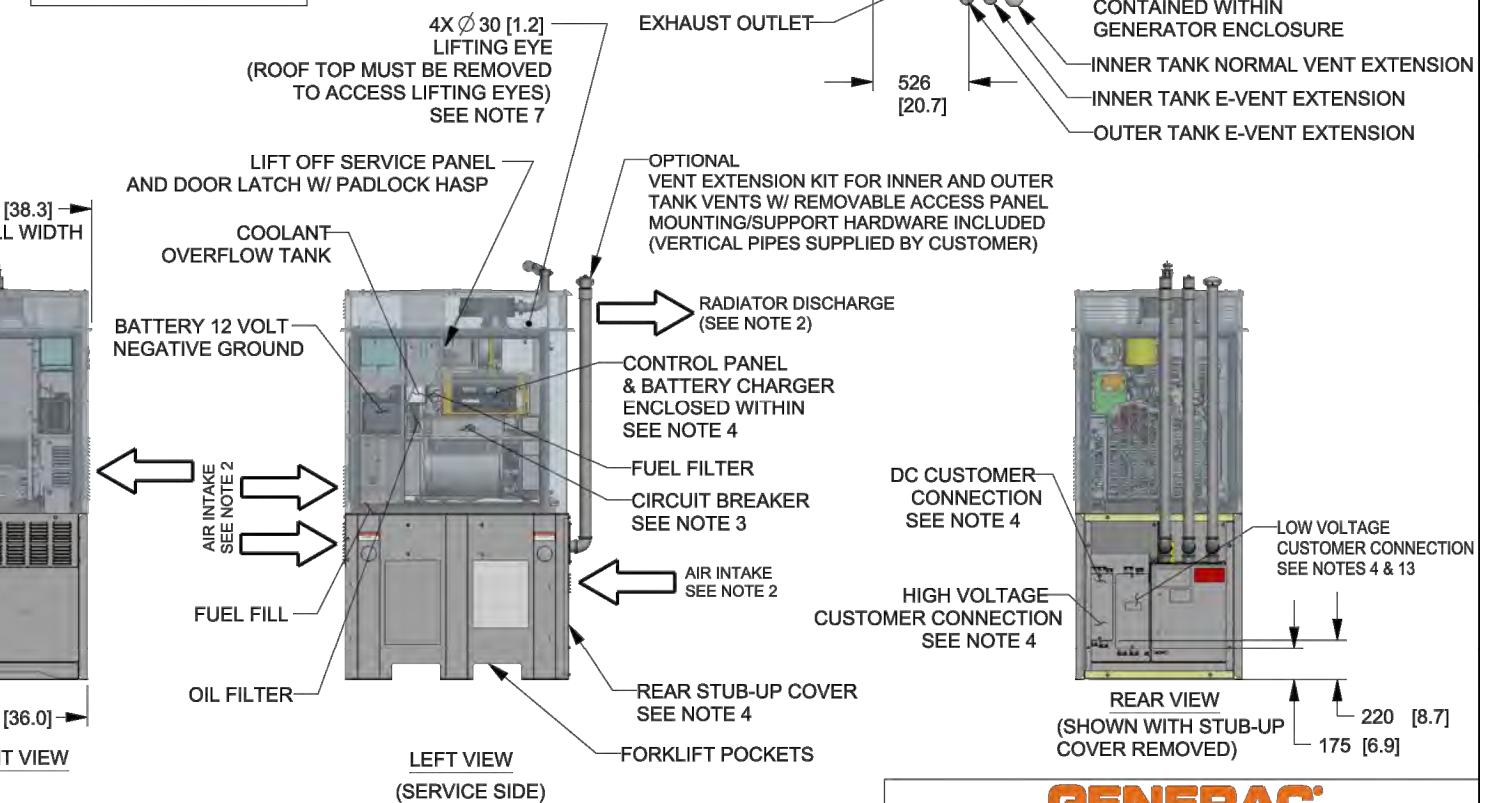
TEP #: 304265.599340

NOTES:

1. REFERENCE INSTALLATION GUIDE SUPPLIED WITH UNIT FOR CONCRETE PAD GUIDELINES
2. ALLOW SUFFICIENT ROOM ON ALL SIDES OF THE GENERATOR FOR MAINTENANCE/SERVICE, INTAKE AIR FLOW, AND RADIATOR/EXHAUST DISCHARGE. THIS UNIT MUST BE INSTALLED IN ACCORDANCE WITH CURRENT APPLICABLE NFPA 37 AND NFPA 70 STANDARDS AS WELL AS ANY OTHER FEDERAL, STATE AND LOCAL CODES.
3. CONTROL PANEL / CIRCUIT BREAKER INFORMATION:
  - SEE SPECIFICATION SHEET OR OWNERS MANUAL
  - ACCESSIBLE WITH REMOVAL OF SERVICE PANEL
4. REMOVE THE REAR TANK STUB-UP COVER TO ACCESS THE STUB-UP AREAS AS FOLLOWS:
  - HIGH VOLTAGE CONNECTION INCLUDING AC LOAD LEAD CONDUIT CONNECTION
  - NEUTRAL CONNECTION, BATTERY CHARGER 120 VOLT AC (0.5 AMP MAX) CONNECTION.
  - LOW VOLTAGE CONNECTIONS INCLUDING TRANSFER SWITCH CONTROL WIRES AND ACCESSORY RELAY CONNECTION (QTY 4)
  - DC VOLTAGE CONNECTION (DC UNIT ONLY)
5. CENTER OF GRAVITY AND WEIGHT MAY CHANGE DUE TO UNIT OPTIONS.
6. EXHAUST SYSTEM MAXIMUM BACK PRESSURE: 24.0 INCHES OF H2O
7. REFERENCE OWNERS MANUAL FOR LIFTING WARNINGS.
8. MOUNTING BOLTS OR STUDS TO MOUNTING PAD SHALL BE 5/8-11 GRADE 5. (USE STANDARD SAE TORQUE SPECS)
9. CHAIN DOWN HOLES MUST BE PLUGGED AFTER INSTALLATION. PLUGS ARE PROVIDED AND ARE LOCATED IN THE OWNERS MANUAL BAG.
10. STUB-UPS: BASE TANK REQUIRES ALL STUB-UPS TO BE IN REAR TANK STUB-UP AREA.
11. UNIT IS SHIPPED WITH FUEL SUPPLY AND RETURN LINES DISCONNECTED AND PLUGGED BETWEEN ENGINE AND FUEL TANK. THIS HAS BEEN DONE TO FACILITATE PRESSURE TESTING OF THE TANK IN THE FIELD. FOR INFORMATION REGARDING CONNECTING THE FUEL SUPPLY AND RETURN LINES PRIOR TO START UP, SEE THE FUEL TANK FIELD TESTING PROCEDURE SUPPLIED IN THE TANK LOOSE VENTS KIT, WHICH IS SHIPPED WITH THIS GENERATOR.
12. TRANSFORMER SWITCH/COMMUNICATION CONDUITS - COMMUNICATIONS AND 2-WIRE START MUST NOT BE RUN IN CONDUIT WITH AC WIRING.
13. CONTROL WIRES TO BE SHIELDED AND TWISTED PAIR (40M MAX LENGTH).
14. UNIT MUST BE LOCATED NOT MORE THAN 20FT FROM ANY OTHER EQUIPMENT (DC ONLY)



ITEMS ACCESSIBLE SERVICE SIDE OF UNIT	WEIGHT DATA WITH EMPTY BASETANK (SEE NOTE 5)		WEIGHT DATA WITH FULL BASETANK (SEE NOTE 5)	
	GENERATOR AS SHOWN	1088.6 KG [2400 LBS]	GENERATOR AS SHOWN	1395 KG [3075 LBS]
BATTERY				
CONTROL PANEL				
COOLANT OVERFLOW TANK				
COOLANT DRAIN				
MOTOR OIL DIPSTICK				
FUEL FILTER				
OIL FILL				
OIL FILTER				
OIL DRAIN				
MLCB				
FUEL FILL				
AIR FILTER				



GENERAL

TITLE

INSTALL, D2.5L 20 KW AC,  
15 KW DC TELECOM

ISSUE DATE: 1/15/16

SIZE

CAGE NO

DWG NO

10000000489

REV

1

ELECTRONICALLY APPROVED

INSIDE WINDCHILL

SCALE

WT-KG

WT-KG

SHEET

1 of 2

DRAWING CREATED FROM PRO/ENGINEER  
3D FILE. ECO MODIFICATION TO BE  
APPLIED TO SOLID MODEL ONLY.

## INSTALLATION DRAWING

## GENERATOR DETAILS

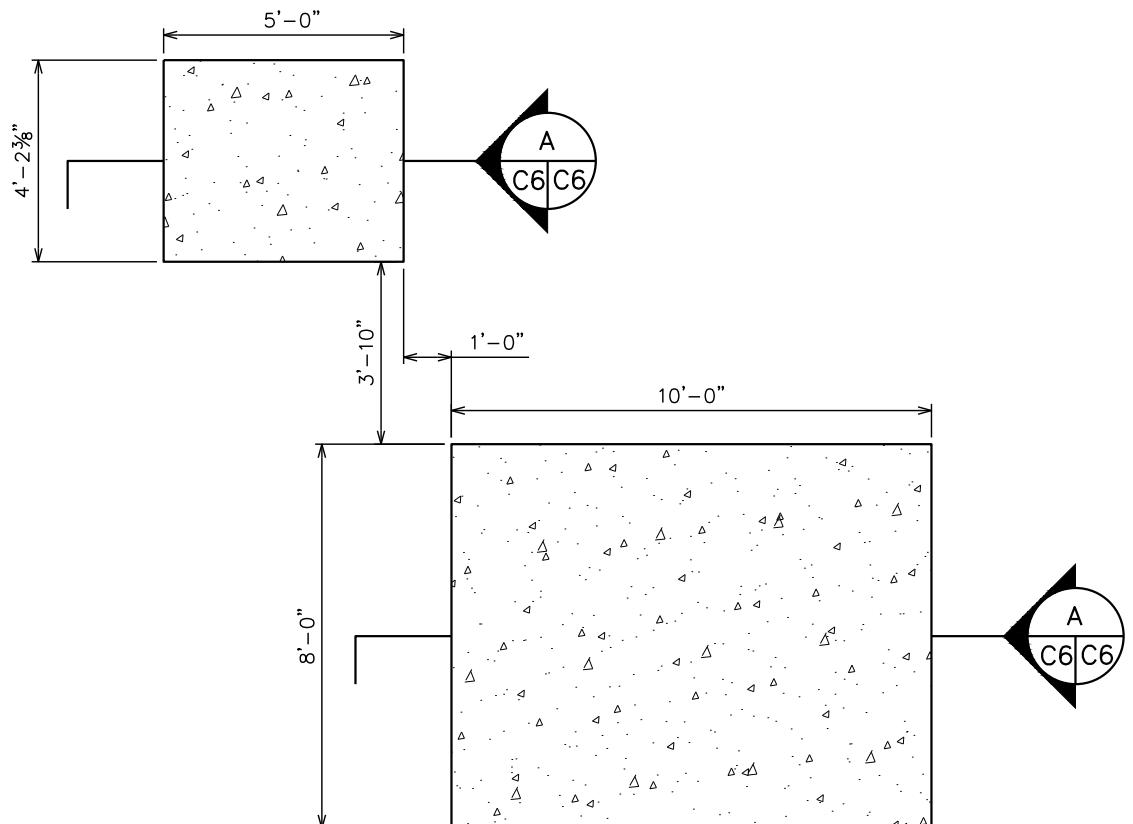
SCALE: N.T.S.

**NOTE:**

THESE PLACARDS ARE REQUIRED TO BE INSTALLED ON PROPOSED GENERATOR FREE OF ANY OBSTRUCTION AS TO BE CLEARLY VISIBLE WITHIN COMPOUND

**PROPOSED GENERATOR SIGNAGE**

SCALE: N.T.S.

**FOUNDATION PLAN**SCALE:  $\frac{3}{8}$ " = 1'-0"0 2 4  
SCALE IN FEET**GENERAL STRUCTURAL NOTES:**

## SPECIFICATION/CODES:

1. CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH LATEST EDITION OF THE ACI CODE.
2. REINFORCING STEEL SHALL BE PLACED IN ACCORDANCE WITH THE CONCRETE REINFORCING STEEL INSTITUTE (CRSI) "MANUAL OF STANDARD PRACTICE".
3. DESIGN SHALL BE PER NORTH CAROLINA BUILDING CODE, 2018 EDITION.

**FOUNDATION NOTES:**

1. FOUNDATION DESIGN BASED ON 2000 PSF SOIL BEARING CAPACITY. IF OTHER CONDITIONS EXIST, FOUNDATION SHALL BE REDESIGNED. CONTRACTOR SHALL HAVE SOIL BEARING CAPACITY VERIFIED BY A LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER PRIOR TO INITIATION OF CONSTRUCTION ACTIVITIES.
2. CONCRETE SHALL BE 4,000 PSI.
3. REBAR  $F_y$  = 60,000 PSI.
4. ALL BACKFILL SHALL BE THOROUGHLY COMPAKTED TO A MINIMUM OF 95% DENSITY USING THE MODIFIED PROCTOR METHOD.

PLANS PREPARED FOR:

2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

PLANS PREPARED FOR:

9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

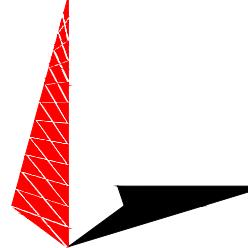
AT&amp;T SITE #: 074-4164

PEAKNET SITE NAME:

CONCORD MP

7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

PLANS PREPARED BY:



**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # C-1794

SEAL:



9	04-11-22	CONSTRUCTION
8	03-29-22	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

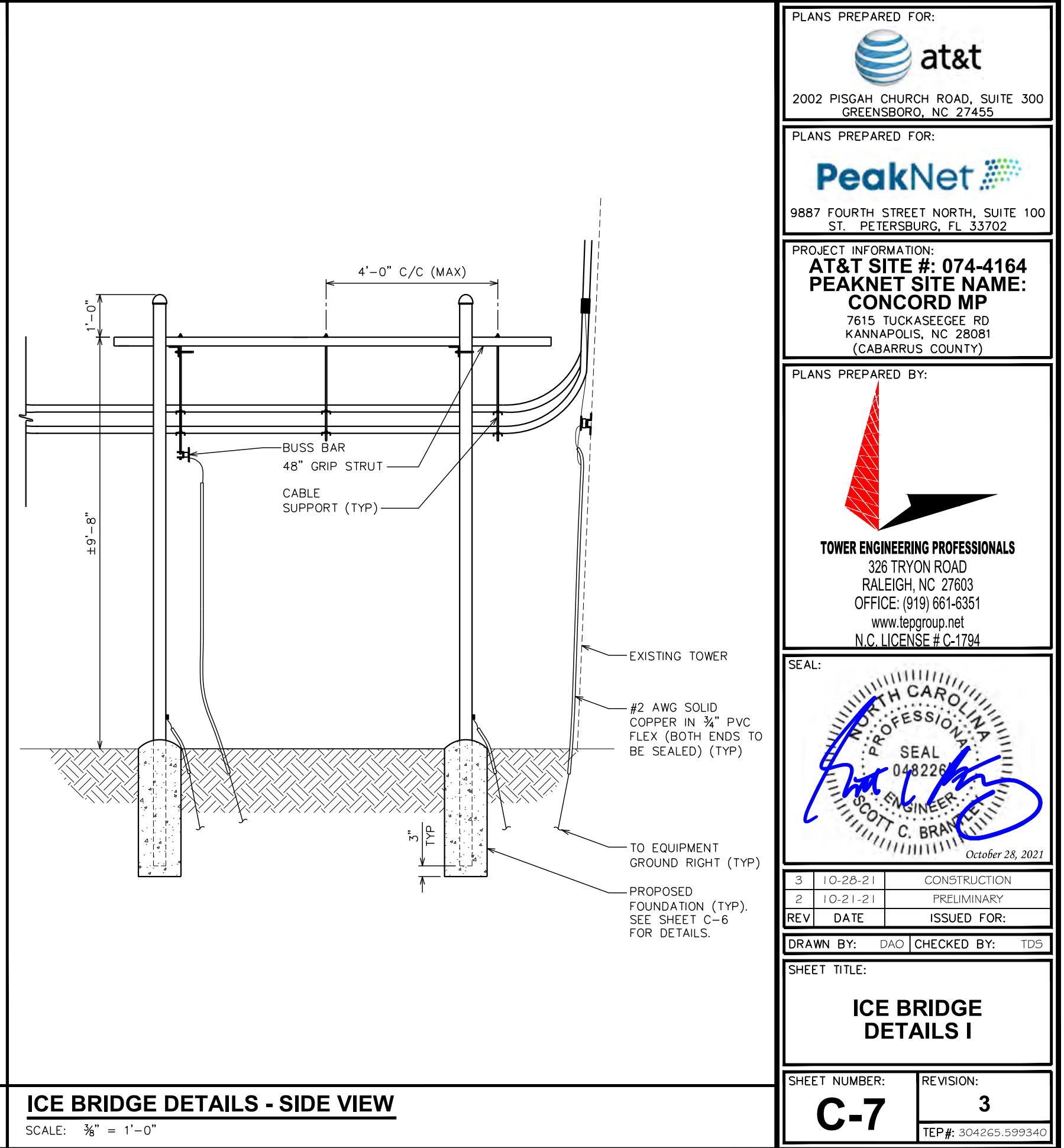
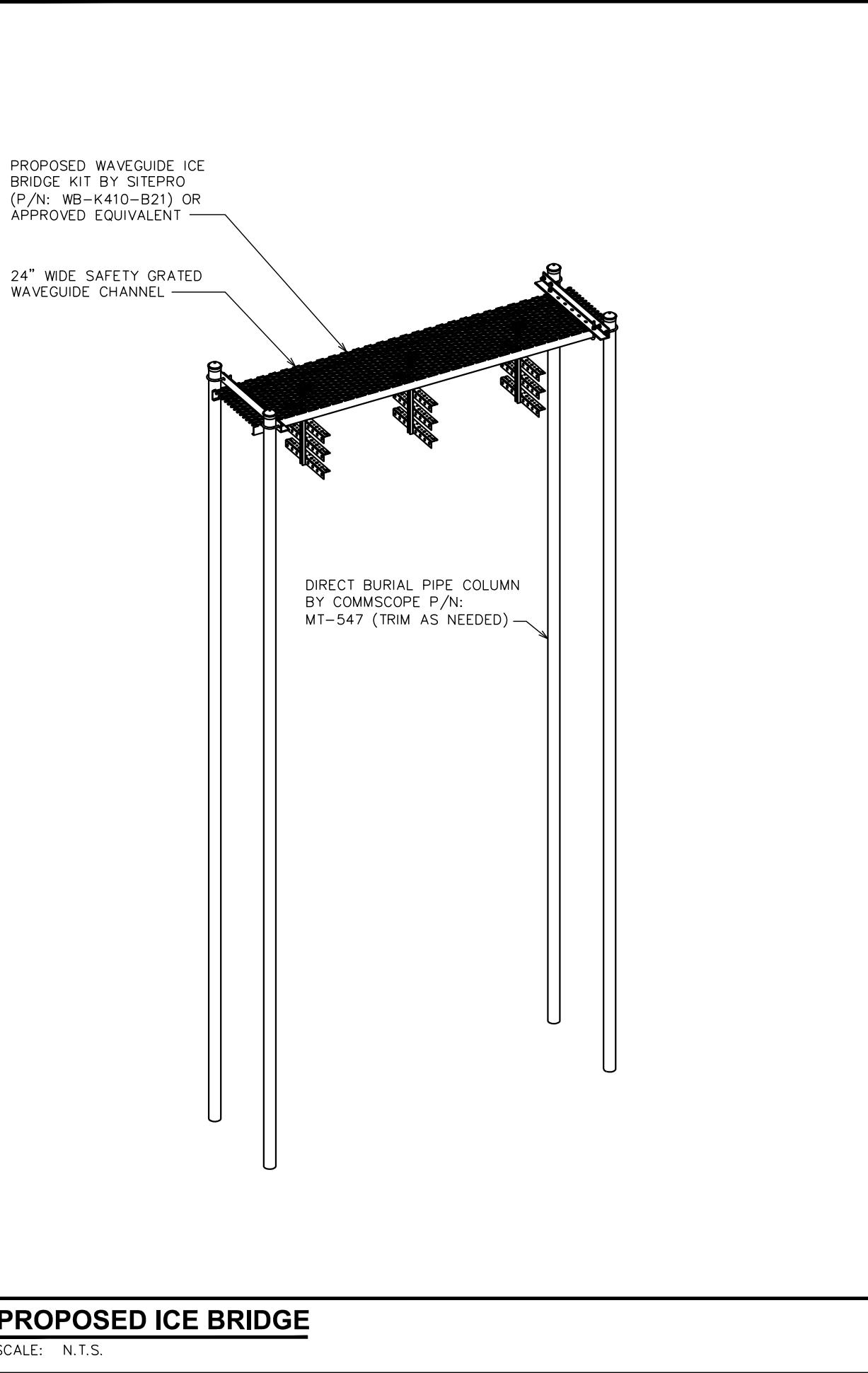
SHEET TITLE:

**FOUNDATION DETAILS**

SHEET NUMBER:	REVISION:
<b>C-6</b>	<b>9</b>

TEP #: 304265.599340

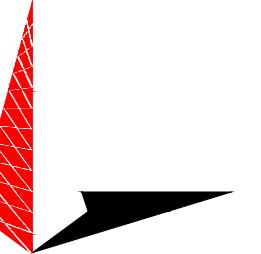
**PAD SECTION**SCALE:  $\frac{3}{8}$ " = 1'-0"A  
C6 C60 2 4  
SCALE IN FEET

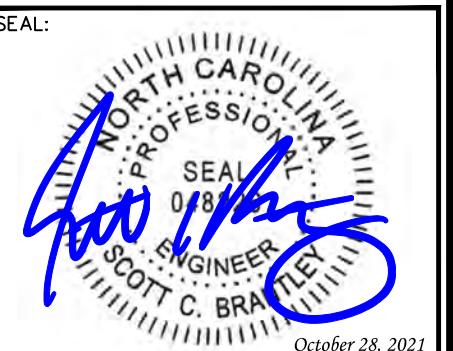


PLANS PREPARED FOR:  
  
 2002 PISGAH CHURCH ROAD, SUITE 300  
 GREENSBORO, NC 27455

PLANS PREPARED FOR:  
  
 9887 FOURTH STREET NORTH, SUITE 100  
 ST. PETERSBURG, FL 33702

PROJECT INFORMATION:  
**AT&T SITE #: 074-4164**  
**PEAKNET SITE NAME: CONCORD MP**  
 7615 TUCKASEEGEE RD  
 KANNAPOLIS, NC 28081  
 (CABARRUS COUNTY)

PLANS PREPARED BY:  
  
**TOWER ENGINEERING PROFESSIONALS**  
 326 TRYON ROAD  
 RALEIGH, NC 27603  
 OFFICE: (919) 661-6351  
 www.tepgroup.net  
 N.C. LICENSE # C-1794



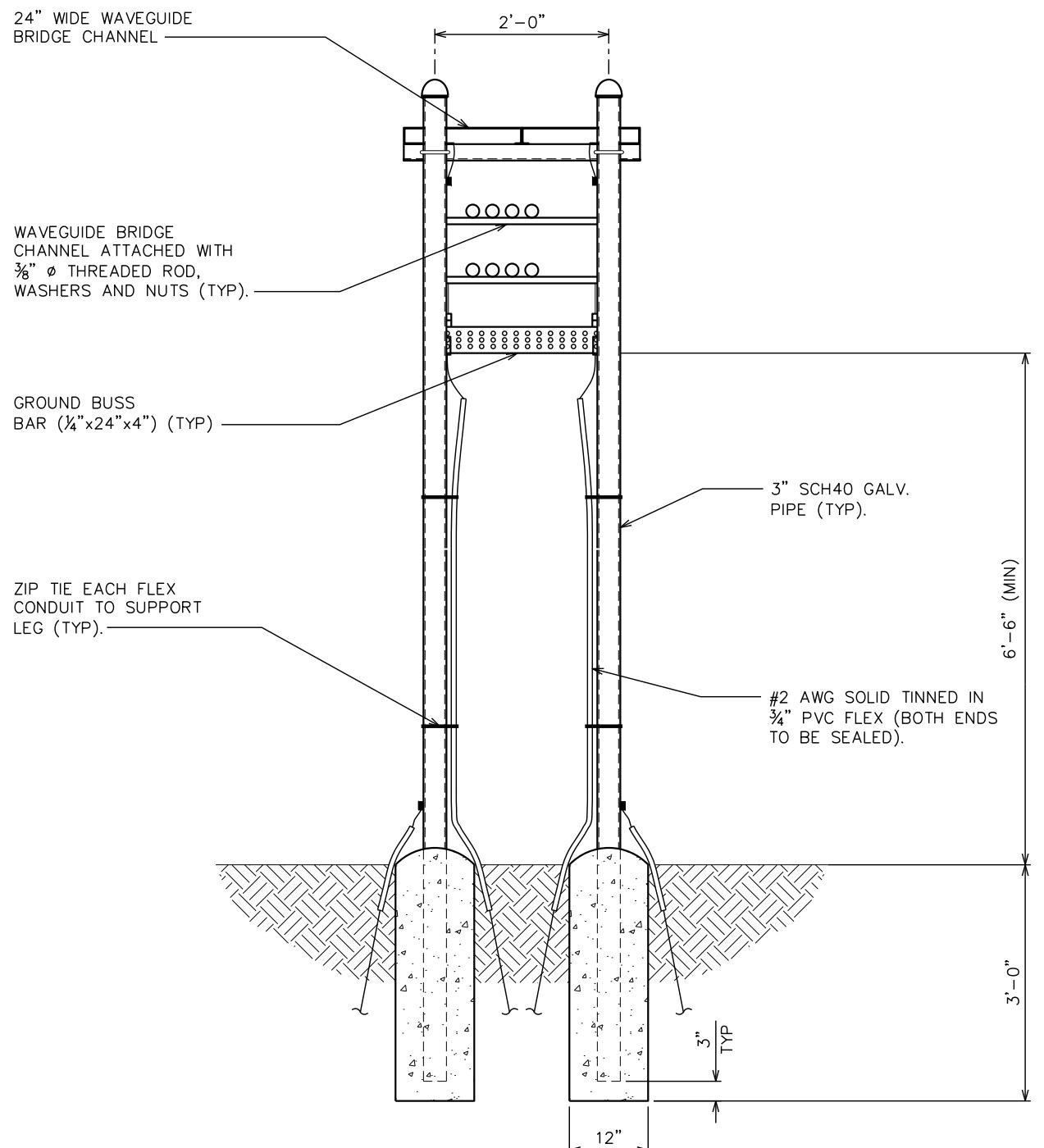
3	10-28-21	CONSTRUCTION
2	10-21-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

## ICE BRIDGE DETAILS II

SHEET NUMBER: C-7A	REVISION: 3
TEP #: 304265.599340	



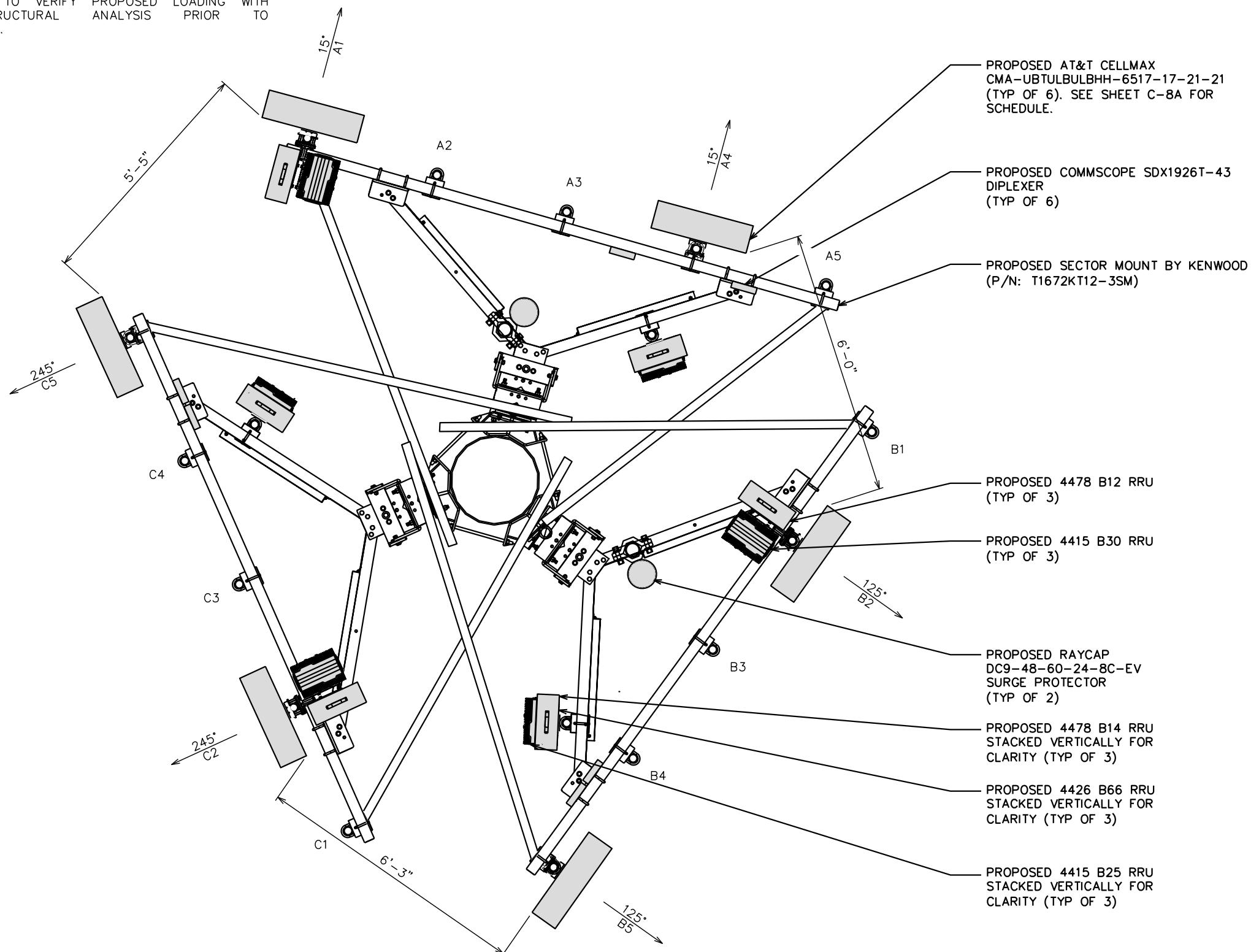
## ICE BRIDGE DETAILS - FRONT VIEW

SCALE:  $\frac{1}{2}$ " = 1'-0"

0 2 4  
 SCALE IN FEET

**NOTES:**

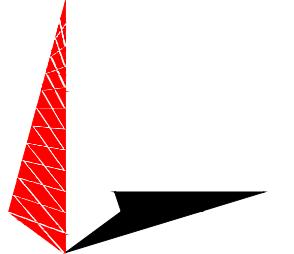
1. TEP DID NOT ANALYZE ANTENNA MOUNT TO DETERMINE ADEQUATE STRUCTURAL CAPACITY FOR ANY AT&T LOADING.
2. SEE SHEET C-8A SHEET FOR PROPOSED ANTENNA SCHEDULE.
3. CONTRACTOR TO VERIFY PROPOSED LOADING WITH TOWER STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTION.

**PROPOSED ANTENNA ORIENTATION**SCALE:  $\frac{1}{8}$ " = 1'-0"0 2 4  
SCALE IN FEET

PLANS PREPARED FOR:  
**at&t**  
2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

PLANS PREPARED FOR:  
**PeakNet**  
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:  
**AT&T SITE #:** 074-4164  
**PEAKNET SITE NAME:**  
**CONCORD MP**  
7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

PLANS PREPARED BY:  
  
**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # C-1794

SEAL:  
  
March 29, 2022

8	03-29-22	CONSTRUCTION
7	03-16-22	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:  
**ANTENNA MOUNTING DETAILS**

SHEET NUMBER: C-8	REVISION: 8
TEP #: 304265.599340	

PLANS PREPARED FOR:

2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

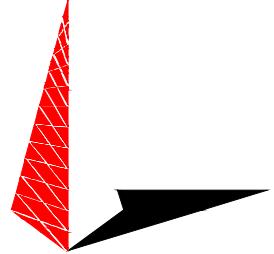
PLANS PREPARED FOR:

9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

AT&T SITE #: 074-4164  
PEAKNET SITE NAME:  
CONCORD MP7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # C-1794

SEAL:



March 16, 2022

7	03-16-22	CONSTRUCTION
6	03-11-22	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

## PROPOSED ANTENNA/CABLE SCHEDULE

SHEET NUMBER: <b>C-8A</b>	REVISION: <b>7</b>
TEP #: 304265.599340	

### GENERAL NOTES:

1. THIS ANTENNA ORIENTATION PLAN IS A SCHEMATIC. THE CONTRACTOR SHALL VERIFY TOWER ORIENTATION AND FIELD COORDINATE REQUIRED ADJUSTMENTS TO ACHIEVE THE DESIRED ANTENNA AZIMUTHS.
2. ANTENNA CENTERLINE HEIGHT BASED ON TOP OF FOOTING ELEVATION.
3. ALL ANTENNAS, CABLES AND MOUNTS SHALL BE INSTALLED IN ACCORDANCE WITH THE STRUCTURAL ENGINEER'S RECOMMENDATIONS IN A MANNER CONSISTENT WITH THE STRUCTURAL ANALYSIS REPORT.
4. ALL ANTENNA BRACKETS PER ANTENNA MANUFACTURER, OR EQUAL, CONTRACTOR TO COORDINATE REQUIRED MECHANICAL DOWN TILT WITH AT&T.
5. ALL ANTENNA INFORMATION TO BE CONFIRMED WITH AT&T RF DESIGN PRIOR TO INSTALLATION.
6. TEP DID NOT PERFORM A STRUCTURAL ANALYSIS ON THE MOUNT OR THE TOWER. IT IS THE CARRIER'S RESPONSIBILITY TO ENSURE MOUNT AND TOWER CAN SUPPORT ADDITIONAL LOADS.
7. CABLE LENGTH TAKEN FROM AT&T RFDS. CONTRACTOR TO VERIFY LENGTH PRIOR TO ORDERING MATERIALS.

### PROPOSED ANTENNA/CABLE SCHEDULE

ANT. MARK	SECTOR	TECH.	STATUS	MANUFACTURER/ MODEL #	DIMS (HxWxD)	AZIMUTH (TN)	RAD CENTER	ELEC. D-TILT	COAX/ CABLE	CABLE LENGTH	SURGE PROTECTION	RRU MODEL	DIPLEXER MODEL
A1	ALPHA	LTE 700 LTE WCS	PROPOSED	CELLMAX CMA-UBTULBULBHH-6517-17-21-21	H 96.5" W 26.7" D 7.7"	15°	225'	2° 1°	(1) FIBER <sup>24</sup> (3) DC POWER	270'±	(1) DC9-48-60-24-8C-EV	(1) 4478 B12A (1) 4415 B30	-
A4	ALPHA	LTE 700 LTE AWS 5G AWS LTE 1900	PROPOSED	CELLMAX CMA-UBTULBULBHH-6517-17-21-21	H 96.5" W 26.7" D 7.7"	15°	225'	2° 2° 2°	-	-	-	(1) 4478 B14 (1) 4415 B25 (1) 4426 B66	(2) COMMSCOPE SDX1926T-43
B2	BETA	LTE 700 LTE WCS	PROPOSED	CELLMAX CMA-UBTULBULBHH-6517-17-21-21	H 96.5" W 26.7" D 7.7"	125°	225'	2° 1°	(1) FIBER <sup>24</sup> (3) DC POWER	270'±	(1) DC9-48-60-24-8C-EV	(1) 4478 B12A (1) 4415 B30	-
B5	BETA	LTE 700 LTE AWS 5G AWS LTE 1900	PROPOSED	CELLMAX CMA-UBTULBULBHH-6517-17-21-21	H 96.5" W 26.7" D 7.7"	125°	225'	2° 2° 2°	-	-	-	(1) 4478 B14 (1) 4415 B25 (1) 4426 B66	(2) COMMSCOPE SDX1926T-43
C2	GAMMA	LTE 700 LTE WCS	PROPOSED	CELLMAX CMA-UBTULBULBHH-6517-17-21-21	H 96.5" W 26.7" D 7.7"	245°	225'	2° 1°	-	-	-	(1) 4478 B12A (1) 4415 B30	-
C5	GAMMA	LTE 700 LTE AWS 5G AWS LTE 1900	PROPOSED	CELLMAX CMA-UBTULBULBHH-6517-17-21-21	H 96.5" W 26.7" D 7.7"	245°	225'	2° 2° 2°	-	-	-	(1) 4478 B14 (1) 4415 B25 (1) 4426 B66	(2) COMMSCOPE SDX1926T-43

### PROPOSED ANTENNA/CABLE SCHEDULE

SCALE: N.T.S.

PLANS PREPARED FOR:



2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

PLANS PREPARED FOR:



9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

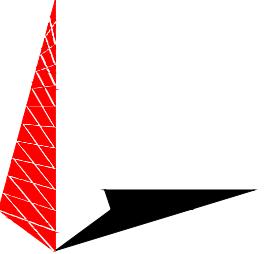
**AT&T SITE #: 074-4164**

**PEAKNET SITE NAME:**

**CONCORD MP**

7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

PLANS PREPARED BY:



**TOWER ENGINEERING PROFESSIONALS**

326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # C-1794

SEAL:



March 29, 2022

8 03-29-22 CONSTRUCTION

7 03-16-22 CONSTRUCTION

REV DATE ISSUED FOR:

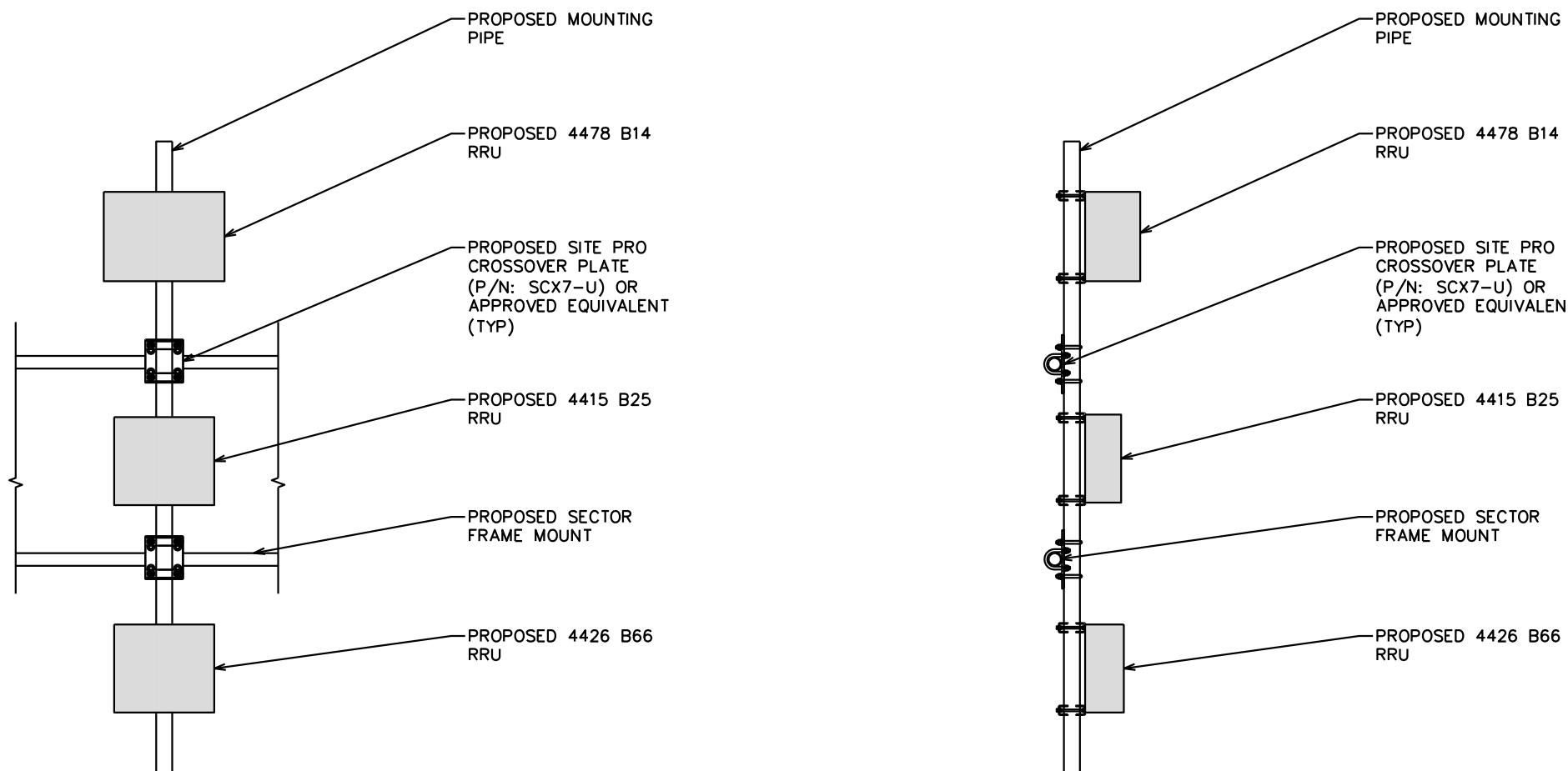
DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

## PROPOSED RRU MOUNTING DETAIL

SHEET NUMBER: C-8B REVISION: 8

TEP #: 304265.599340

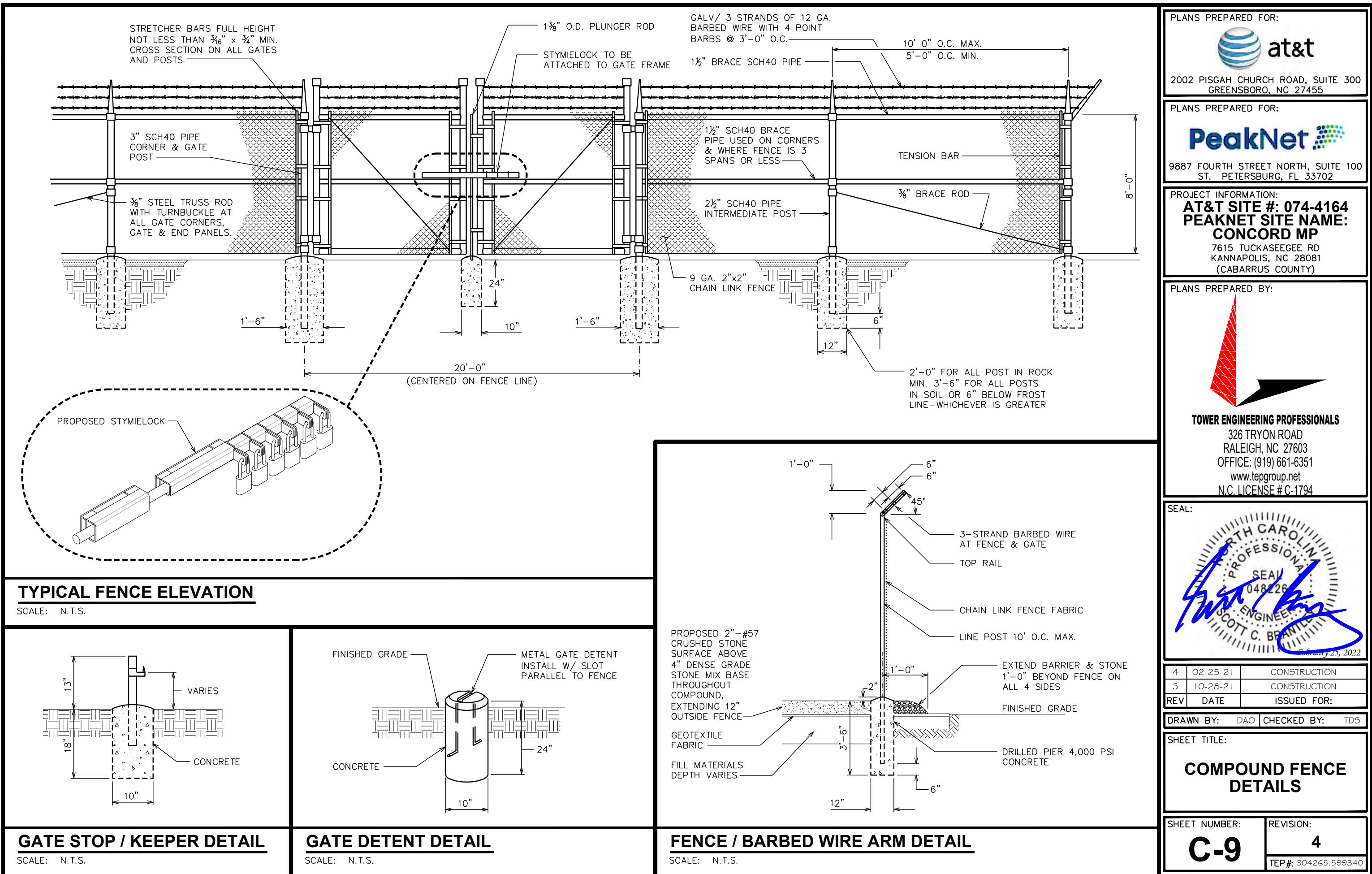


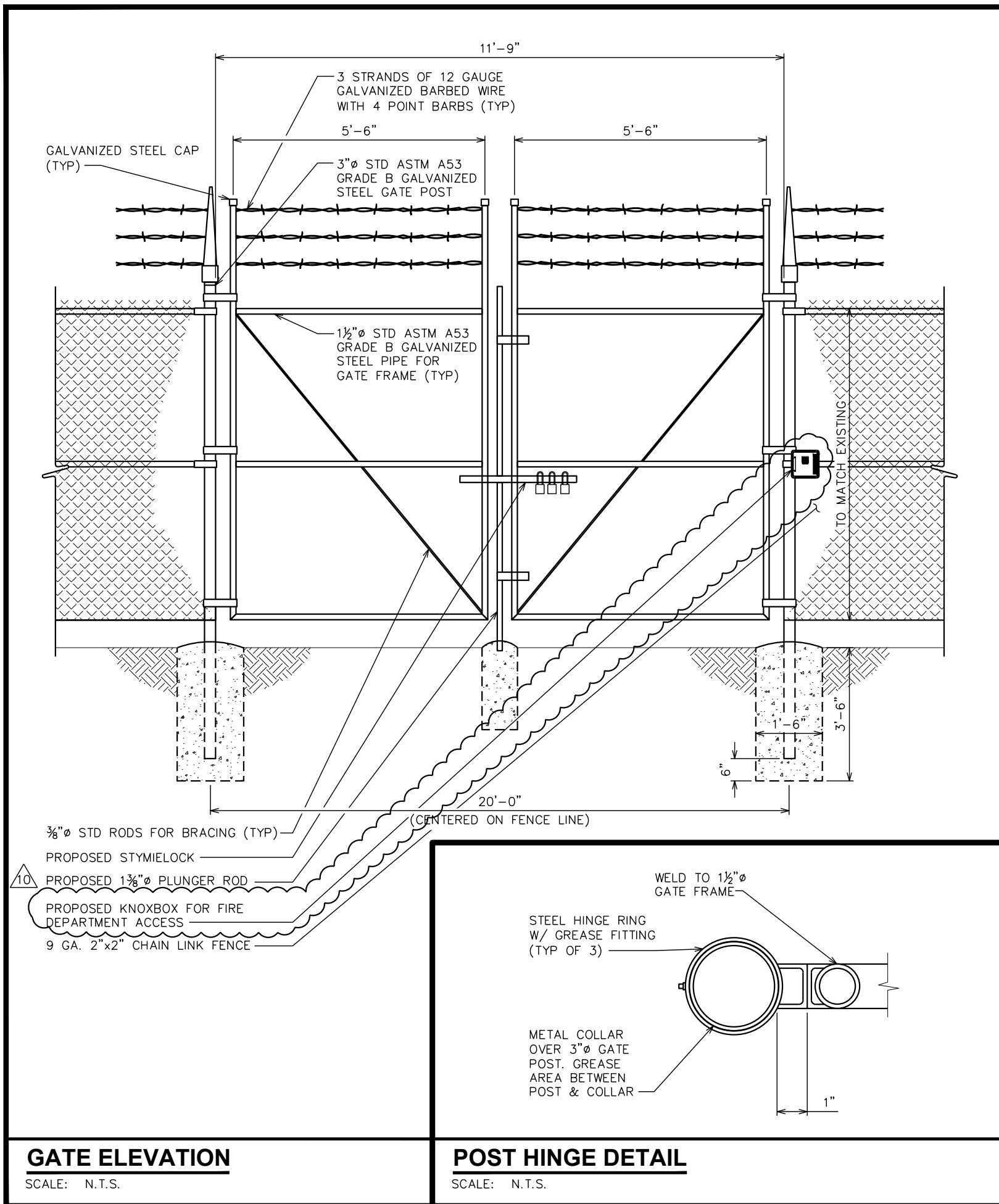
**FRONT**

**SIDE**

## PROPOSED RRU MOUNTING DETAIL

SCALE: N.T.S.





PLANS PREPARED FOR:

**at&t**  
2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

PLANS PREPARED FOR:

**PeakNet**  
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:  
**AT&T SITE #:** 074-4164  
**PEAKNET SITE NAME:** CONCORD MP  
7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

PLANS PREPARED BY:

**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # C-1794

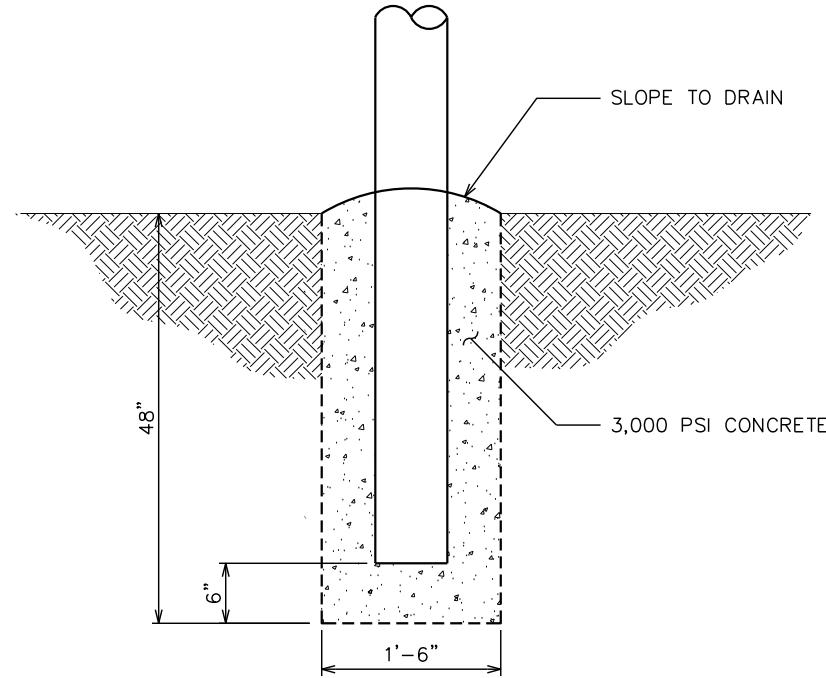
SEAL:

SCOTT C. BRANTLEY  
May 11, 2022

10	05-11-22	CONSTRUCTION
9	04-11-22	CONSTRUCTION
REV	DATE	ISSUED FOR:
DRAWN BY: DAO		CHECKED BY: TDS

SHEET TITLE:  
**ACCESS GATE DETAIL**

SHEET NUMBER:	REVISION:
<b>C-9A</b>	<b>10</b>
TEP #: 304265.599340	



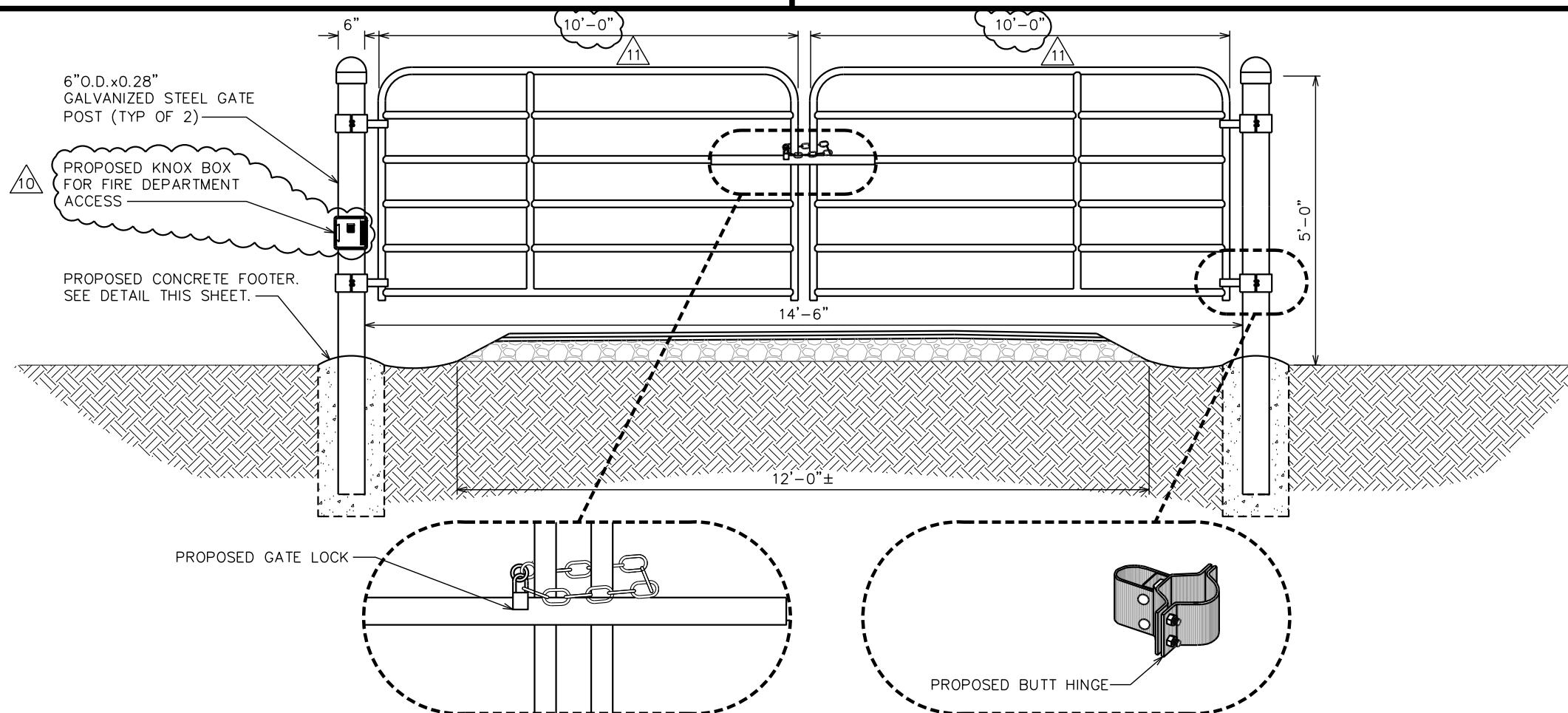
### NOTES:

1. PANELS TO BE 4'x7' GALVANIZED TUBULAR STEEL 2" ODx16 GAUGE HIGH TENSILE WELDED STEEL. HEAVY DUTY MOUNT HARDWARE TO BE WELDED TO THE SUPPORT POSTS.
2. 6"ODx0.28"x8'-6" STEEL PIPE INSTALLED 42" BELOW EXISTING GRADE CONCRETE TO 1" ABOVE EXISTING GRADE AT THE POST BASE AND TAPER. FILL POST COMPLETELY WITH CONCRETE CAP.
3. CONTRACTOR TO INSTALL SIGNAGE TO THE NEWLY INSTALLED ACCESS GATE. NO PLASTIC WIRE TIES WILL BE USED.
4. GC TO INSTALL GALVANIZED CHAIN WITH PADLOCK. ADDITIONAL NECESSARY PADLOCKS TO BE DAISY CHAINED TOGETHER.

### CONCRETE FOOTER DETAIL

SCALE: N.T.S.

### ACCESS GATE NOTES



### CATTLE GATE DETAIL

SCALE: N.T.S.

PLANS PREPARED FOR:



2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

PLANS PREPARED FOR:



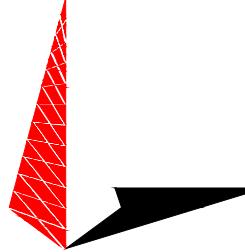
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

**AT&T SITE #: 074-4164**  
**PEAKNET SITE NAME:**  
**CONCORD MP**

7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

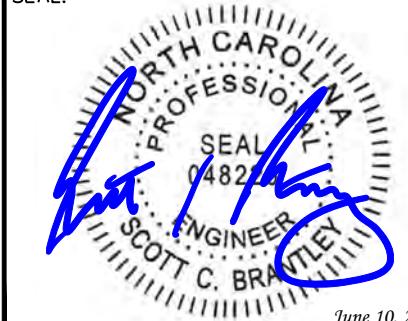
PLANS PREPARED BY:



**TOWER ENGINEERING PROFESSIONALS**

326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # C-1794

SEAL:



June 10, 2022

11 06-10-22 CONSTRUCTION

10 05-11-22 CONSTRUCTION

REV DATE ISSUED FOR:

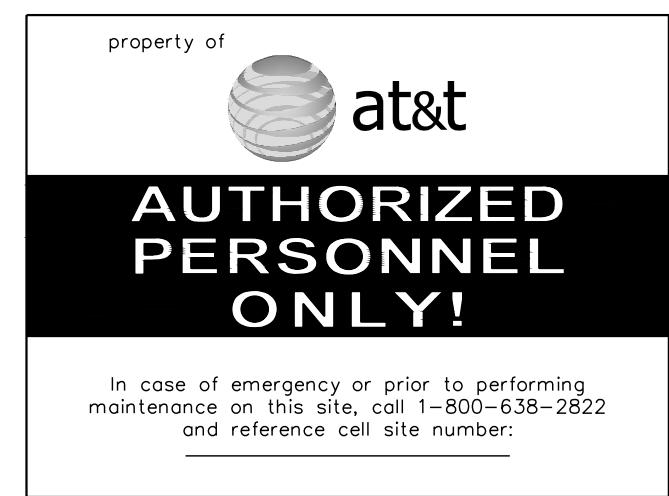
DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

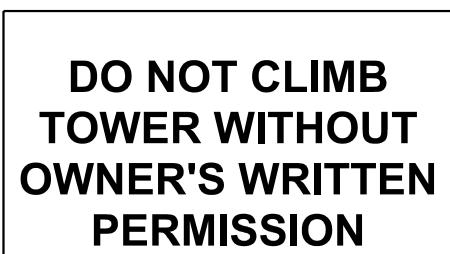
### **CATTLE GATE DETAIL**

SHEET NUMBER: C-9B REVISION: 11

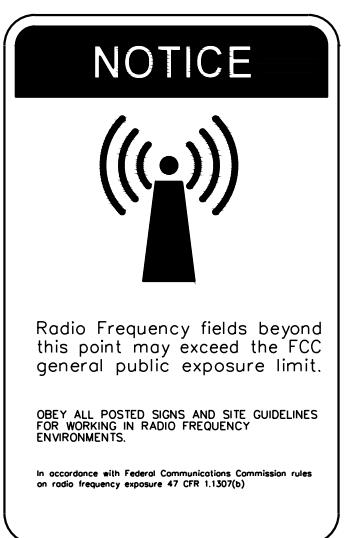
TEP #: 304265.599340



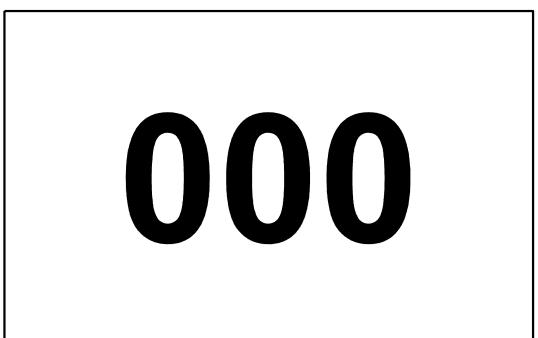
① WHITE/BLUE BACKGROUND W/ BLACK LETTERING  
QUANTITY: (1)  
SIZE: 9"x12"  
(TO BE MOUNTED ON EQUIPMENT SHELTER DOOR ADJACENT TO COMPOUND ENTRY - SEE NOTE 3)



③ WHITE BACKGROUND W/ RED LETTERING  
QUANTITY: (1)  
(TO BE MOUNTED AT EYE LEVEL ON TOWER NEAR SAFETY CLIMB)



② WHITE/BLUE BACKGROUND W/ BLACK LETTERING  
QUANTITY: (1)  
(TO BE MOUNTED AT EYE LEVEL ON TOWER NEAR SAFETY CLIMB)



④ WHITE BACKGROUND W/ BLACK LETTERING  
E911 STREET #  
QUANTITY: (1 TYP)  
LETTERS MUST BE A MINIMUM 6" TALL  
(TO BE MOUNTED ON THE GATE OF COMPOUND)

- ① SITE IDENTIFICATION SIGN
- ② FCC/RF EXPOSURE SIGN
- ③ TOWER CLIMBING SIGN
- ④ STREET ADDRESS SIGN

### NOTES:

1. SIGNS SHALL MEASURE 8"x12", BE FABRICATED FROM CORROSION RESISTANT PRESSED METAL, AND PAINTED WITH LONG LASTING UV RESISTANT COATINGS.
2. SIGNS (EXCEPT WHERE NOTED OTHERWISE) SHALL BE MOUNTED TO THE TOWER, GATE AND FENCE USING A MINIMUM OF 9 GAUGE ALUMINUM WIRE, HOG RINGS (AS UTILIZED IN FENCE INSTALLATIONS) OR BRACKETS WHERE NECESSARY. BRACKETS SHALL BE OF SIMILAR METAL AS THE STRUCTURE TO AVOID GALVANIC CORROSION.
3. AT&T SITE # AND EMERGENCY CONTACT # SHALL BE MOUNTED ON THE EQUIPMENT SHELTER DOOR ADJACENT TO THE COMPOUND ENTRY WITH PERMANENT SET ADHESIVE. TWO-SIDED TAPE SHALL BE UTILIZED AT EACH CORNER ON THE BACKSIDE TO AID PLACEMENT UNTIL ADHESIVE SETS.
4. ADDITIONAL E911 ADDRESS SIGNS ARE REQUIRED AT EACH ACCESS ROAD GATE LEADING TO THE COMPOUND AS WELL AS ON THE COMPOUND GATE ITSELF. LETTERING ON 911 ADDRESS SIGNS MUST BE A MINIMUM OF 6" TALL.
5. ADDITIONAL FCC REGISTRATION # SIGNS ARE REQUIRED AT EACH ACCESS ROAD GATE LEADING TO THE COMPOUND AS WELL AS ON THE COMPOUND GATE ITSELF.
6. RECOMMENDED SOURCE FOR OBTAINING SIGNAGE:

ST. CLAIR SIGNS  
3184 WADE HAMPTON BLVD.  
TAYLORS, SC 29687  
(864) 244-0040

RF EXPOSURE SIGNS  
RICHARD TELL ASSOCIATES  
3433 RINGSTAR ROAD, SUITE 3  
NORTH LAS VEGAS, NV 89030  
(702) 645-3338

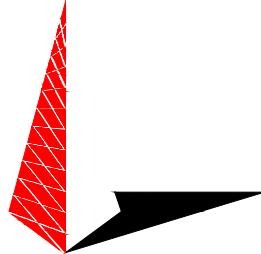
### TYPICAL SIGNS AND SPECIFICATIONS

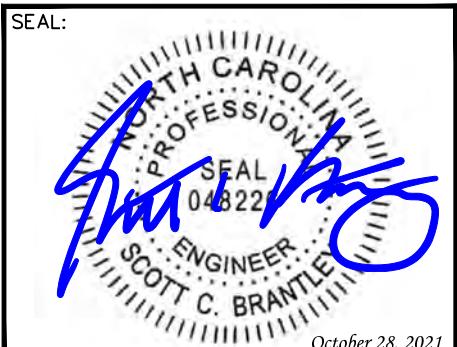
SCALE: N.T.S.

PLANS PREPARED FOR:  
  
2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

PLANS PREPARED FOR:  
  
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:  
**AT&T SITE #: 074-4164**  
**PEAKNET SITE NAME: CONCORD MP**  
7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

PLANS PREPARED BY:  
  
**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # C-1794



3	10-28-21	CONSTRUCTION
2	10-21-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

### SIGNAGE DETAILS

SHEET NUMBER:	REVISION:
<b>C-10</b>	<b>3</b>

TEP #: 304265.599340

**NOTE:**

CONTRACTOR TO EXCAVATE CLAY SOIL (APPROXIMATELY 3.5' DEEP) BENEATH PROPOSED ACCESS DRIVE AND REPLACE WITH SAND.

PLANS PREPARED FOR:



2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

PLANS PREPARED FOR:



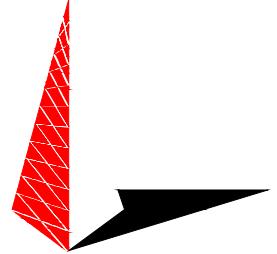
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

**AT&T SITE #:** 074-4164  
**PEAKNET SITE NAME:**  
**CONCORD MP**

7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

PLANS PREPARED BY:



**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
[www.tepgroup.net](http://www.tepgroup.net)  
N.C. LICENSE # C-1794

SEAL:



March 11, 2022

6	03-11-22	CONSTRUCTION
5	03-07-22	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

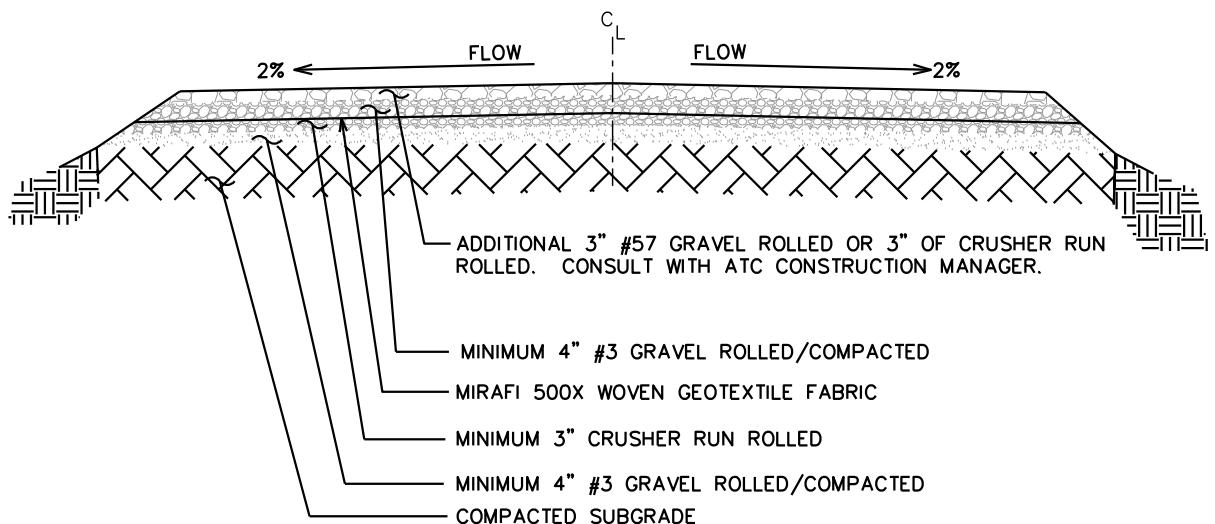
**ACCESS ROAD  
DETAILS**

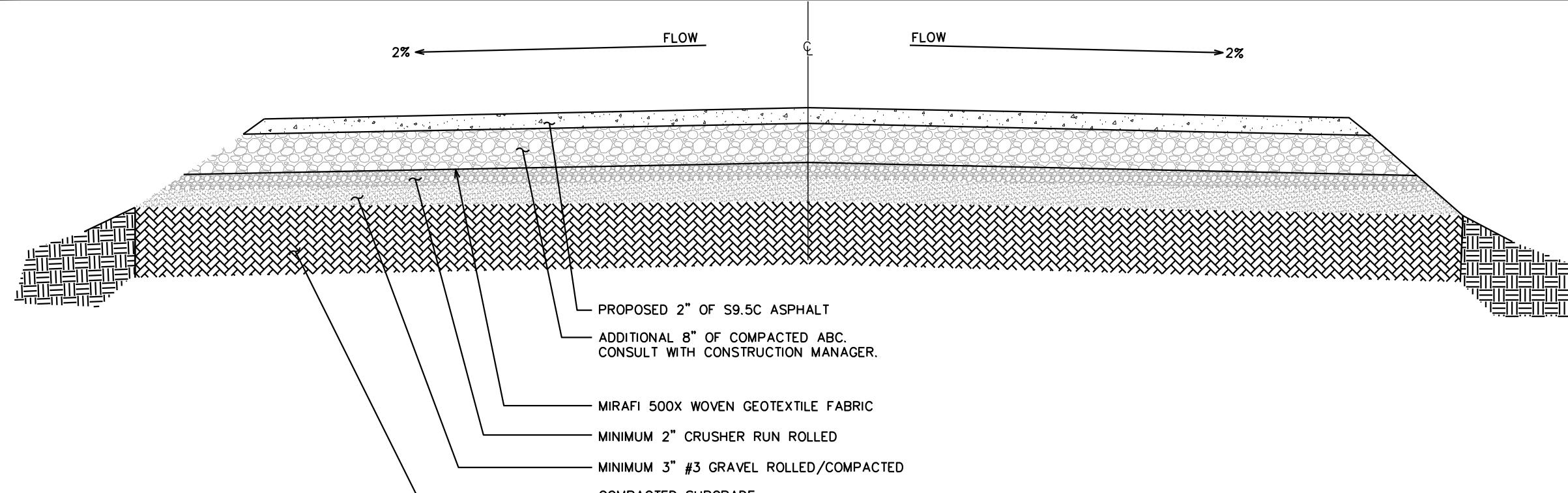
SHEET NUMBER:	REVISION:
<b>C-11A</b>	<b>6</b>

TEP #: 304265.599340

### STANDARD GRAVEL ROAD SECTION (GOOD SUBGRADE)

SCALE: N.T.S.

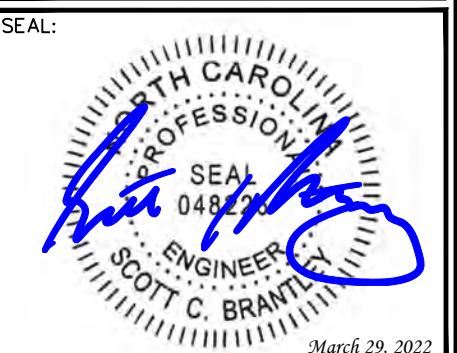
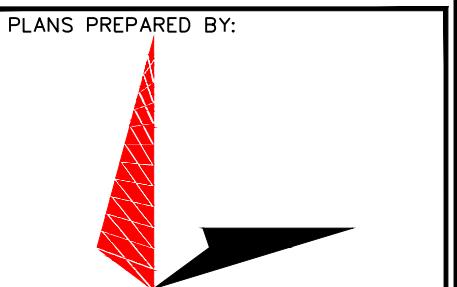




PLANS PREPARED FOR:  
**at&t**  
2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

PLANS PREPARED FOR:  
**PeakNet**  
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:  
**AT&T SITE #:** 074-4164  
**PEAKNET SITE NAME:**  
**CONCORD MP**  
7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)



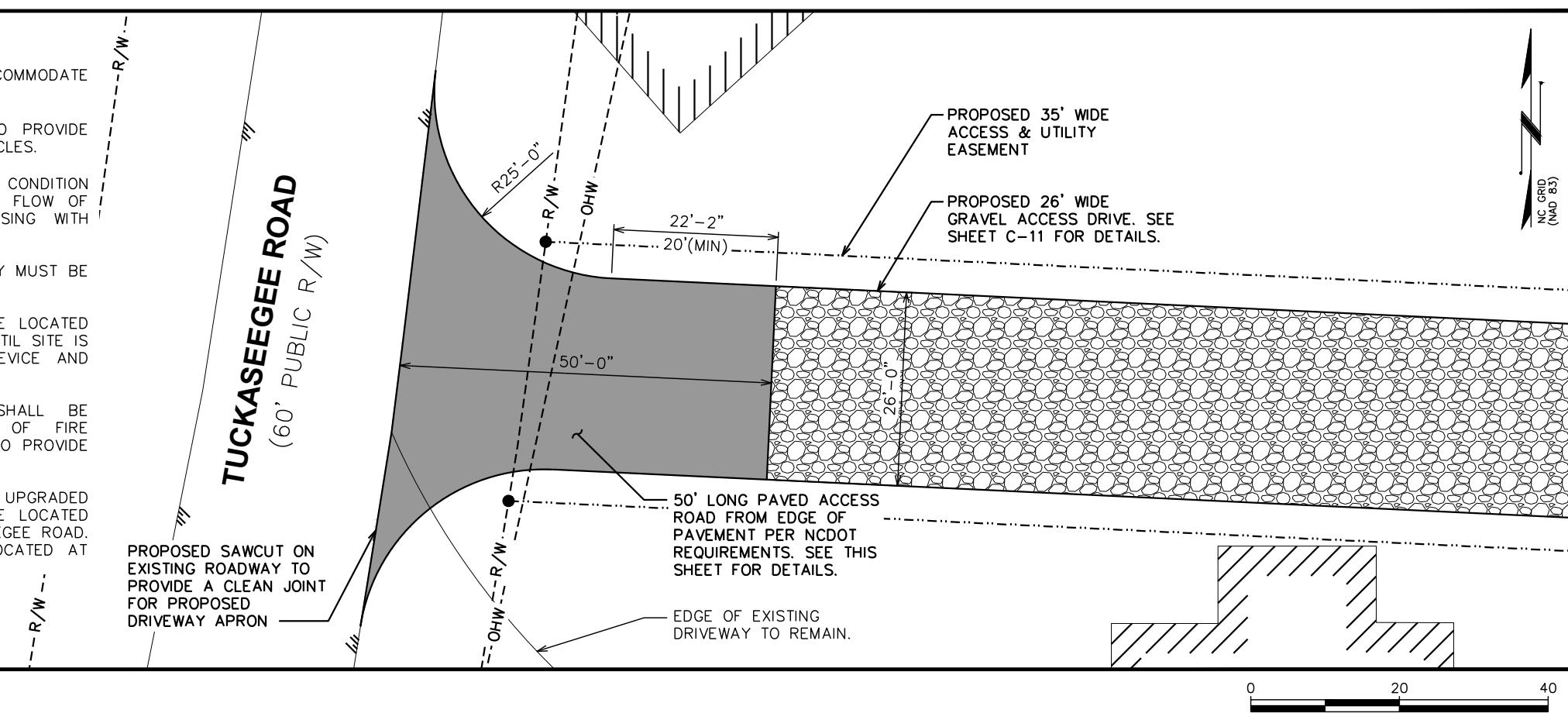
8	03-29-22	CONSTRUCTION
7	03-16-22	CONSTRUCTION
REV	DATE	ISSUED FOR:

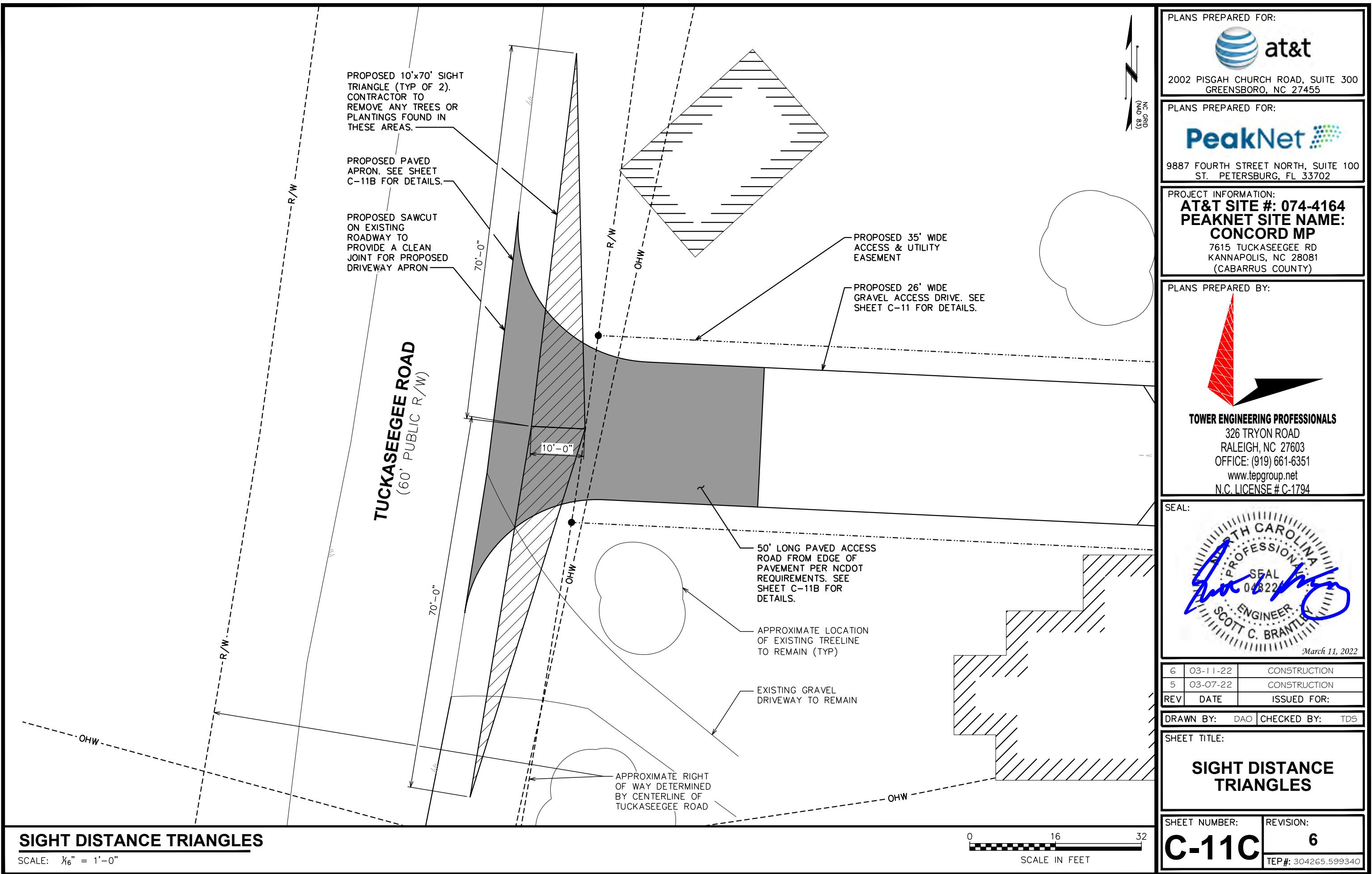
DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

## DRIVEWAY DETAILS

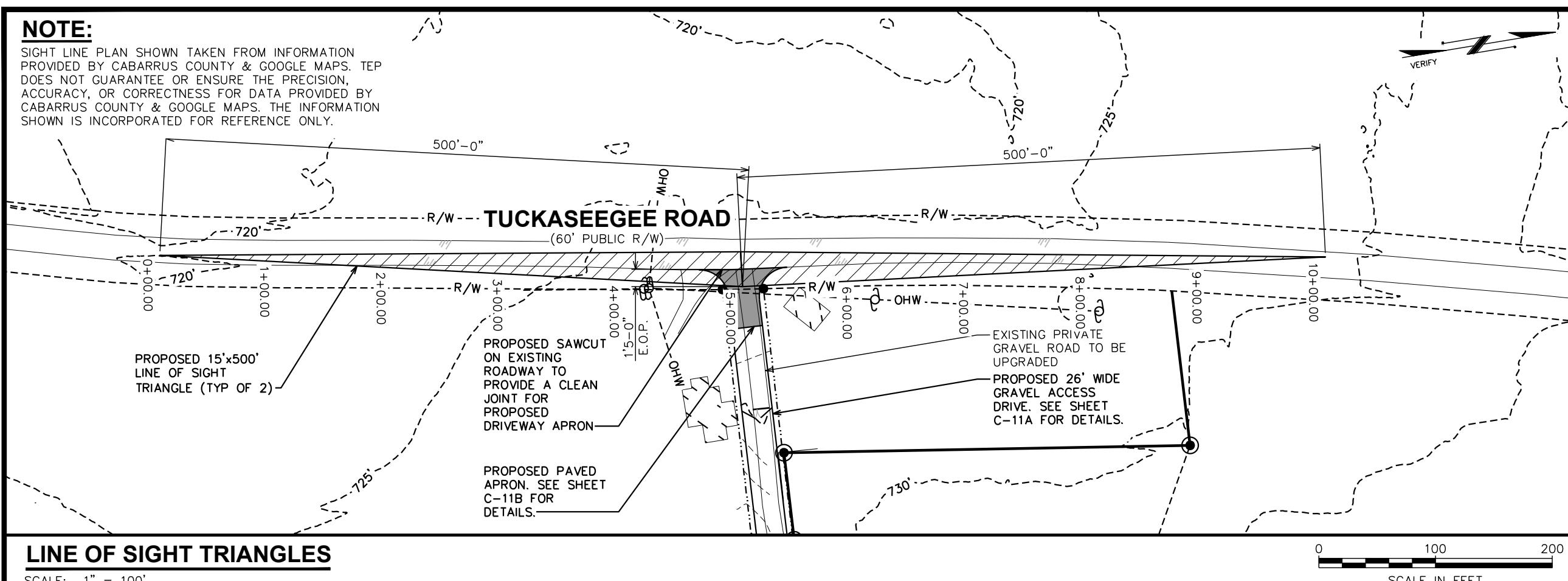
SHEET NUMBER:	REVISION:
<b>C-11B</b>	<b>8</b>
TEP #: 304265.599340	





**NOTE:**

SIGHT LINE PLAN SHOWN TAKEN FROM INFORMATION PROVIDED BY CABARRUS COUNTY & GOOGLE MAPS. TEP DOES NOT GUARANTEE OR ENSURE THE PRECISION, ACCURACY, OR CORRECTNESS FOR DATA PROVIDED BY CABARRUS COUNTY & GOOGLE MAPS. THE INFORMATION SHOWN IS INCORPORATED FOR REFERENCE ONLY.



PLANS PREPARED FOR:



2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

PLANS PREPARED FOR:



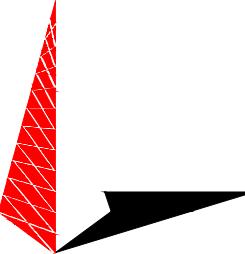
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

**AT&T SITE #:** 074-4164  
**PEAKNET SITE NAME:**  
**CONCORD MP**

7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

PLANS PREPARED BY:



**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # C-1794

SEAL:



6	03-11-22	CONSTRUCTION
5	03-07-22	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

**LINE OF SIGHT**

**SHEET NUMBER:** C-11D **REVISION:** 6  
TEP #: 304265.599340



LEGEND	
LINE OF SIGHT	-----
EXISTING GRADE	_____

**LINE OF SIGHT TRIANGLE PROFILES**

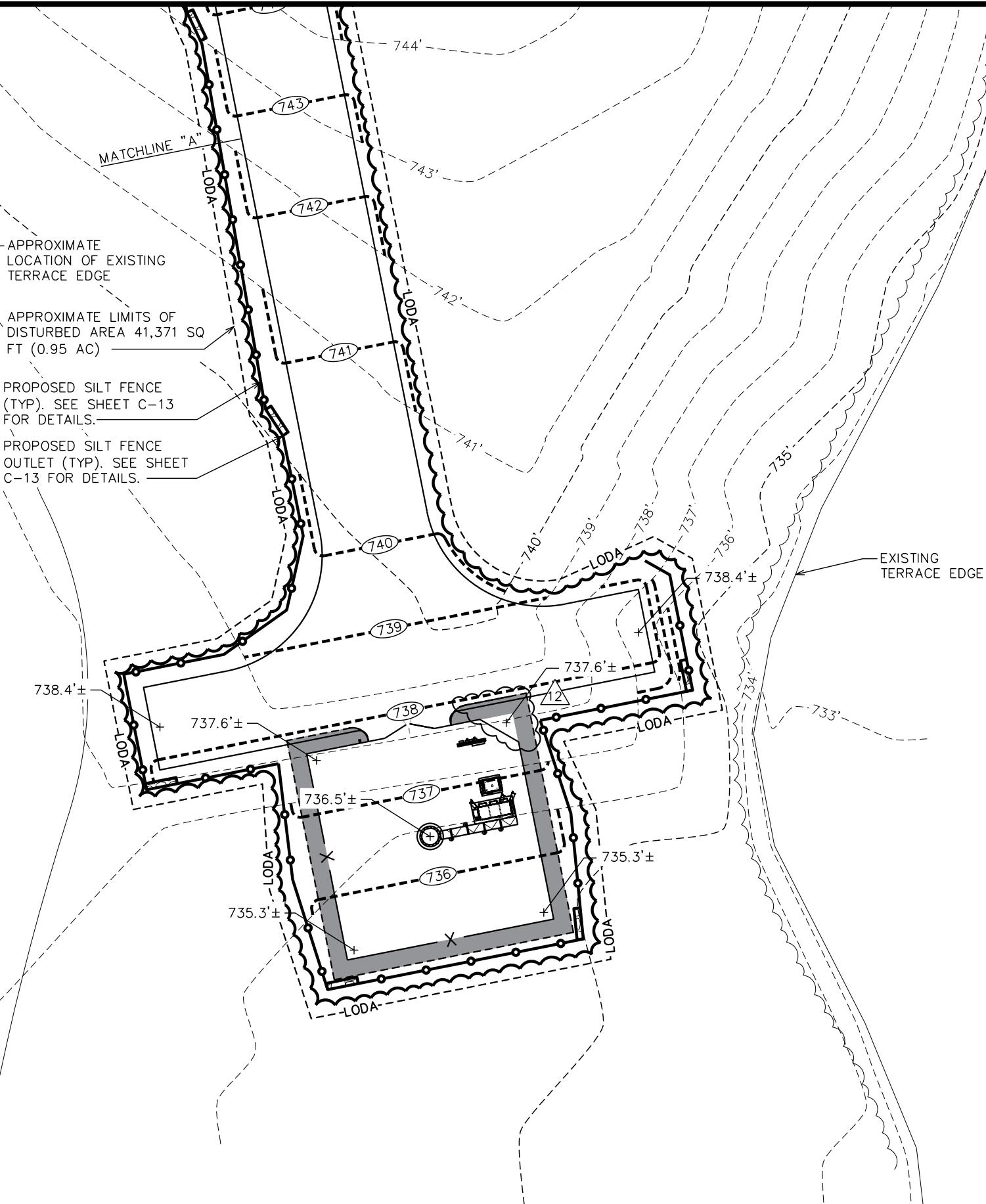
SCALE: N.T.S.

## GRADING NOTES:

1. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE ACROSS COMPOUND.
2. SEE SHEET N-2 FOR SITE GRADING PREPARATION NOTES.

### LEGEND

SILT FENCE	—○—
LODA	—LODA—



## GRADING & EROSION CONTROL PLAN

SCALE: 1" = 30'

0 30 60  
SCALE IN FEET

PLANS PREPARED FOR:



2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

PLANS PREPARED FOR:



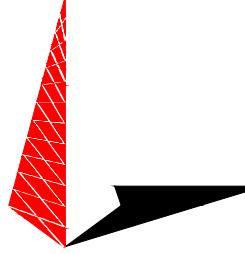
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

**AT&T SITE #: 074-4164**  
**PEAKNET SITE NAME:**  
**CONCORD MP**

7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

PLANS PREPARED BY:



**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # C-1794

SEAL:



12	06-29-22	CONSTRUCTION
11	06-10-22	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

**GRADING & EROSION CONTROL PLAN I**

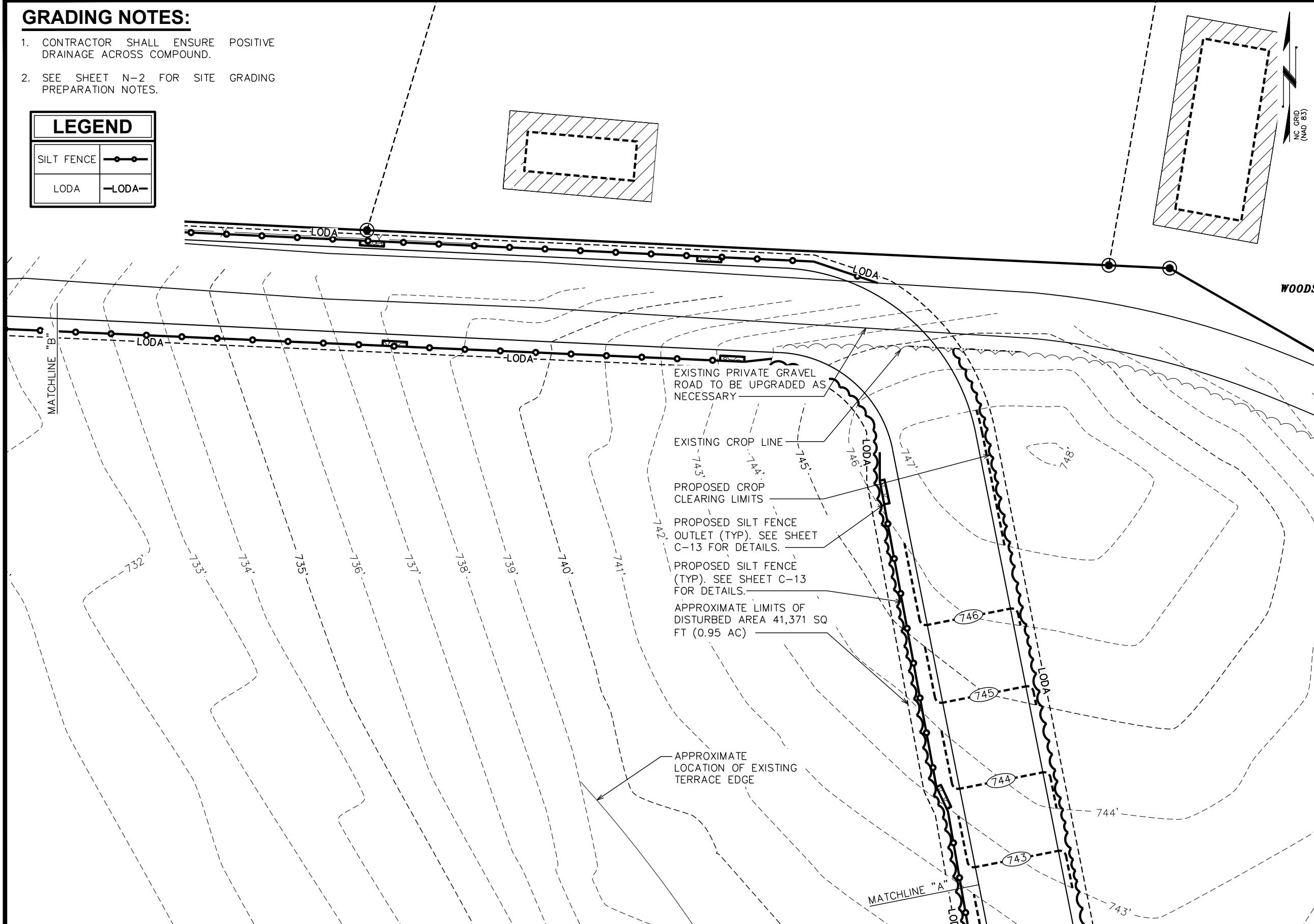
SHEET NUMBER: C-12A	REVISION: 12
TEP #: 304265.599340	

## **GRADING NOTES:**

1. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE ACROSS COMPOUND.
2. SEE SHEET N-2 FOR SITE GRADING PREPARATION NOTES.

## LEGEND

SILT FENCE	
LODA	<b>—LODA—</b>



## GRADING & EROSION CONTROL PLAN

SCALE: 1" = 30'

A horizontal scale bar with tick marks at 0, 30, and 60. The segment between 0 and 30 is shaded black, representing 30 feet.

PLANS PREPARED FOR:



2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

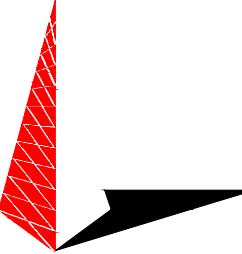
**PLANS PREPARED FOR:**



9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:  
**AT&T SITE #:** 074-4164  
**PEAKNET SITE NAME:**  
**CONCORD MP**  
7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

**PLANS PREPARED BY:**



**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
[www.tepgroup.net](http://www.tepgroup.net)  
N.C. LICENSE # C-1794

A circular seal for a professional engineer. The outer ring contains the text "NORTH CAROLINA" at the top and "PROFESSIONAL" at the bottom, separated by a horizontal line. The inner circle contains "SEAL" at the top and "0481226" in the center. Below the inner circle, the words "ENGINEER" and "SCOTT C. BRANTLEY" are written in a larger font. The entire seal is outlined in blue ink.

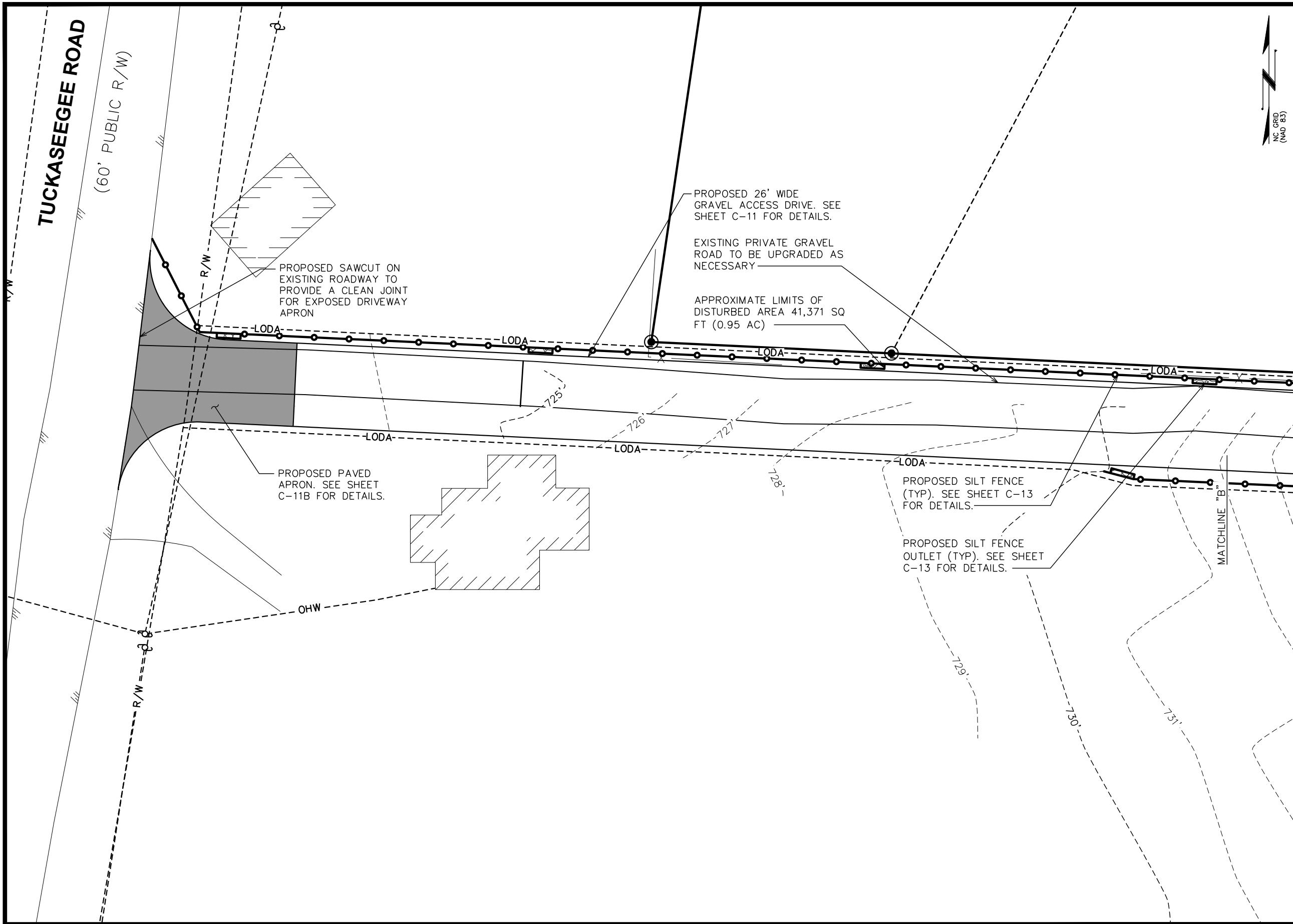
12	06-29-22	CONSTRUCTION
11	06-10-22	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY:      DATED:      CHECKED BY:      TDS

SHEET TITLE:

## **GRADING & EROSION CONTROL PLAN II**

**C-12B** 12



## GRADING & EROSION CONTROL PLAN

SCALE: 1" = 30'

A horizontal scale bar with tick marks at 0, 30, and 60. The segment between 0 and 30 is filled with black, while the segments between 30 and 60, and beyond 60, are white. Below the scale bar, the text "SCALE IN FEET" is centered.

The logo for AT&T, featuring a blue and white striped sphere to the left of the word "at&t" in a lowercase, sans-serif font.

PLANS PREPARED FOR:  
**PeakNet** 

PROJECT INFORMATION:  
**AT&T SITE #: 074-4164**  
**PEAKNET SITE NAME:**  
**CONCORD MP**  
7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

A circular seal for a professional engineer. The outer ring contains the text "NORTH CAROLINA" at the top and "PROFESSIONAL" at the bottom, separated by a horizontal line. The inner circle contains "SEAL" at the top and "048223" at the bottom. The bottom half of the inner circle contains "ENGINEER" on the left and "SCOTT C. BRANT" on the right. A large, blue, handwritten signature "Scott C. Brant" is overlaid across the center of the seal.

12	06-29-22	CONSTRUCTION
11	06-10-22	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY:  DATED:  CHECKED BY:  TPC

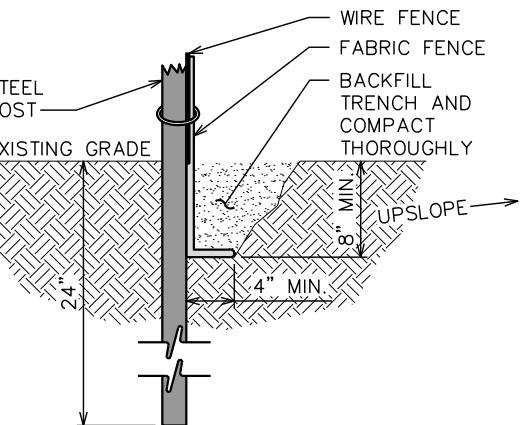
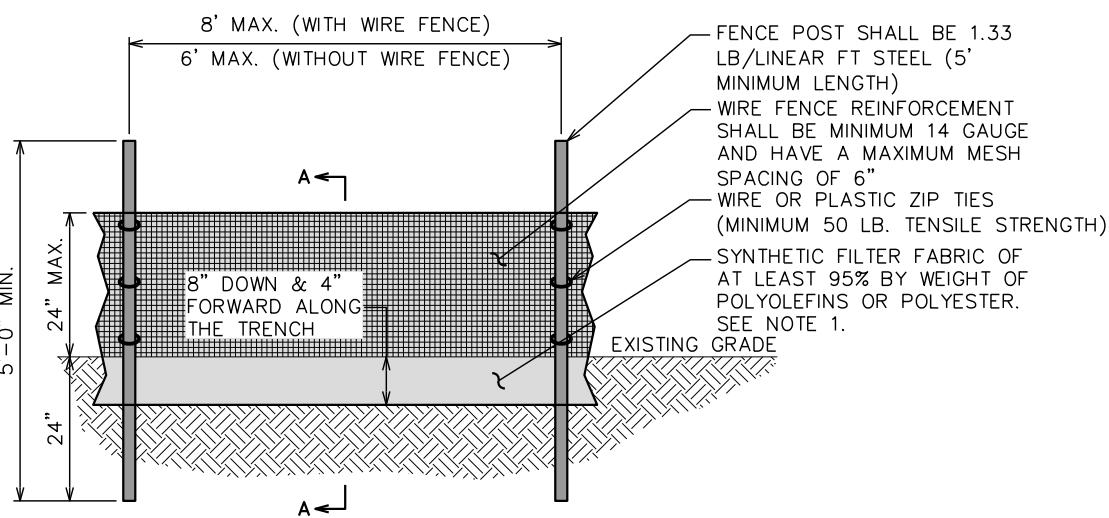
SHEET TITLE: \_\_\_\_\_

## GRADING & EROSION CONTROL PLAN III

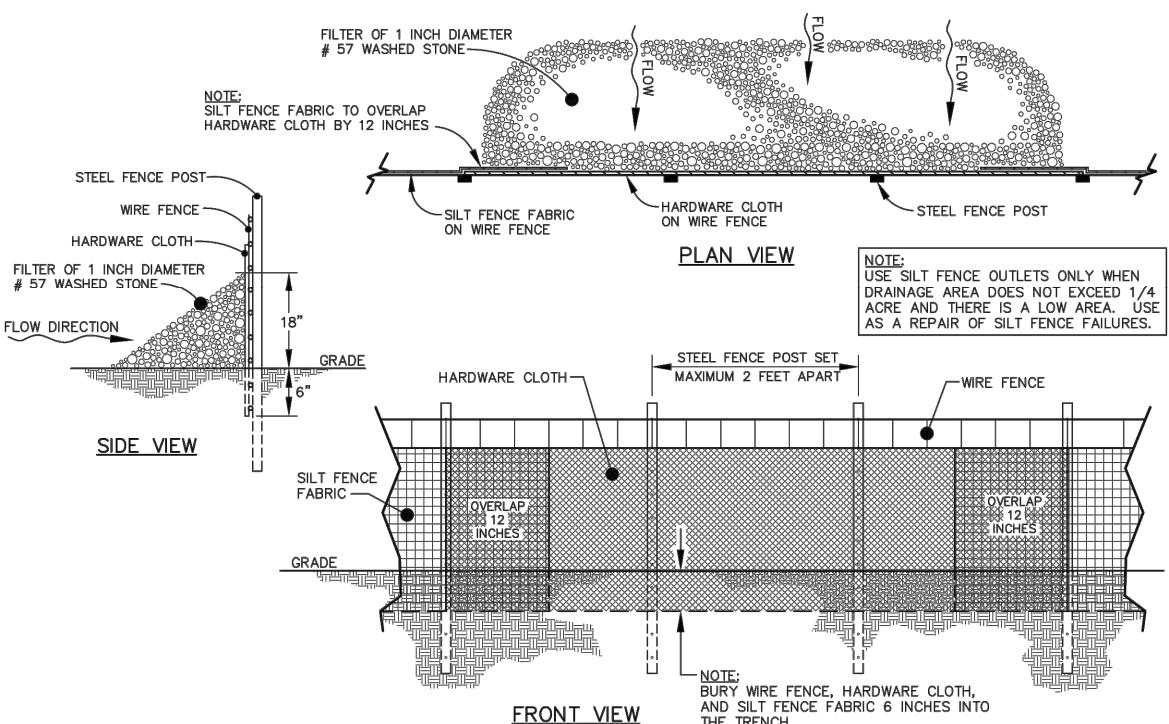
SHEET NUMBER:	REVISION:
<b>C-12C</b>	<b>12</b>
TEP #: 304265.599340	

**NOTES:**

1. FILTER FABRIC SHALL CONFORM TO THE REQUIREMENTS LISTED IN ASTM D 6461.
2. ENDS OF INDIVIDUAL FILTER FABRIC SHALL BE SECURELY FASTENED AT A SUPPORT POST WITH 4 FEET MINIMUM OVERLAP TO THE NEXT POST.
3. PLACE 12 INCHES OF FABRIC ALONG THE BOTTOM AND SIDE OF THE TRENCH.
4. INSPECT SEDIMENT FENCE(S) AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL.
5. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE.
6. AFTER CONSTRUCTION IS COMPLETE, THE CONTRACTOR SHALL REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS, BRING THE AREA TO GRADE AND PROPERLY STABILIZE THE SITE.

**SECTION A-A****SILT FENCE DETAIL**

SCALE: N.T.S.

**STANDARD SILT FENCE OUTLET DETAIL**

SCALE: N.T.S.

PLANS PREPARED FOR:

2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

PLANS PREPARED FOR:

9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

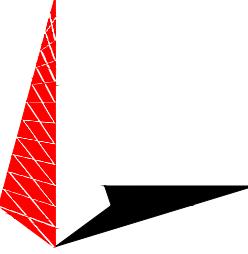
AT&amp;T SITE #: 074-4164

PEAKNET SITE NAME:

CONCORD MP

7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS

326 TRYON ROAD

RALEIGH, NC 27603

OFFICE: (919) 661-6351

www.tepgroup.net

N.C. LICENSE # C-1794

SEAL:



3	10-28-21	CONSTRUCTION
2	10-21-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: DAD CHECKED BY: JWB

SHEET TITLE:

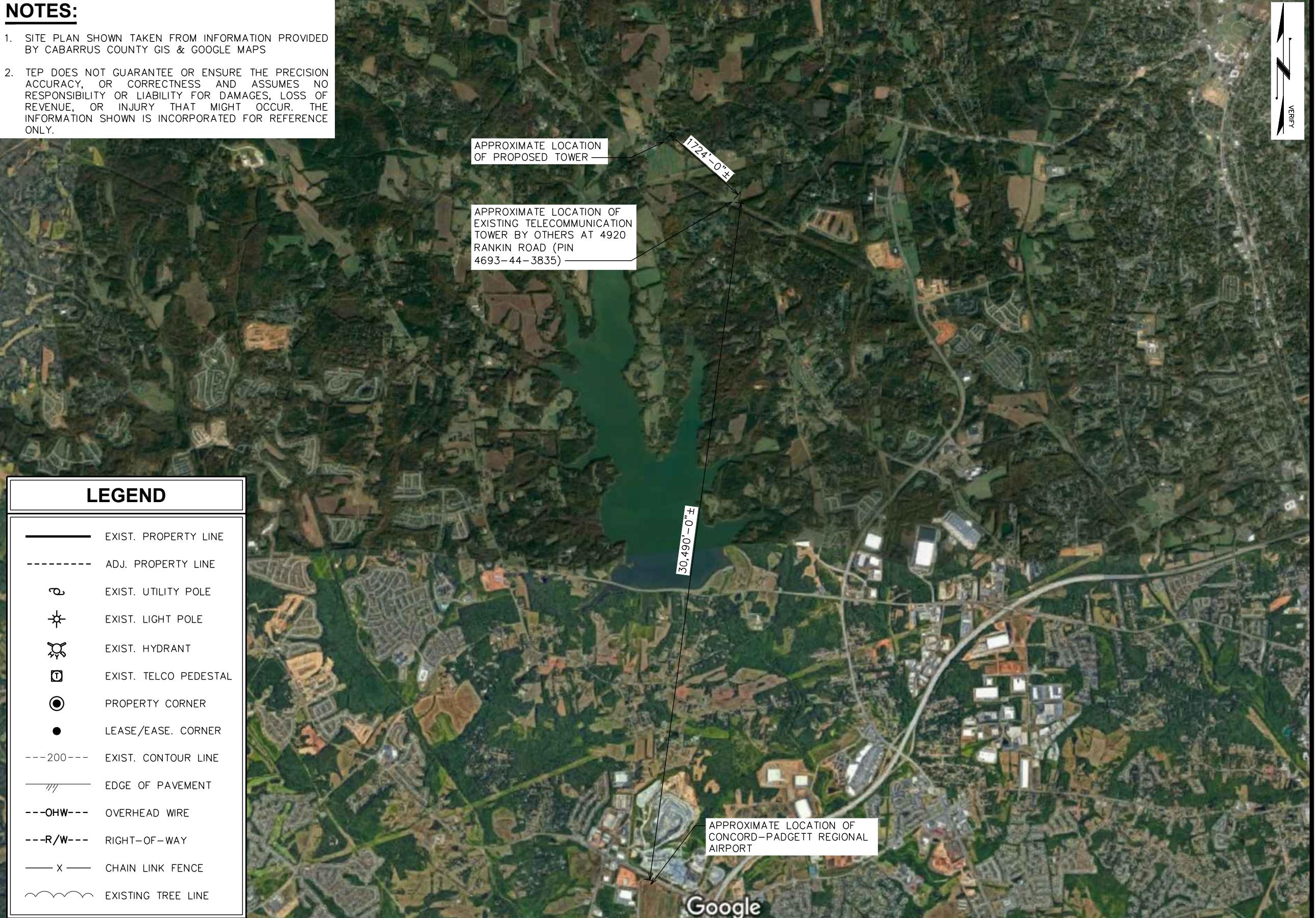
**SILT FENCE DETAILS**

SHEET NUMBER:	3	REVISION:
C-13		3

TEP #: 304265.599340

**NOTES:**

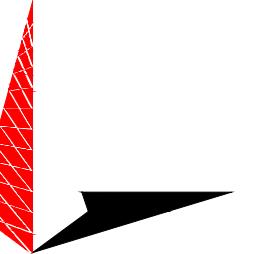
1. SITE PLAN SHOWN TAKEN FROM INFORMATION PROVIDED BY CABARRUS COUNTY GIS & GOOGLE MAPS
2. TEP DOES NOT GUARANTEE OR ENSURE THE PRECISION ACCURACY, OR CORRECTNESS AND ASSUMES NO RESPONSIBILITY OR LIABILITY FOR DAMAGES, LOSS OF REVENUE, OR INJURY THAT MIGHT OCCUR. THE INFORMATION SHOWN IS INCORPORATED FOR REFERENCE ONLY.

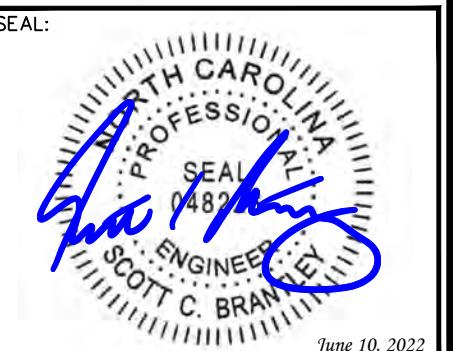


PLANS PREPARED FOR:  
**at&t**  
2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

PLANS PREPARED FOR:  
**PeakNet**  
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:  
**AT&T SITE #:** 074-4164  
**PEAKNET SITE NAME:**  
**CONCORD MP**  
7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

PLANS PREPARED BY:  
  
**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
[www.tepgroup.net](http://www.tepgroup.net)  
N.C. LICENSE # C-1794



11	06-10-22	CONSTRUCTION
10	05-11-22	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

## TOWER SEPERATION PLAN

SHEET NUMBER: **C-14** REVISION: **11**  
TEP #: 304265.599340

## TOWER SEPERATION PLAN

SCALE: 1"=5000'

0 5000 5000  
SCALE IN FEET

## PLANTING SCHEDULE

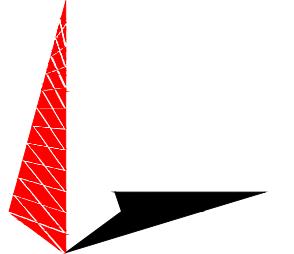
ITEM	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT @ PLANTING	HEIGHT @ Maturity	CALIPER/SPREAD	SPACING	REMARKS
<b>EVERGREEN TREE</b>								
(1)	40	(Ilex Opaca)	AMERICAN HOLLY	2'-0" (MIN)	15'-0" (MIN)	10' (MIN)	5'-0"	SHOWN AS ☀
<b>MULCH</b>								
(2)	-	-	-	-	-	-	-	APPLY 3"-4" DEEP FROM THE TRUNKLINE TO THE DRIPLINE. FOR GROUND COVER - APPLY 1"-2" DEEP.

NC GRID (RAD 83)

PLANS PREPARED FOR:  
**at&t**  
2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

PLANS PREPARED FOR:  
**PeakNet**  
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:  
**AT&T SITE #:** 074-4164  
**PEAKNET SITE NAME:**  
**CONCORD MP**  
7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

PLANS PREPARED BY:  
  
**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # C-1794



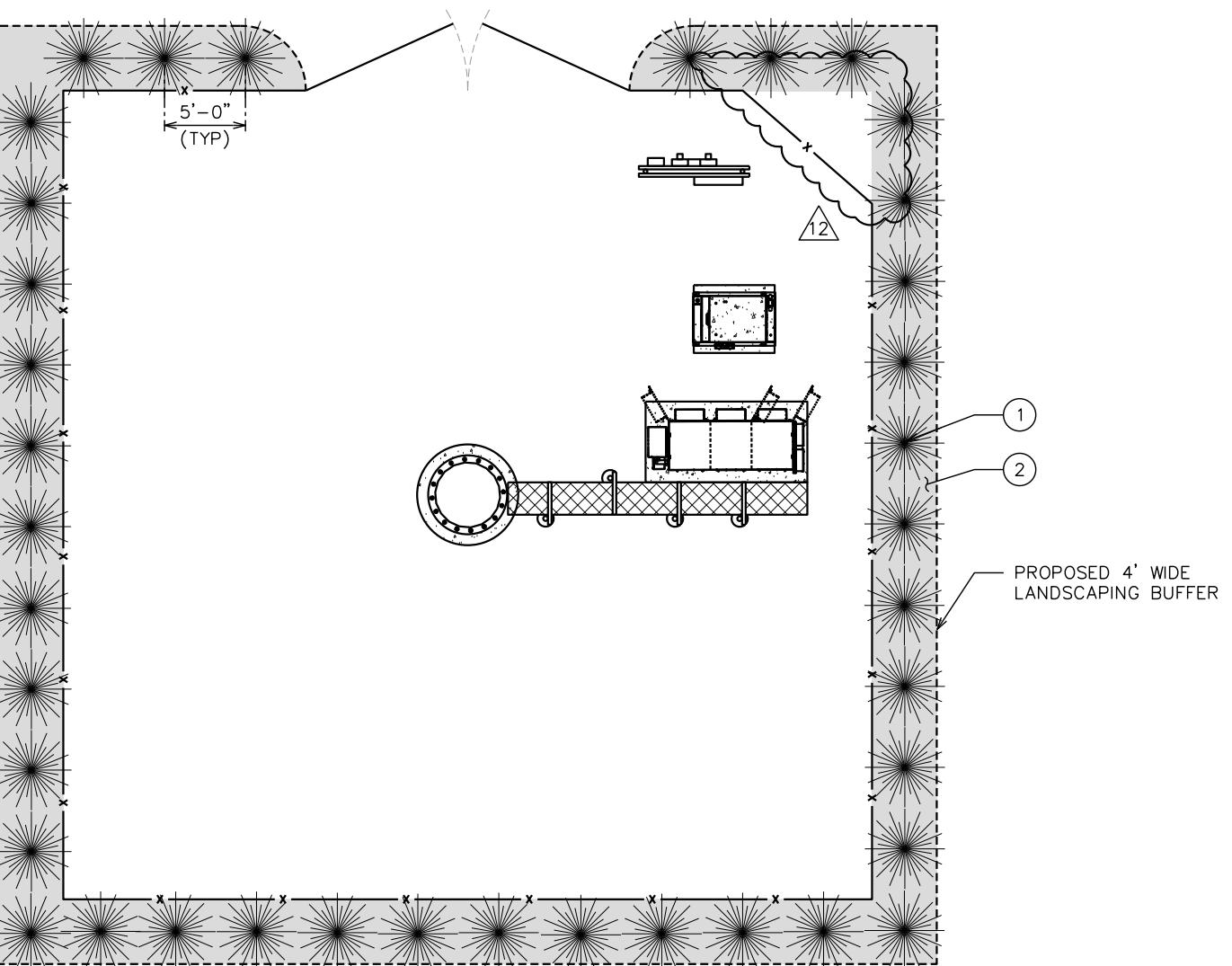
12	06-29-22	CONSTRUCTION
11	06-10-22	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:  
**LANDSCAPING PLAN**

SHEET NUMBER:	REVISION:
<b>L-1</b>	<b>12</b>

TEP #: 304265.599340



### NOTE:

PURPOSE OF THIS PLAN IS TO SUPPLEMENT EXISTING VEGETATION. DO NOT REMOVE EXISTING TREES UNAFFECTED BY COMPOUND CONSTRUCTION.

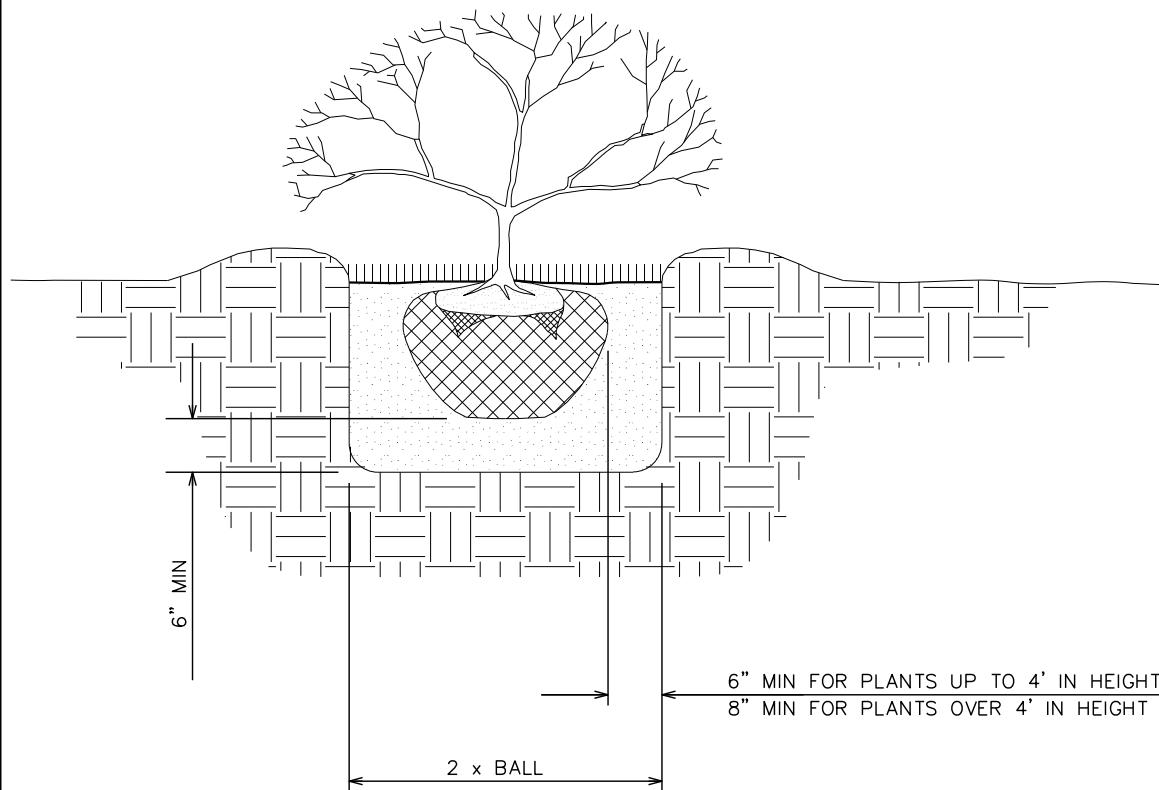
## LANDSCAPING PLAN

SCALE:  $\frac{3}{32}$ " = 1'-0"

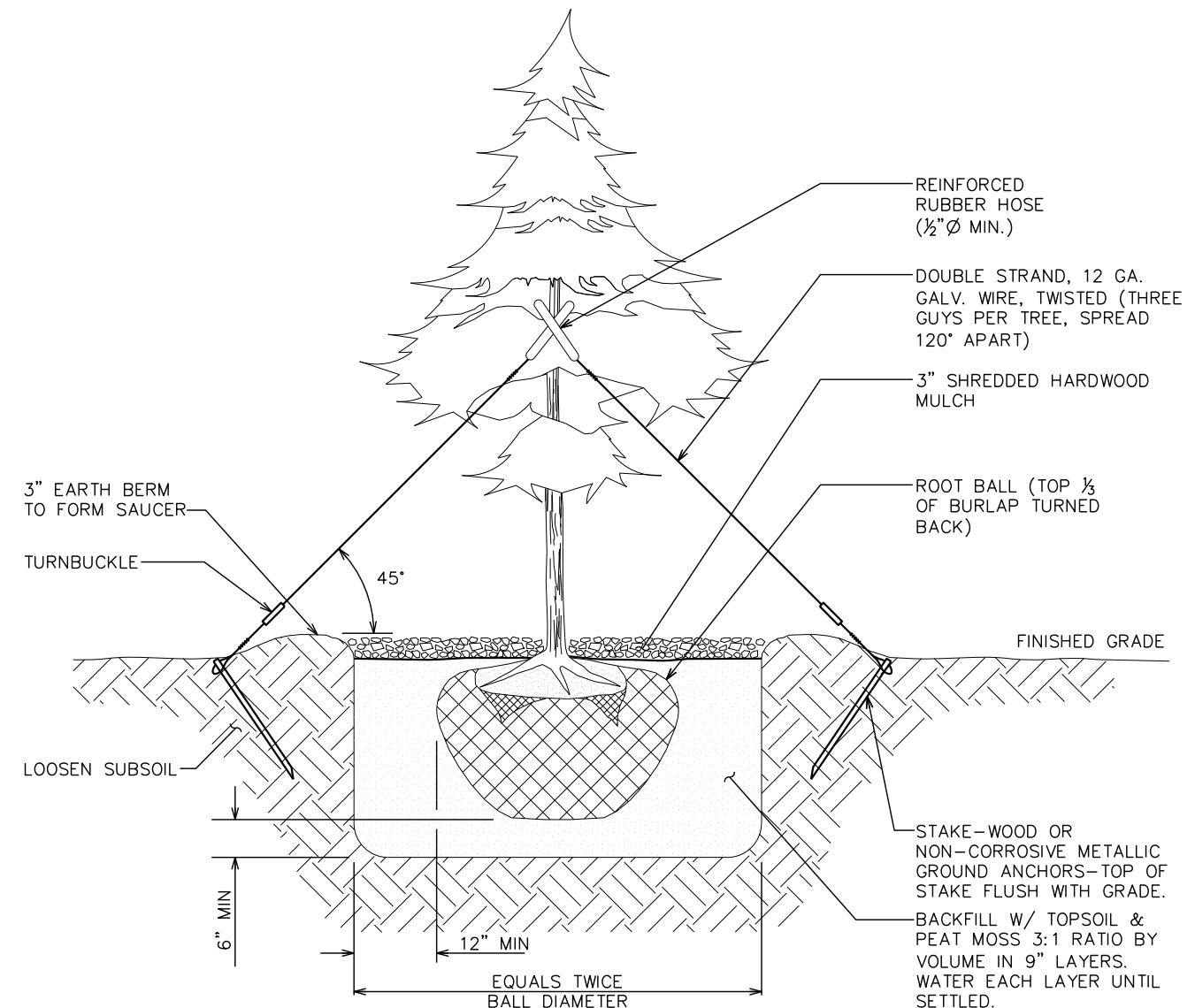
0 8 16  
SCALE IN FEET

## LANDSCAPE NOTES:

1. TOPSOIL TO BE PROVIDED BY SITE CONTRACTOR IN ROUGH GRADE TO WITHIN 1" OF FINISH GRADE.
2. EACH PLANT TO BE IN GOOD CONDITION AFTER SHEARING AND PRUNING.
3. EACH PLANT TO BE FREE FROM DISEASE, INSECT INFESTATION, AND MECHANICAL INJURIES, AND IN ALL RESPECTS BE SUITABLE FOR FIELD PLANTING.
4. ALL PLANTS TO BE FULLY GUARANTEED (LABOR AND MATERIALS) FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF INSTALLATION.
5. ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1-1973 IN REGARD TO SIZING, GROWING, AND B&B SPECIFICATIONS.
6. THE CONTRACTOR SHALL PROTECT ALL EXISTING TREES AND SHRUBS WITHIN THE CONSTRUCTION AREA IDENTIFIED AS "TO REMAIN" FROM DAMAGE BY EQUIPMENT AND CONSTRUCTION ACTIVITIES.



**SHRUB PLANTING DETAIL**



**TREE PLANTING DETAIL**

## LANDSCAPING DETAILS

SCALE: N.T.S.

PLANS PREPARED FOR:



2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

PLANS PREPARED FOR:



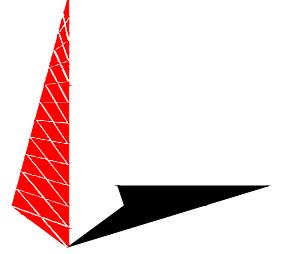
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

**AT&T SITE #: 074-4164  
PEAKNET SITE NAME:  
CONCORD MP**

7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

PLANS PREPARED BY:



**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # C-1794

SEAL:



3 10-28-21 CONSTRUCTION

2 10-21-21 PRELIMINARY

REV DATE ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

**LANDSCAPING  
DETAILS**

SHEET NUMBER: L-2 REVISION: 3

TEP #: 304265.599340

**SCOPE:**

1. PROVIDE LABOR, MATERIALS, INSPECTION, AND TESTING TO PROVIDE CODE COMPLIANCE FOR ELECTRIC, TELEPHONE, AND GROUNDING/LIGHTNING SYSTEMS.

**CODES:**

1. THE INSTALLATION SHALL COMPLY WITH APPLICABLE LAWS AND CODES. THESE INCLUDE BUT ARE NOT LIMITED TO THE LATEST ADOPTED EDITIONS OF:
 

A. THE NATIONAL ELECTRICAL SAFETY CODE	D. LOCAL AND STATE AMENDMENTS
B. THE NATIONAL ELECTRIC CODE - NFPA-70	E. THE INTERNATIONAL ELECTRIC CODE - IEC (WHERE APPLICABLE)
C. REGULATIONS OF THE SERVING UTILITY COMPANY	

2. PERMITS REQUIRED SHALL BE OBTAINED BY THE CONTRACTOR.

3. AFTER COMPLETION AND FINAL INSPECTION OF THE WORK, THE OWNER SHALL BE FURNISHED A CERTIFICATE OF COMPLETION AND APPROVAL.

**TESTING:**

1. UPON COMPLETION OF THE INSTALLATION, OPERATE AND ADJUST THE EQUIPMENT AND SYSTEMS TO MEET SPECIFIED PERFORMANCE REQUIREMENTS. THE TESTING SHALL BE DONE BY QUALIFIED PERSONNEL.

**GUARANTEE:**

1. IN ADDITION TO THE GUARANTEE OF THE EQUIPMENT BY THE MANUFACTURER, EACH PIECE OF EQUIPMENT SPECIFIED HEREIN SHALL ALSO BE GUARANTEED FOR DEFECTS OF MATERIAL OR WORKMANSHIP OCCURRING DURING A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE OF THE WORK BY THE OWNER AND WITHOUT EXPENSE TO THE OWNER.

2. THE WARRANTY CERTIFICATES & GUARANTEES FURNISHED BY THE MANUFACTURERS SHALL BE TURNED OVER TO THE OWNER.

**UTILITY CO-ORDINATION:**

1. CONTRACTOR SHALL COORDINATE WORK WITH THE POWER AND TELEPHONE COMPANIES AND SHALL COMPLY WITH THE SERVICE REQUIREMENTS OF EACH UTILITY COMPANY.

**EXAMINATION OF SITE:**

1. PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL VISIT THE SITE OF THE JOB AND SHALL FAMILIARIZE HIMSELF WITH THE CONDITIONS AFFECTING THE PROPOSED ELECTRICAL INSTALLATION AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. FAILURE TO COMPLY WITH THE INTENT OF THIS SECTION WILL IN NO WAY RELIEVE THE CONTRACTOR OF PERFORMING THE WORK NECESSARY FOR A COMPLETE AND WORKING SYSTEM OR SYSTEMS.

**CUTTING, PATCHING AND EXCAVATION:**

1. COORDINATION OF SLEEVES, CHASES, ETC., BETWEEN SUBCONTRACTORS WILL BE REQUIRED PRIOR TO THE CONSTRUCTION OF ANY PORTION OF THE WORK. CUTTING AND PATCHING OF WALLS, PARTITIONS, FLOORS, AND CHASES IN CONCRETE, WOOD, STEEL OR MASONRY SHALL BE DONE AS PROVIDED ON THE DRAWINGS.

2. NECESSARY EXCAVATIONS AND BACKFILLING INCIDENTAL TO THE ELECTRICAL WORK SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWING.

3. SEAL PENETRATIONS THROUGH RATED WALLS, FLOORS, ETC., WITH APPROVED METHOD AS LISTED BY UL.

**RACEWAYS / CONDUITS GENERAL:**

1. CONDUCTORS SHALL BE INSTALLED IN LISTED RACEWAYS. CONDUIT SHALL BE RIGID STEEL, EMT, SCH40 PVC, OR SCH80PVC AS INDICATED ON THE DRAWINGS. THE RACEWAY SYSTEM SHALL BE COMPLETE COMPLETE BEFORE INSTALLING CONDUCTORS.

2. EXTERIOR RACEWAYS AND GROUNDING SLEEVES SHALL BE SEALED AT POINTS OF ENTRANCE AND EXIT. THE RACEWAY SYSTEM SHALL BE BONDED PER NEC.

**EXTERIOR CONDUIT:**

1. EXPOSED CONDUIT SHALL BE NEATLY INSTALLED AND RUN PARALLEL OR PERPENDICULAR TO STRUCTURAL ELEMENTS. SUPPORTS AND MOUNTING HARDWARE SHALL BE HOT DIPPED GALVANIZED STEEL.
2. THE CONDUIT SHALL BE RIGID STEEL AT GRADE TRANSITIONS OR WHERE EXPOSED TO DAMAGE.
3. UNDERGROUND CONDUITS SHALL BE RIGID STEEL, SCH40 PVC, OR SCH80 PVC AS INDICATED ON THE DRAWINGS.
4. BURIAL DEPTH OF CONDUITS SHALL BE AS REQUIRED BY CODE FOR EACH SPECIFIC CONDUIT TYPE AND APPLICATION, BUT SHALL NOT BE LESS THAN THE FROST DEPTH AT THE SITE.
5. CONDUIT ROUTES ARE SCHEMATIC. CONTRACTOR SHALL FIELD VERIFY ROUTES BEFORE BID. COORDINATE ROUTE WITH WIRELESS CARRIER AND/OR BUILDING OWNER.

**INTERIOR CONDUIT:**

1. CONCEALED CONDUIT IN WALLS OR INTERIOR SPACES ABOVE GRADE MAY BE EMT OR PVC.
2. CONDUIT RUNS SHALL USE APPROVED COUPLINGS AND CONNECTORS. PROVIDE INSULATED BUSHING FOR ALL CONDUIT TERMINATIONS. CONDUIT RUNS IN A WET LOCATION SHALL HAVE WATERPROOF FITTINGS.
3. PROVIDE SUPPORTS FOR CONDUITS IN ACCORDANCE WITH NEC REQUIREMENTS. CONDUITS SHALL BE SIZED AS REQUIRED BY NEC.

**EQUIPMENT:**

1. DISCONNECT SWITCHES SHALL BE SERVICE ENTRANCE RATED, HEAVY DUTY TYPE.
2. CONTRACTOR SHALL VERIFY MAXIMUM AVAILABLE FAULT CURRENT AND COORDINATE INSTALLATION WITH THE LOCAL UTILITY BEFORE STARTING WORK. CONTRACTOR WILL VERIFY THAT EXISTING CIRCUIT BREAKERS ARE RATED FOR MORE THAN AVAILABLE FAULT CURRENT AND REPLACE AS NECESSARY.
3. NEW CIRCUIT BREAKERS SHALL BE RATED TO WITHSTAND THE MAXIMUM AVAILABLE FAULT CURRENT AS DETERMINED BY THE LOCAL UTILITY.

**CONDUCTORS:**

1. FURNISH AND INSTALL CONDUCTORS SPECIFIED IN THE DRAWINGS. CONDUCTORS SHALL BE COPPER AND SHALL HAVE TYPE THWN (MIN) (75° C) INSULATION, RATED FOR 600 VOLTS.
2. THE USE OF ALUMINUM CONDUCTORS SHALL BE LIMITED TO THE SERVICE FEEDERS INSTALLED BY THE UTILITY.
3. CONDUCTORS SHALL BE PROVIDED AND INSTALLED AS FOLLOWS:

- A. MINIMUM WIRE SIZE SHALL BE #12 AWG.
- B. CONDUCTORS SIZE #8 AND LARGER SHALL BE STRANDED. CONDUCTORS SIZED #10 AND #12 MAY BE SOLID OR STRANDED.
- C. CONNECTION FOR #10 AWG #12 AWG SHALL BE BY TWISTING TIGHT AND INSTALLING INSULATED PRESSURE OR WIRE NUT CONNECTIONS.
- D. CONNECTION FOR #8 AWG AND LARGER SHALL BE BY USE OF STEEL CRIMP-ON SLEEVES WITH NYLON INSULATOR.

3. CONDUCTORS SHALL BE COLOR CODED IN ACCORDANCE WITH NEC STANDARDS.

**UL COMPLIANCE:**

1. ELECTRICAL MATERIALS, DEVICES, CONDUCTORS, APPLIANCES, AND EQUIPMENT SHALL BE LABELED/LISTED BY UL OR ACCEPTED BY JURISDICTION (I.E., LOCAL COUNTY OR STATE) APPROVED THIRD PARTY TESTING AGENCY.

**GROUNDING:**

1. ELECTRICAL NEUTRALS, RACEWAYS AND NON-CURRENT CARRYING PARTS OF ELECTRICAL EQUIPMENT AND ASSOCIATED ENCLOSURES SHALL BE GROUNDED IN ACCORDANCE WITH NEC ARTICLE 250. THIS SHALL INCLUDE NEUTRAL CONDUCTORS, CONDUITS, SUPPORTS, CABINETS, BOXES, GROUND BUSSES, ETC. THE NEUTRAL CONDUCTOR FOR EACH SYSTEM SHALL BE GROUNDED AT A SINGLE POINT.
2. PROVIDE GROUND CONDUCTOR IN RACEWAYS PER NEC.
3. PROVIDE BONDING AND GROUND TO MEET NFPA 780 - "LIGHTNING PROTECTION" AS A MINIMUM.
4. PROVIDE GROUNDING SYSTEM AS INDICATED ON THE DRAWINGS, AS REQUIRED BY THE NATIONAL ELECTRIC CODE, RADIO EQUIPMENT MANUFACTURERS, AND MOTOROLA R56 (AS APPLICABLE).

**ABBREVIATIONS AND LEGEND**

A	- AMPERE	PNLBD	- PANELBOARD
AFG	- ABOVE FINISHED GRADE	PVC	- RIGID NON-METALLIC CONDUIT
ATS	- AUTOMATIC TRANSFER SWITCH	RGS	- RIGID GALVANIZED STEEL CONDUIT
AWG	- AMERICAN WIRE GAUGE	SW	- SWITCH
BCW	- BARE COPPER WIRE	TGB	- TOWER GROUND BAR
BFG	- BELOW FINISHED GRADE	UL	- UNDERWRITERS LABORATORIES
BKR	- BREAKER	V	- VOLTAGE
C	- CONDUIT	W	- WATTS
CKT	- CIRCUIT	XFMR	- TRANSFORMER
DISC	- DISCONNECT	XMTR	- TRANSMITTER
EGR	- EXTERNAL GROUND RING		
EMT	- ELECTRIC METALLIC TUBING		
FSC	- FLEXIBLE STEEL CONDUIT		
GEN	- GENERATOR		
GPS	- GLOBAL POSITIONING SYSTEM		
GRD	- GROUND		
IGB	- ISOLATED GROUND BAR		
IGR	- INTERIOR GROUND RING (HALO)		
KW	- KILOWATTS		
NEC	- NATIONAL ELECTRIC CODE		
PCS	- PERSONAL COMMUNICATION SYSTEM		
PH	- PHASE		
PNL	- PANEL		
-----E----- UNDERGROUND ELECTRICAL CONDUIT			
-----T----- UNDERGROUND TELEPHONE CONDUIT			
□ KILOWATT-HOUR METER			
----- G ----- UNDERGROUND BONDING AND GROUNDING CONDUCTOR.			
Ø GROUND ROD			
● CADWELD			
☒ GROUND ROD WITH INSPECTION WELL			

PLANS PREPARED FOR:

2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

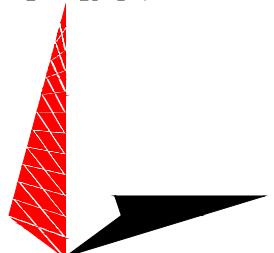
PLANS PREPARED FOR:

9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

AT&T SITE #: 074-4164  
PEAKNET SITE NAME:  
CONCORD MP7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C LICENSE # C-1794

SEAL:



October 28, 2021

3	10-28-21	CONSTRUCTION
2	10-21-21	PRELIMINARY

REV DATE ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

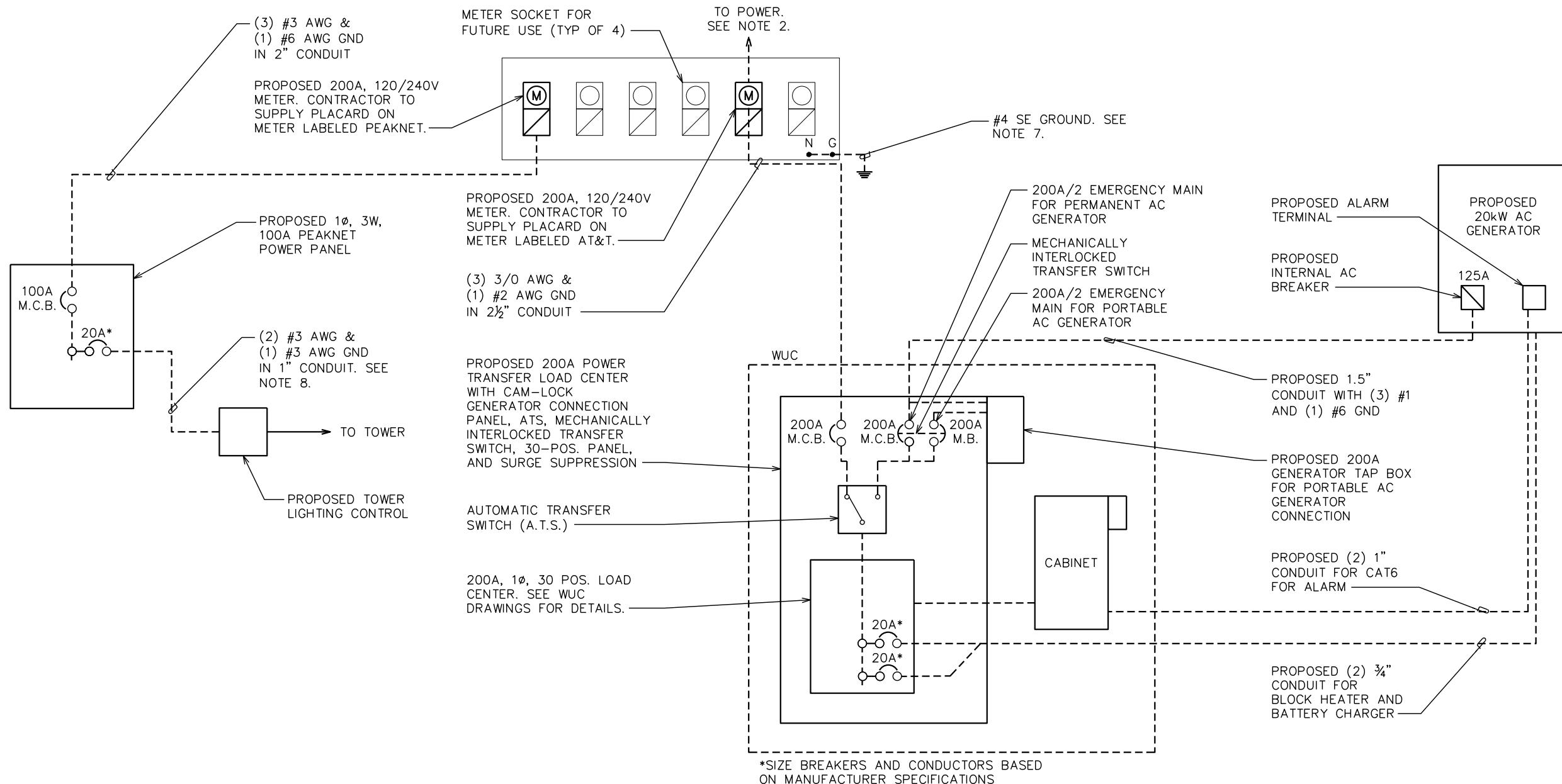
ELECTRICAL  
NOTES

SHEET NUMBER: E-1 REVISION: 3

TEP #: 304265.599340

## GENERAL NOTES:

1. CONTRACTOR SHALL VERIFY AVAILABLE FAULT CURRENT WITH POWER COMPANY AND ENSURE ALL ELECTRICAL EQUIPMENT IS SUITABLE FOR AVAILABLE FAULT CURRENT.
2. CONTRACTOR SHALL COORDINATE UTILITY SERVICES WITH LOCAL UTILITY COMPANIES. VERIFY ALL REQUIREMENTS WITH UTILITY COMPANY STANDARDS.
3. ONE-LINE DIAGRAM IS FOR SCHEMATIC PURPOSES ONLY AND IS NOT INDICATIVE OF THE ACTUAL EQUIPMENT LAYOUT.
4. CONTRACTOR SHALL LABEL METER SOCKET WITH SERVICE OWNER NAMEPLATE WITH  $\frac{1}{2}$ " HEIGHT MINIMUM LETTERS.
5. ALL EQUIPMENT WILL HAVE A MINIMUM AIC OF 10 KA. CONTRACTOR TO DETERMINE AVAILABLE FAULT CURRENT BEFORE ENERGIZING EQUIPMENT. THE AMOUNT OF AVAILABLE FAULT CURRENT SHALL BE MARKED ON THE SERVICE EQUIPMENT PER NEC 110.24.
6. CONTRACTOR WILL NOTIFY UTILITY COMPANY OF CHANGES IN ELECTRICAL LOAD.
7. GROUNDING ELECTRODE CONDUCTOR IS SIZED FOR SINGLE 200A SERVICE ONLY. IF METER BANK SHARES A COMMON NEUTRAL/GROUND POINT, CONTRACTOR WILL INSTALL (1) 3/0 COPPER GEC INSTEAD.
8. CONTRACTOR TO VERIFY TOWER LIGHTING BREAKER, SIZE, CONDUCTOR SIZE, & POWER DRAW WITH TOWER LIGHTING MANUFACTURER BEFORE BEGINNING WORK OR ORDERING PARTS.



## ONE-LINE DIAGRAM NOTES:

1. ELECTRICAL SERVICE SHALL BE 200A, 120/240V, 1 $\phi$ , 3W.
2. FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT, REFER TO VENDOR PRINTS PROVIDED BY EQUIPMENT MANUFACTURER.
3. CONDUCTOR SIZES BASED ON TYPICAL CONFIGURATIONS. CONTRACTOR WILL VERIFY WITH MANUFACTURER SPECIFICATIONS BEFORE ORDERING OR INSTALLING PARTS.

PLANS PREPARED FOR:



2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

PLANS PREPARED FOR:



9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

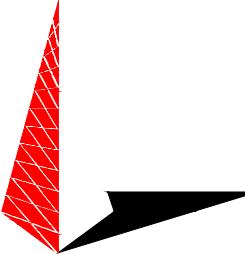
**AT&T SITE #: 074-4164**

**PEAKNET SITE NAME:**

**CONCORD MP**

7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

PLANS PREPARED BY:



**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # C-1794

SEAL:



April 11, 2022

9	04-11-22	CONSTRUCTION
8	03-29-22	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

## ONE-LINE DIAGRAM

SHEET NUMBER:	REVISION:
<b>E-2A</b>	<b>9</b>

TEP #: 304265.599340

## ONE-LINE DIAGRAM

SCALE: N.T.S.

PROPOSED 100A 120/240V PEAKNET POWER PANEL										
LOAD SERVED	VOLT AMPERES (WATTS)		TRIP	CKT #	PHASE	CKT #	TRIP	VOLT AMPERES (WATTS)		LOAD SERVED
	L1	L2						L1	L2	
TOWER LIGHTS	600*		20*	1	A	2	—	—	—	SPARE
SPARE	—	—	—	3	B	4	—	—	—	SPARE
SPARE	—	—	—	5	A	6	—	—	—	SPARE
SPARE	—	—	—	7	B	8	—	—	—	SPARE
VOLT AMPS	600	0						—	—	VOLT AMPS
L1 VOLT AMPERES				600	0	L2 VOLT AMPERES				
					600					
					5.0	TOTAL VOLT AMPERES				
					6.25	TOTAL AMPS				
					6.88	AMPS X 125%				
						X 110% FOR MAIN				

\*BREAKER SIZES & LOADS ARE BASED ON TYPICAL CONFIGURATIONS, CONTRACTOR WILL VERIFY WITH MANUFACTURER SPECIFICATIONS BEFORE ORDERING OR INSTALLING PARTS.

PROPOSED 200A, 120/240VAC AT&T INTERSECT PANEL										
LOAD SERVED	VOLT AMPERES (WATTS)		TRIP	CKT #	PHASE	CKT #	TRIP	VOLT AMPERES (WATTS)		LOAD SERVED
	L1	L2						L1	L2	
EMERSON 521	9600		100A	1	A	2	20A	180	—	GFCI OUTLET
	9600			3	B	4	15A	—	1440*	BATTERY COMPARTMENT HEATER MATS
—	—	—	—	5	A	6	20A	1220*	—	GEN. BATTERY CHARGER
—	—	—	—	7	B	8	20A	—	1000*	GEN. BLOCK HEATER
—	—	—	—	9	A	10	—	—	—	—
—	—	—	—	11	B	12	—	—	—	—
—	—	—	—	13	A	14	—	—	—	—
—	—	—	—	15	B	16	—	—	—	—
—	—	—	—	17	A	18	—	—	—	—
—	—	—	—	19	B	20	—	—	—	—
—	—	—	—	21	A	22	—	—	—	—
—	—	—	—	23	B	24	—	—	—	—
—	—	—	—	25	A	26	—	—	—	—
—	—	—	—	27	B	28	—	—	—	—
—	—	—	—	29	A	30	—	—	—	—
VOLT AMPS	9600	9600						1400	2440	VOLT AMPS
L1 VOLT AMPERES				11000	12040	L2 VOLT AMPERES				
L1 AMPS				91.7	100.3	L2 AMPS				
					100.3	MAX AMPS				
					125.4	AMPS X 125%				

\* THESE LOADS ARE NOT ACTIVE WHEN THE GENERATOR IS RUNNING

## PANEL SCHEDULES

SCALE: N.T.S.

PLANS PREPARED FOR:



2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

PLANS PREPARED FOR:



9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

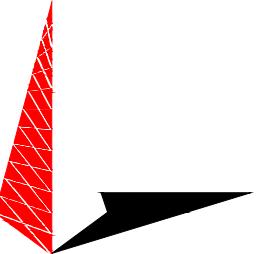
AT&T SITE #: 074-4164

PEAKNET SITE NAME:

CONCORD MP

7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # C-1794

SEAL:



April 11, 2022

9 04-11-22 CONSTRUCTION

8 03-29-22 CONSTRUCTION

REV DATE ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

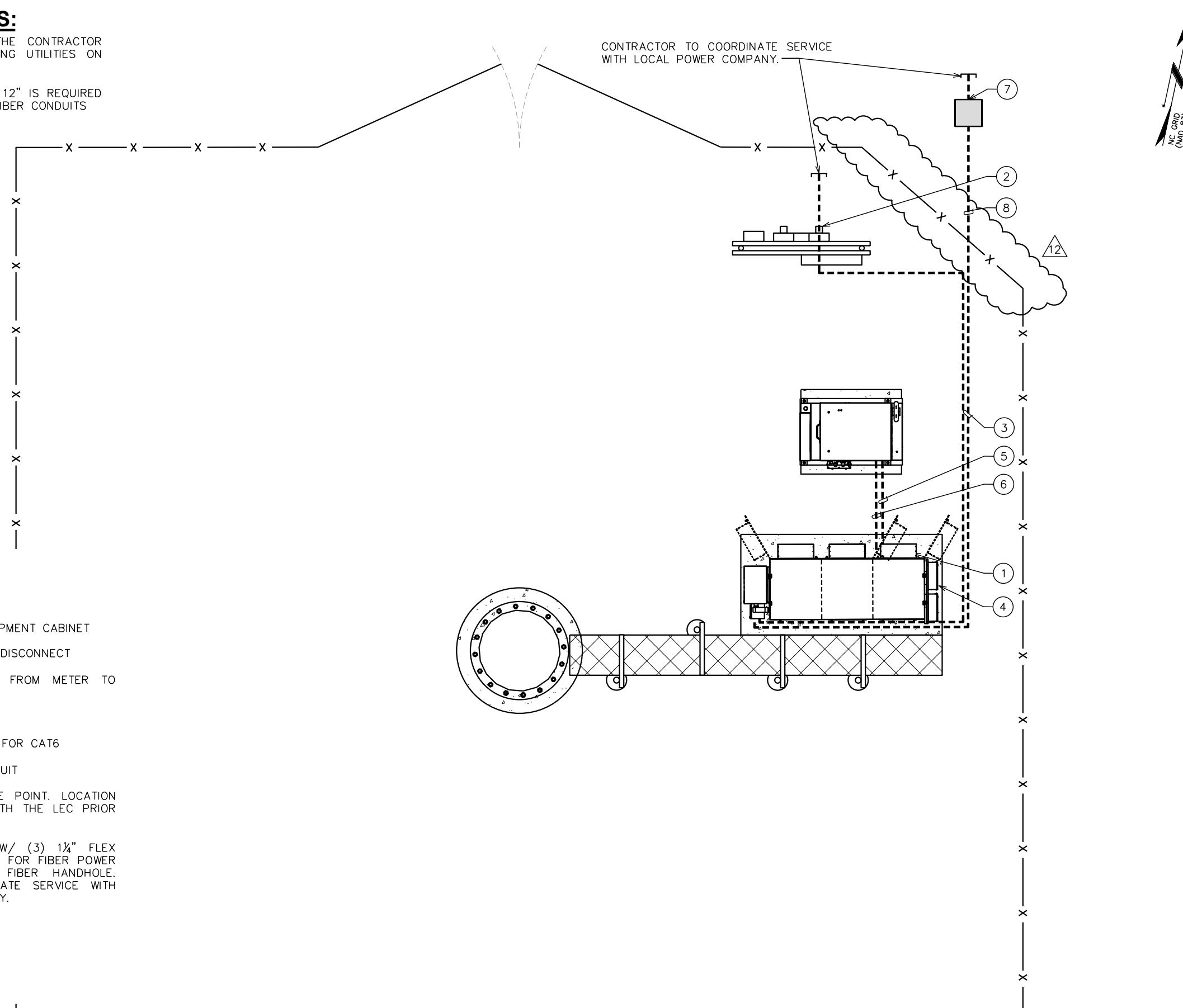
PANEL  
SCHEDULES

SHEET NUMBER: E-2B REVISION: 9

TEP #: 304265.599340

## TRENCHING NOTES:

- PRIOR TO ANY DIGGING, THE CONTRACTOR SHALL IDENTIFY ALL EXISTING UTILITIES ON SITE.
- A MINIMUM SEPARATION OF 12" IS REQUIRED BETWEEN THE POWER AND FIBER CONDUITS



## PLAN NOTES:

- PROPOSED AT&T WUC EQUIPMENT CABINET
- PROPOSED 200A METER & DISCONNECT
- (1) 2½" POWER CONDUIT FROM METER TO 200A LOAD CENTER
- 200A LOAD CENTER
- PROPOSED (2) 1" CONDUIT FOR CAT6
- PROPOSED 2" POWER CONDUIT
- PROPOSED FIBER MEET-ME POINT. LOCATION IS TO BE ESTABLISHED WITH THE LEC PRIOR TO INSTALLATION
- (1) 4" TELCO CONDUIT W/ (3) 1¼" FLEX INTERDUCT & PULL STRING FOR FIBER POWER LEADS STUBBED UP IN FIBER HANDHOLE. CONTRACTOR TO COORDINATE SERVICE WITH LOCAL TELEPHONE COMPANY.

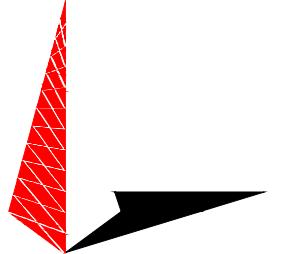
## SERVICE ROUTING PLAN

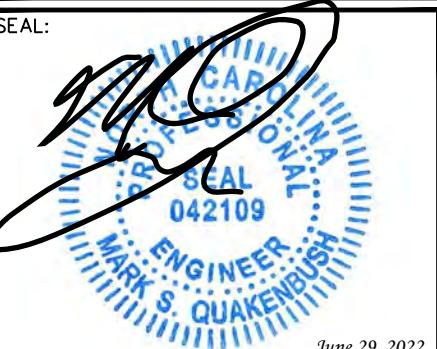
SCALE:  $\frac{3}{16}$ " = 1'-0"

PLANS PREPARED FOR:  
**at&t**  
2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

PLANS PREPARED FOR:  
**PeakNet**  
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:  
**AT&T SITE #:** 074-4164  
**PEAKNET SITE NAME:**  
**CONCORD MP**  
7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

PLANS PREPARED BY:  
  
**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # C-1794



June 29, 2022

12	06-29-22	CONSTRUCTION
11	06-10-22	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

## SERVICE ROUTING PLAN

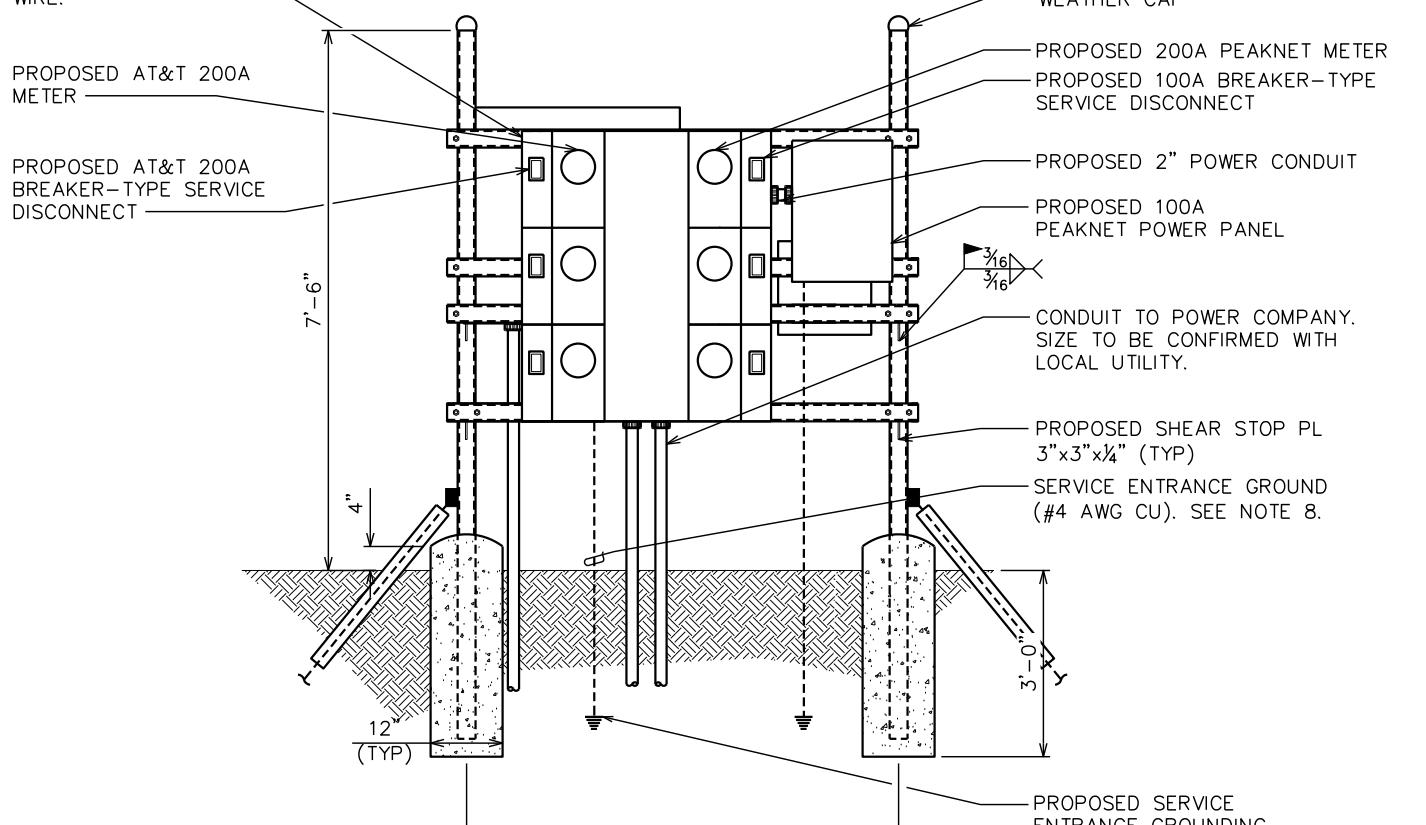
SHEET NUMBER:	REVISION:
<b>E-3</b>	<b>12</b>

TEP #: 304265.599340

## NOTES:

- ① WATT-HOUR SOCKETS/SERVICE DISCONNECT MEANS. UTILITY COMPANY TO PROVIDE METERS. PROVIDE IN ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS.
- ② ALL NEW STRUCTURAL STEEL SHALL BE HOT DIP GALVANIZED IN ACCORDANCE WITH ASTM A123 G90 AFTER FABRICATION.
- ③ FIELD ABRASIONS SHALL BE TOUCH UP PAINTED WITH ZINC RICH GALVANIZING REPAIR IN ACCORDANCE WITH ASTM A780.
- ④ ALL EXPOSED ENDS OF CONDUIT SHALL HAVE WEATHERPROOF CAPS.
- ⑤ PROVIDE 200LB. TEST PULL WIRES IN EACH TELEPHONE AND POWER CONDUIT. STUB CONDUITS INTO ENCLOSURE AND LABEL.
- ⑥ THE POWER COMPANY SHALL TERMINATE THE POWER CABLES (SUPPLIED AND INSTALLED BY THE POWER COMPANY) AT THE UTILITY METERS LOCATED ON THE EQUIPMENT RACK.
- ⑦ CONTRACTOR TO VERIFY RACK DIMENSIONS AND STRUT SPACING RELATIVE TO METER BASE MODEL NUMBER.
- ⑧ GROUNDING ELECTRODE CONDUCTOR IS SIZED FOR SINGLE 100A SERVICE ONLY. IF METER BANK SHARES A COMMON NEUTRAL/GROUND POINT, CONTRACTOR WILL INSTALL (1) 3/0 COPPER GEC INSTEAD.

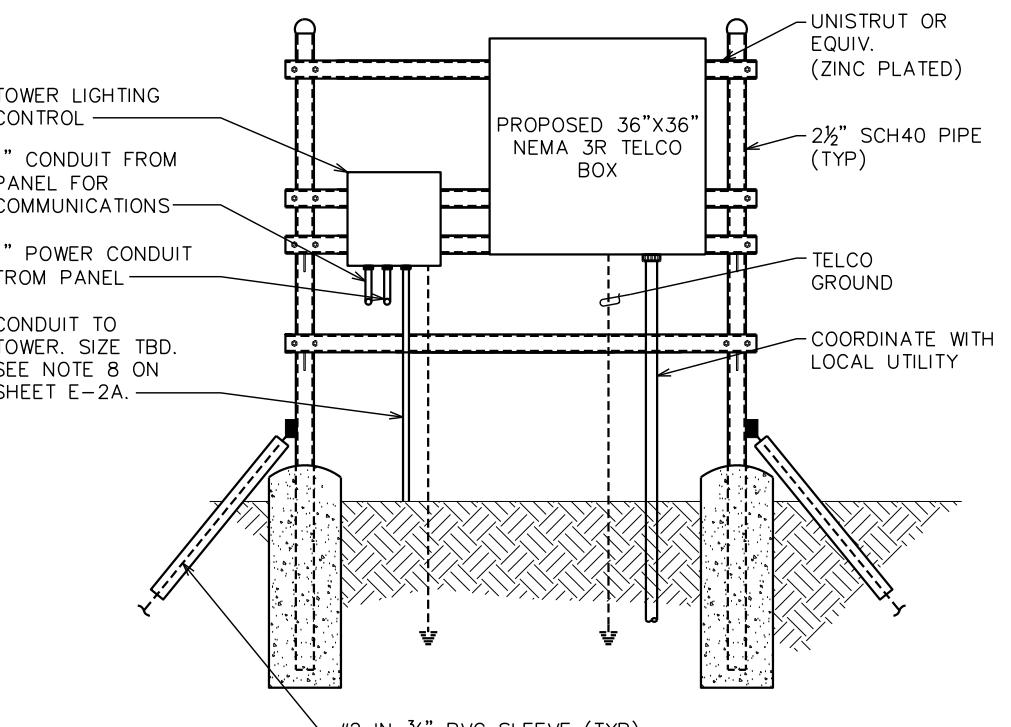
PROPOSED 6-GANG METER RACK. 120/240V, 1Ø, 3 WIRE.



**SERVICE RACK - FRONT**

## SERVICE RACK DETAIL

SCALE: N.T.S.



**SERVICE RACK - REAR**

PLANS PREPARED FOR:



2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

PLANS PREPARED FOR:

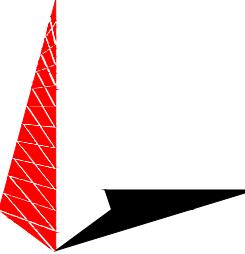


9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:  
**AT&T SITE #:** 074-4164  
**PEAKNET SITE NAME:**  
**CONCORD MP**

7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

PLANS PREPARED BY:



**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # C-1794

SEAL:



October 28, 2021

3	10-28-21	CONSTRUCTION
2	10-21-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

## SERVICE RACK DETAILS

SHEET NUMBER:	REVISION:
<b>E-4</b>	<b>3</b>

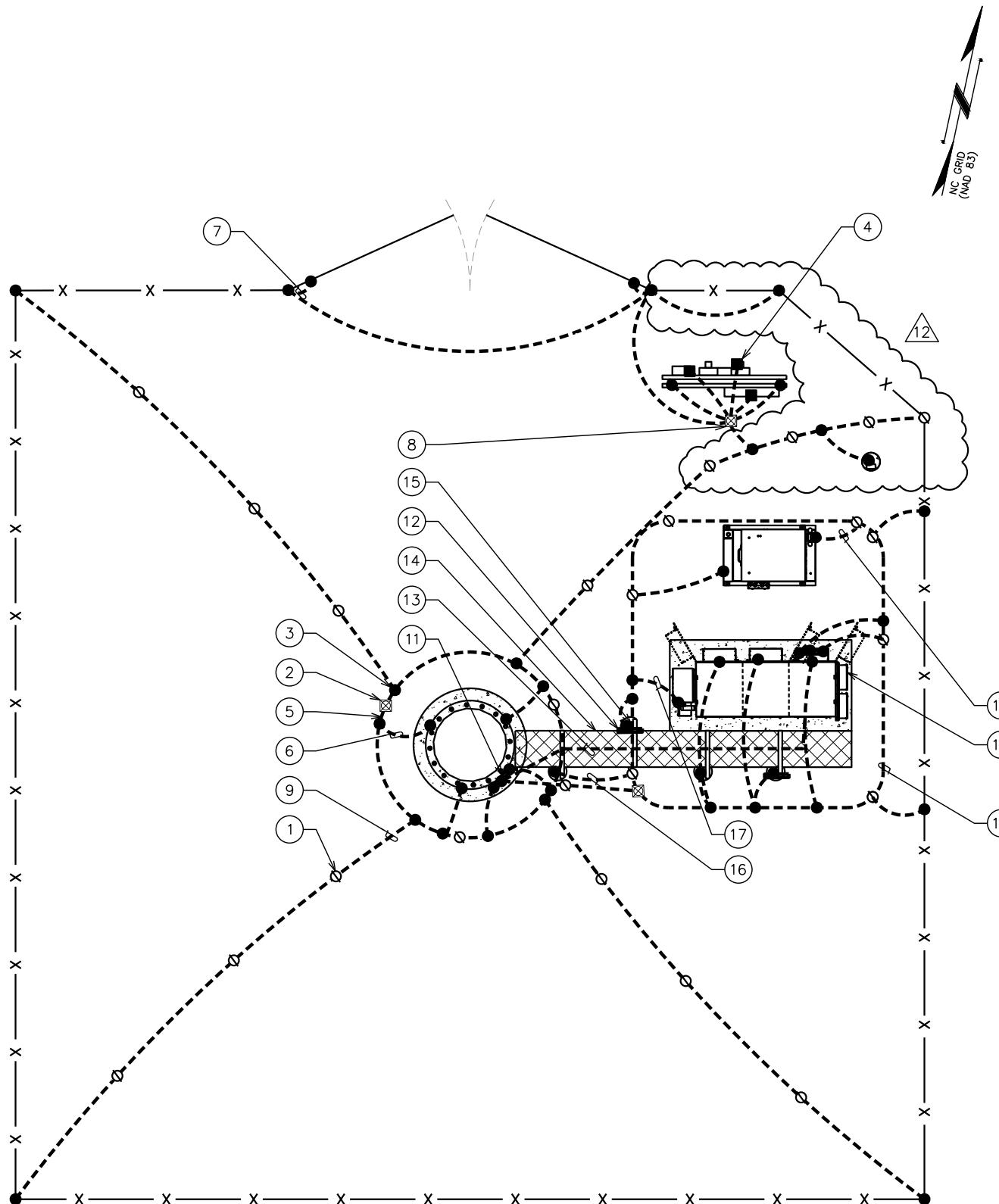
TEP #: 304265.599340

## GROUNDING NOTES:

1. CONTRACTOR SHALL VERIFY THAT GROUNDING ELECTRODES SHALL BE CONNECTED IN A RING USING #2 AWG BARE TINNED COPPER WIRE. THE TOP OF THE GROUND RODS AND THE RING CONDUCTOR SHALL BE 30 INCHES BELOW FINISHED GRADE. GROUNDING ELECTRODES SHALL BE DRIVEN ON 10'-0" CENTERS (PROVIDE AND INSTALL AS REQUIRED. REQUIRED PER PLAN BELOW).
2. BONDING OF THE GROUNDED CONDUCTOR (NEUTRAL) AND THE GROUNDING CONDUCTOR SHALL BE AT THE SERVICE DISCONNECTING MEANS. BONDING JUMPER SHALL BE INSTALLED PER N.E.C. ARTICLE 250.30.
3. GROUND RING CONNECTION CONDUCTORS SHALL BE OF EQUAL LENGTH, MATERIAL, AND BONDING TECHNIQUE.
4. CONTRACTOR SHALL ENSURE GROUND RING IS WITHIN 12 TO 36 INCHES OF THE EQUIPMENT PAD, FENCE, OR TOWER FOUNDATION. PROVIDE AND INSTALL GROUNDING CONNECTIONS SHOWN BELOW AS NEEDED PER EXISTING SITE GROUNDING SYSTEM. CONTRACTOR SHALL VERIFY EXISTING SITE GROUNDING CONDITIONS BEFORE STARTING WORK OR PURCHASING EQUIPMENT.
5. BOND GROUND BAR TO EXTERNAL GROUND RING WITH 1 RUN OF #2 BARE, TINNED, SOLID COPPER CONDUCTOR IN PVC. CONNECT BAR END WITH 2 HOLE LUG, AND "CADWELD" THE OTHER END TO THE EXTERNAL GROUND ROD.
6. ALL DOWN CONDUCTORS MUST GO DOWN.
7. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER WHEN THE GROUNDING SYSTEM IS COMPLETE. THE CONSTRUCTION MANAGER SHALL INSPECT THE GROUNDING SYSTEM PRIOR TO BACKFILLING.

## DRAWING NOTES:

- 1 GROUND ROD  $\frac{5}{8}$ "x10' LONG (TYP)
- 2 GROUND ROD WITH INSPECTION WELL (TYP)
- 3 CADWELD (TYP)
- 4 2-HOLE LUG MECHANICAL CONNECTION (TYP)
- 5 PROPOSED TOWER GROUND RING
- 6 GROUND LEAD FROM TOWER TO TOWER GROUND RING (TYP)
- 7 GATE POST GROUNDING (TYP)
- 8 PROPOSED SERVICE ENTRANCE GROUNDING ELECTRODE
- 9 #2 GROUND LEAD FROM TOWER GROUND RING TO FENCE POST (TYP)
- 10 #2 AWG BARE SOLID BARE TINNED COPPER WIRE GROUND RING (SHELTER)
- 11 PROPOSED BOTTOM TOWER BUS BAR
- 12 PROPOSED ICE BRIDGE BUS BAR
- 13 #2 AWG BARE SOLID TINNED COPPER WIRE BETWEEN BUS BARS
- 14 PROPOSED ICE BRIDGE
- 15 PROPOSED ICE BRIDGE POST (TYP)
- 16 #2 AWG ICE BRIDGE BOND BURIED 30" BFG (TYP)
- 17 HVAC GROUND (TYP). MECHANICAL CONNECTIONS AT HVAC UNITS ABOVE GRADE AS ALLOWED BY CODE.
- 18 PROPOSED AT&T WUC EQUIPMENT SHELTER
- 19 #2 AWG BOND BETWEEN GENERATOR AND GROUND RING



## TOWER GROUNDING PLAN

SCALE:  $\frac{1}{8}$ " = 1'-0"

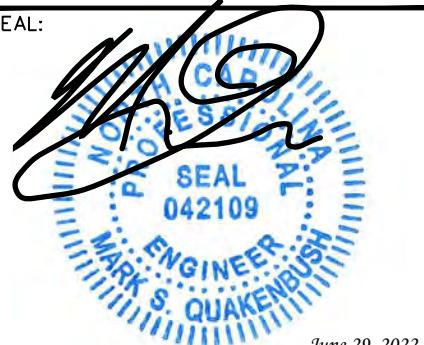
0 8 16  
SCALE IN FEET

PLANS PREPARED FOR:  
**at&t**  
2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

PLANS PREPARED FOR:  
**PeakNet**  
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:  
**AT&T SITE #:** 074-4164  
**PEAKNET SITE NAME:**  
**CONCORD MP**  
7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

PLANS PREPARED BY:  
  
**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # C-1794



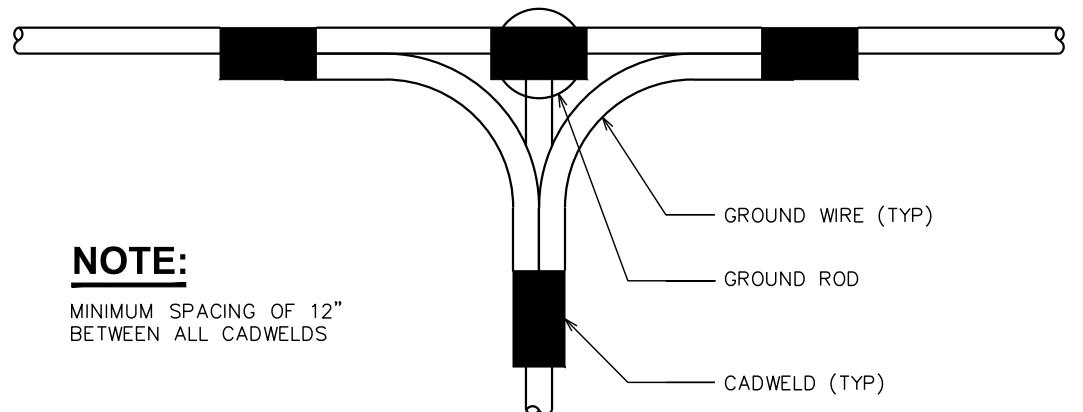
12	06-29-22	CONSTRUCTION
11	06-10-22	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

## GROUNDING PLAN

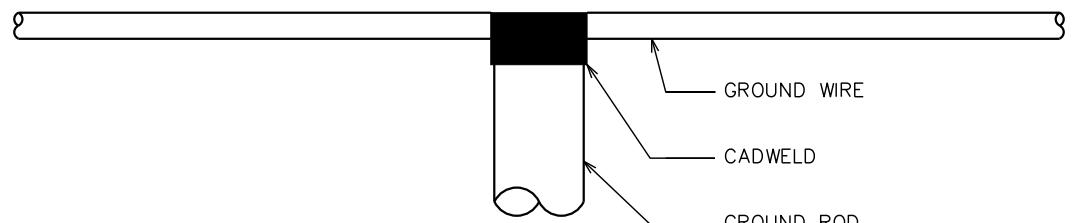
SHEET NUMBER:	REVISION:
<b>E-5</b>	<b>12</b>
TEP #: 304265.599340	



**NOTE:**

MINIMUM SPACING OF 12"  
BETWEEN ALL CADWELDS

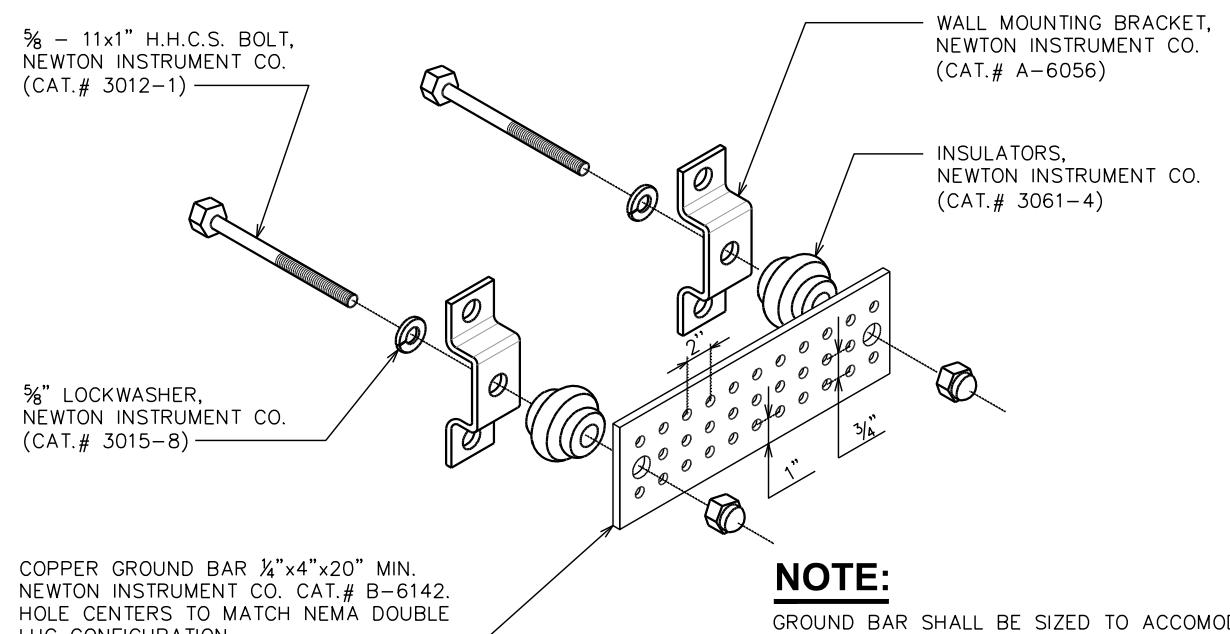
**TOP VIEW**



**SIDE VIEW**

**CADWELD GROUNDING DETAIL**

SCALE: N.T.S.

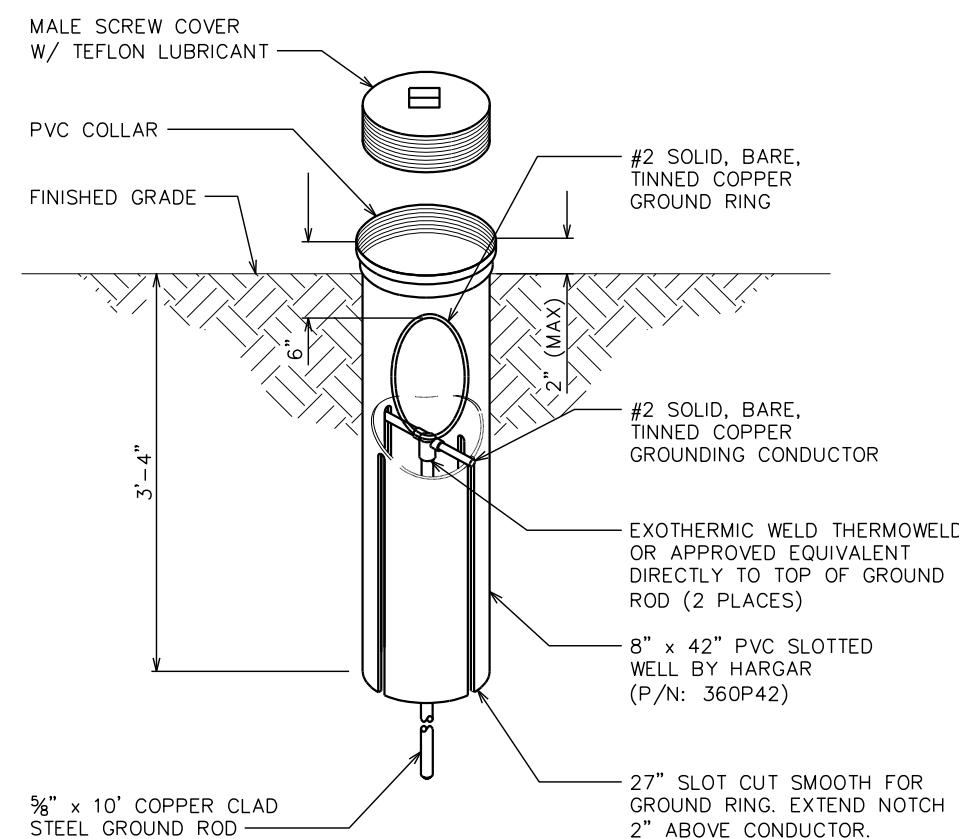


**NOTE:**

GROUND BAR SHALL BE SIZED TO ACCOMODATE  
ALL GROUNDING CONNECTIONS REQUIRED PLUS  
PROVIDE 50% SPARE CAPACITY

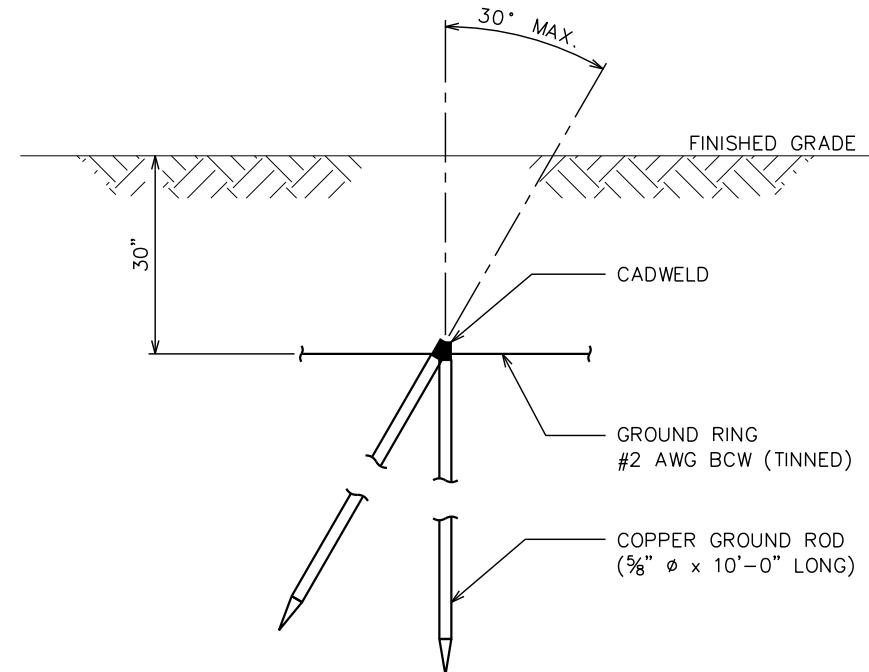
**STANDARD GROUND BAR DETAIL**

SCALE: N.T.S.



**GROUND ROD WITH INSPECTION WELL DETAIL**

SCALE: N.T.S.



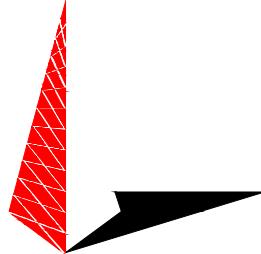
**COPPER-CLAD STEEL GROUND ROD DETAIL**

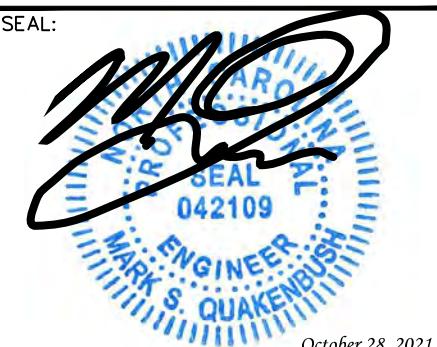
SCALE: N.T.S.

PLANS PREPARED FOR:  
**at&t**  
2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

PLANS PREPARED FOR:  
**PeakNet**  
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:  
**AT&T SITE #:** 074-4164  
**PEAKNET SITE NAME:** CONCORD MP  
7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

PLANS PREPARED BY:  
  
**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # C-1794



3	10-28-21	CONSTRUCTION
2	10-21-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

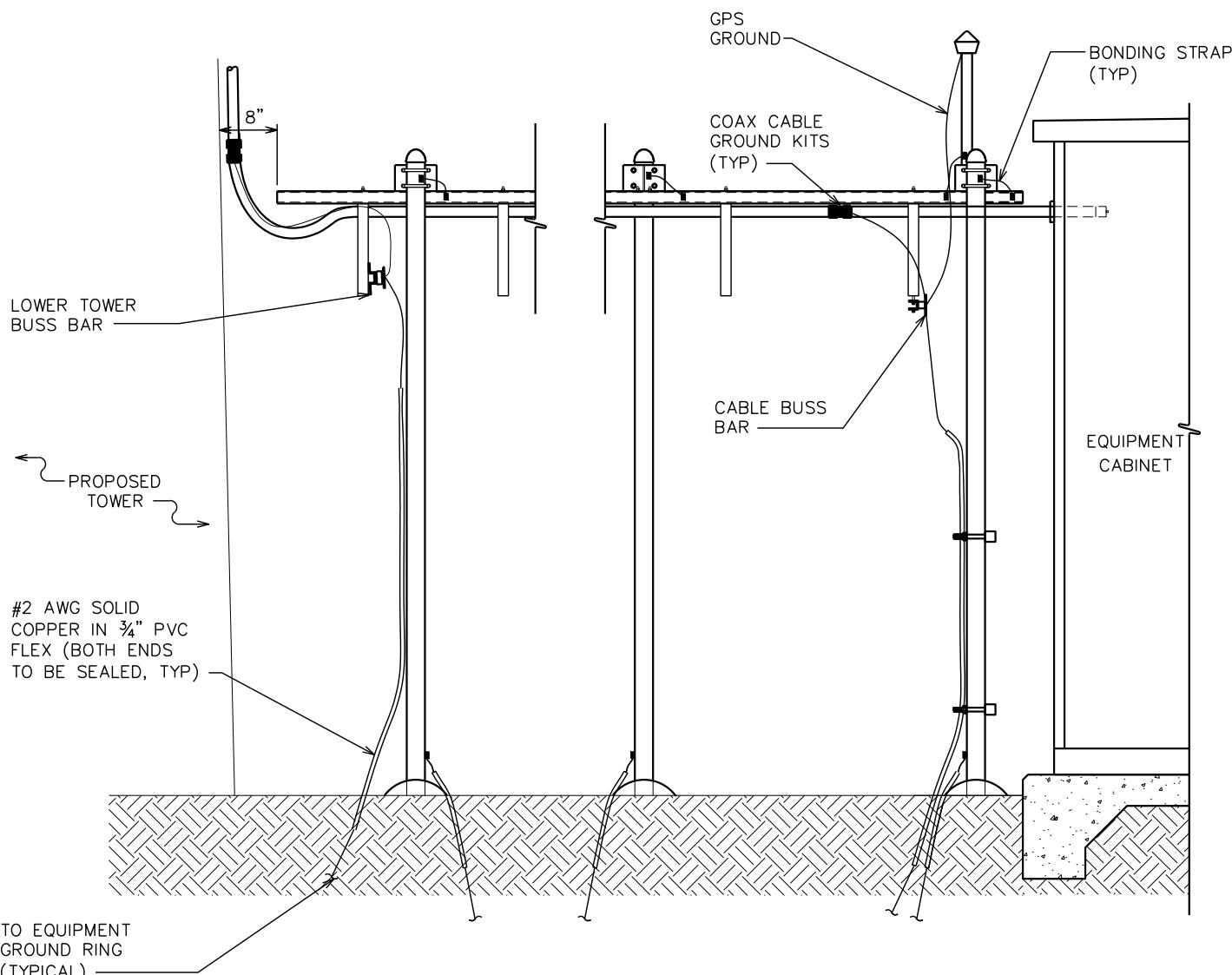
**GROUNDING  
DETAILS I**

SHEET NUMBER:	REVISION:
<b>E-6</b>	<b>3</b>

TEP #: 304265.599340

## GROUNDING NOTES:

1. CONTRACTOR TO ENSURE ALL EQUIPMENT IS BONDED TO SECTOR GROUND BAR.
2. CONTRACTOR TO INSTALL ADDITIONAL GROUND BAR(S) AS NEEDED.
3. CONTRACTOR TO REFERENCE AT&T BONDING & GROUND PRACTICE TP76416 FOR FURTHER DETAILS.
4. (2) GROUND LEADS FROM BOTH BOTTOM TOWER GROUND BAR AND ICE BRIDGE GROUND BAR

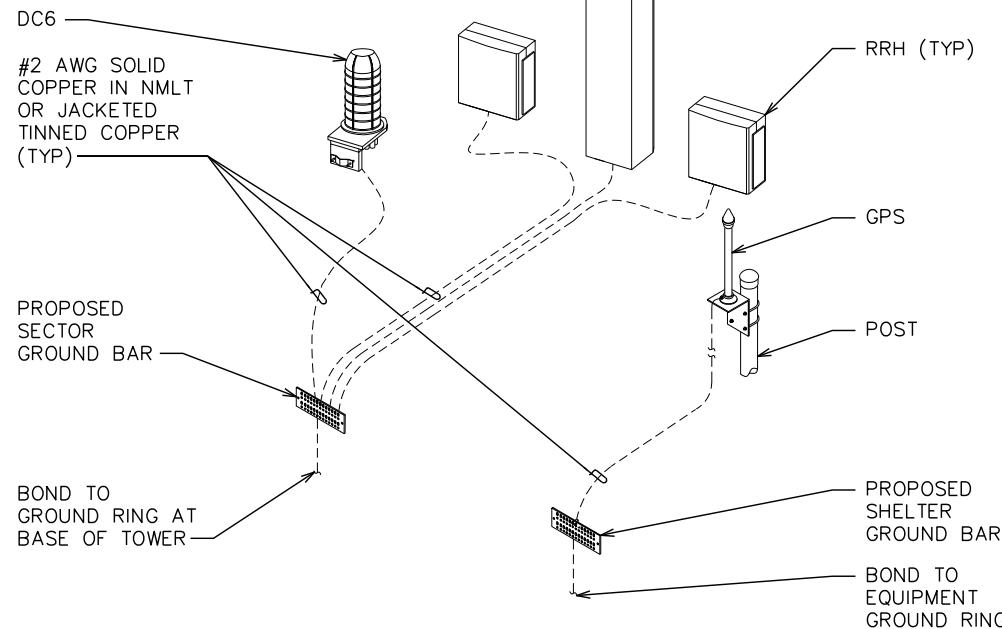


**TYPICAL GROUND EQUIPMENT GROUNDING ELEVATION**

SCALE: N.T.S.

## GROUNDING NOTES:

1. CONTRACTOR TO PROVIDE WEATHER PROOFING AND GROUNDING KIT TO BOND DC POWER CABLE SHIELD TO SHELTER GROUND BAR
2. CONTRACTOR TO PROVIDE GROUND CONNECTION FOR DC POWER CABLE SHIELD TO 'P' SECTION OF CRGB WITHIN SHELTER.

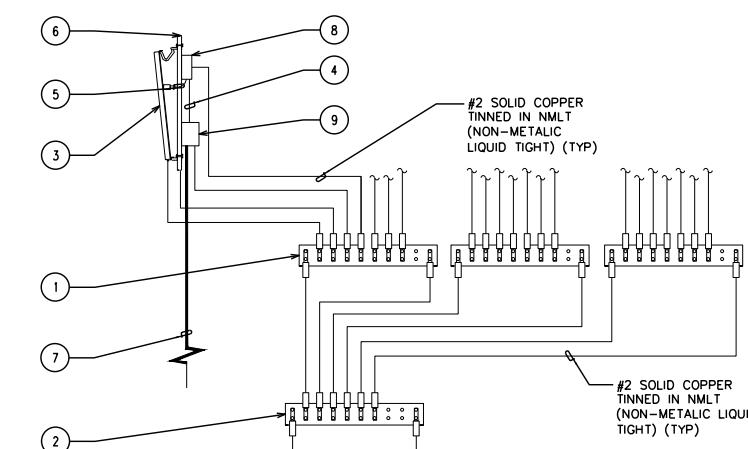


## TYPICAL ANTENNA/EQUIPMENT GROUNDING DETAIL

SCALE: N.T.S.

## GROUNDING NOTE LEGEND:

1. SECTOR GROUND BAR (TYP).	6. PIPE MOUNT.
2. COLLECTOR GROUND BAR.	7. DC POWER & FIBER TO RAYCAP UNIT
3. ANTENNA.	8. REMOTE RADIO HEAD (RRH) (IF APPLICABLE)
4. SINGLE PAIR FIBER & DC POWER	9. DC6 RAYCAP SURGE SUPPRESSOR (IF APPLICABLE)
5. JUMPER CABLE, 1/2" (TYP).	



1. UTILIZE EXISTING AT&T GROUND BARS AND GROUNDING.
2. ADD GROUND BARS IF THERE ARE INSUFFICIENT LUG POSITIONS.
3. REFERENCE AT&T BONDING & GROUNDING PRACTICE TP76416.

**TYPICAL ANTENNA GROUNDING SCHEMATIC**

SCALE: N.T.S.

PLANS PREPARED FOR:



2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

PLANS PREPARED FOR:



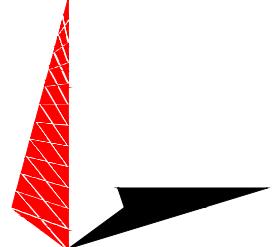
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

**AT&T SITE #:** 074-4164  
**PEAKNET SITE NAME:** CONCORD MP

7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

PLANS PREPARED BY:



**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # C-1794

SEAL:



October 28, 2021

3	10-28-21	CONSTRUCTION
2	10-21-21	PRELIMINARY
REV	DATE	ISSUED FOR:

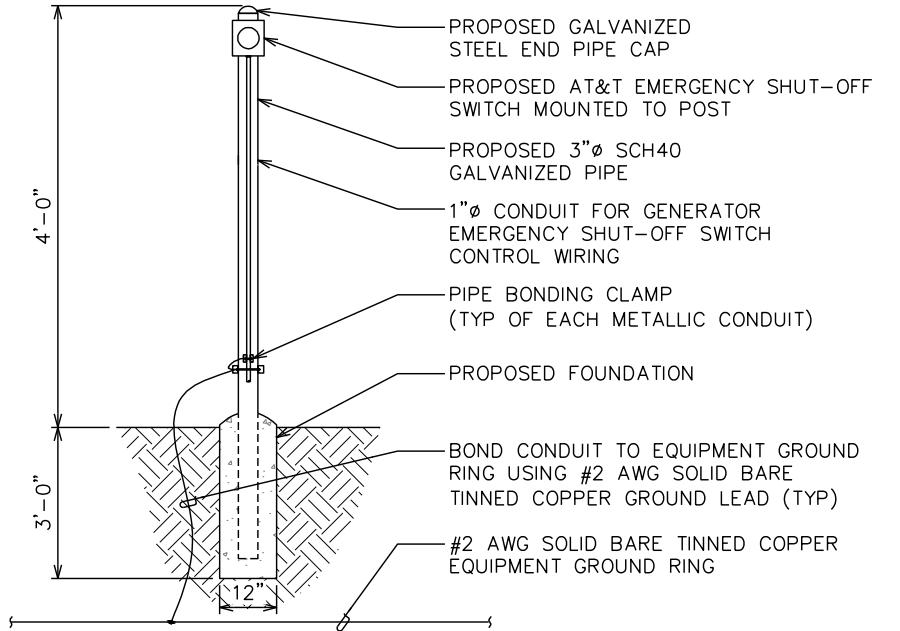
DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

**GROUNDING  
DETAILS II**

SHEET NUMBER:	REVISION:
<b>E-7</b>	<b>3</b>

TEP #: 304265.599340

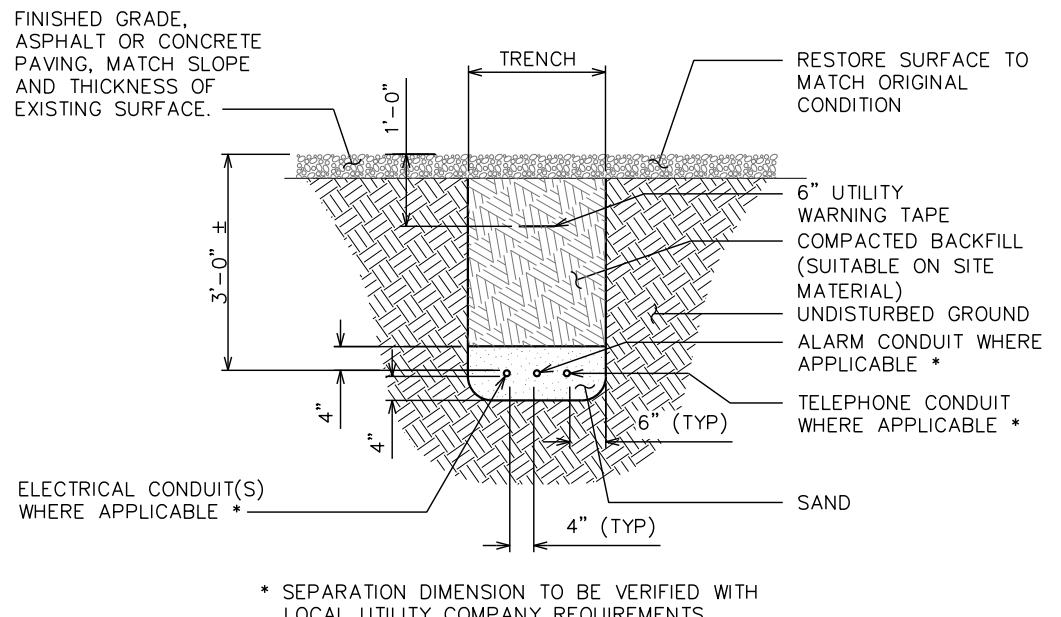


## EMERGENCY SWITCH MOUNTING DETAIL

SCALE: N.T.S.

### TRENCHING NOTES:

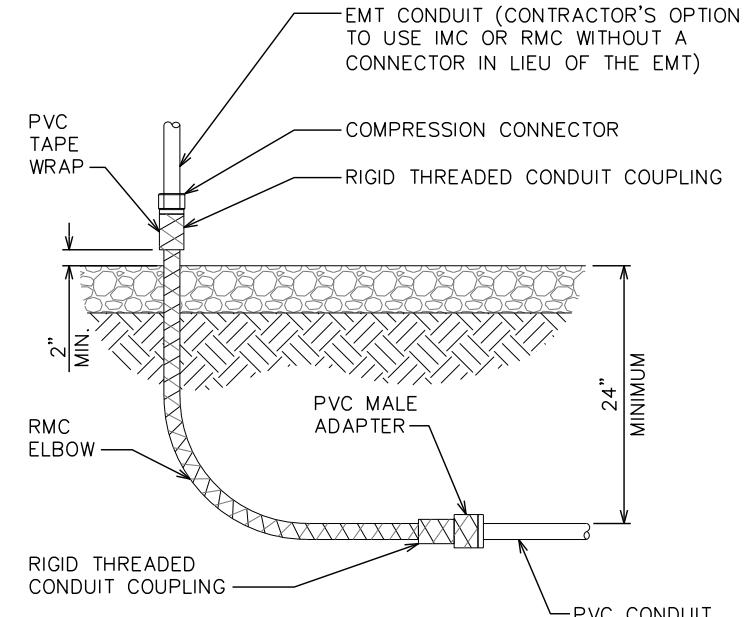
1. ACTUAL SEPARATION OF CONDUITS TO BE DETERMINED BY SITE SPECIFIC REQUIREMENTS.
2. UNDERGROUND CONDUIT TRENCH TO BE LOCATED AS CLOSE TO COMPOUND FENCE AS POSSIBLE WITHOUT COMPROMISING THE INTEGRITY OF THE FENCE.
3. PROVIDE PVC CONDUIT BELOW GRADE EXCEPT AS NOTED BELOW.
4. PROVIDED RGS CONDUIT AND ELBOWS AT STUB-UP LOCATIONS (I.E. SERVICE POLES, EQUIPMENT, ETC.)
5. PROVIDE RGS CONDUIT FOR INSTALLATIONS BELOW PARKING LOTS AND ROADWAYS.



## UNDERGROUND CONDUIT(S) TRENCHING DETAIL

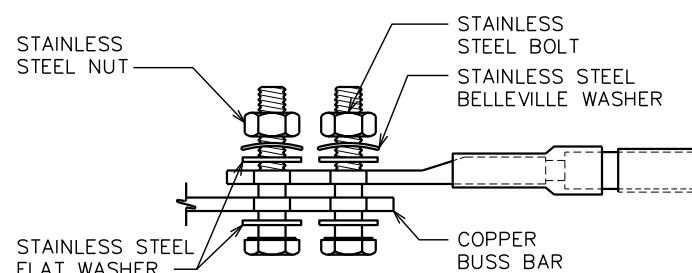
SCALE: N.T.S.

NOTE:  
ALL METAL CONDUIT INSTALLED IN DIRECT CONTACT WITH THE EARTH SHALL BE CONSIDERED TO BE INSTALLED IN A SEVERELY CORROSIVE ENVIRONMENT AND IS REQUIRED TO HAVE SUPPLEMENTAL PROTECTION AGAINST CORROSION (NEC ARTICLE 342.10(B) & 344.10(B)(1)). THIS PROTECTION SHALL EITHER BE AN APPROVED MANUFACTURER INSTALLED PROTECTIVE COATING ON THE CONDUIT OR SHALL BE (2) LAYERS OF 10 MIL PVC PIPE WRAP TAPE INSTALLED USING OPPOSING SPIRAL WRAPS. ON VERTICAL PIPE THE OUTSIDE LAYER OF TAPE SHALL BE WRAPPED SO AS TO PROVIDE SHEDDING OF WATER (I.E., TAPE SHOULD WRAP IN AN UPWARD DIRECTION WITH LOWER WRAP BEING BENEATH THE WRAP ABOVE). SPIRAL WRAPS SHALL HAVE A MINIMUM OF  $\frac{1}{4}$ " OVERLAP WITH THE PRECEDING TAPE WRAP. ANY OTHER METHODS OF CORROSION PROTECTION SHALL REQUIRE APPROVAL BY THE ENGINEER OF RECORD PRIOR TO BEING USED.



## UNDERGROUND CONDUIT STUB UP DETAIL

SCALE: N.T.S.



### NOTES:

1. ALL HARDWARE SHALL BE 18-8 STAINLESS STEEL, INCLUDING THE BELLEVILLE WASHERS. COAT ALL SURFACES WITH KOPR-SHIELD BEFORE MATING.
2. FOR GROUND BOND TO STEEL ONLY: INSERT A DRAGON TOOTH WASHER BETWEEN THE LUG AND STEEL. COAT ALL SURFACES WITH KOPR-SHIELD.

## LUG DETAILS

SCALE: N.T.S.

PLANS PREPARED FOR:



2002 PISGAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

PLANS PREPARED FOR:



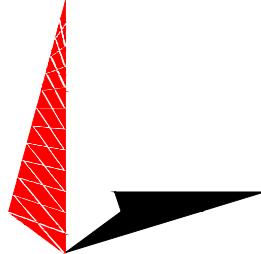
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:

**AT&T SITE #:** 074-4164  
**PEAKNET SITE NAME:**  
**CONCORD MP**

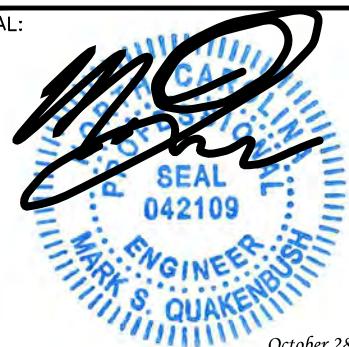
7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

PLANS PREPARED BY:



**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # C-1794

SEAL:



October 28, 2021

3	10-28-21	CONSTRUCTION
2	10-21-21	PRELIMINARY
REV	DATE	ISSUED FOR:

DRAWN BY: DAO CHECKED BY: TDS

SHEET TITLE:

## ELECTRICAL DETAILS

SHEET NUMBER:	REVISION:
<b>E-8</b>	<b>3</b>

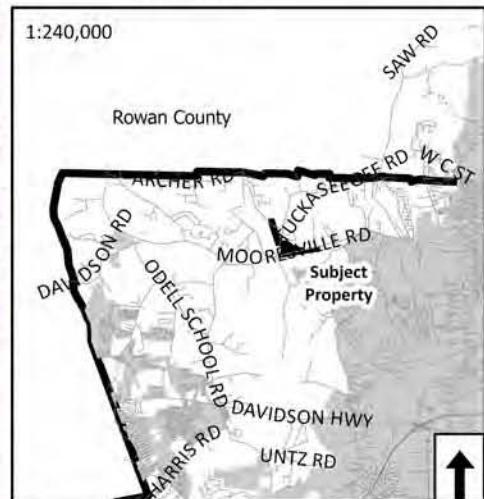
TEP #: 304265.599340

## Northwestern Planning Area

### Existing Zoning

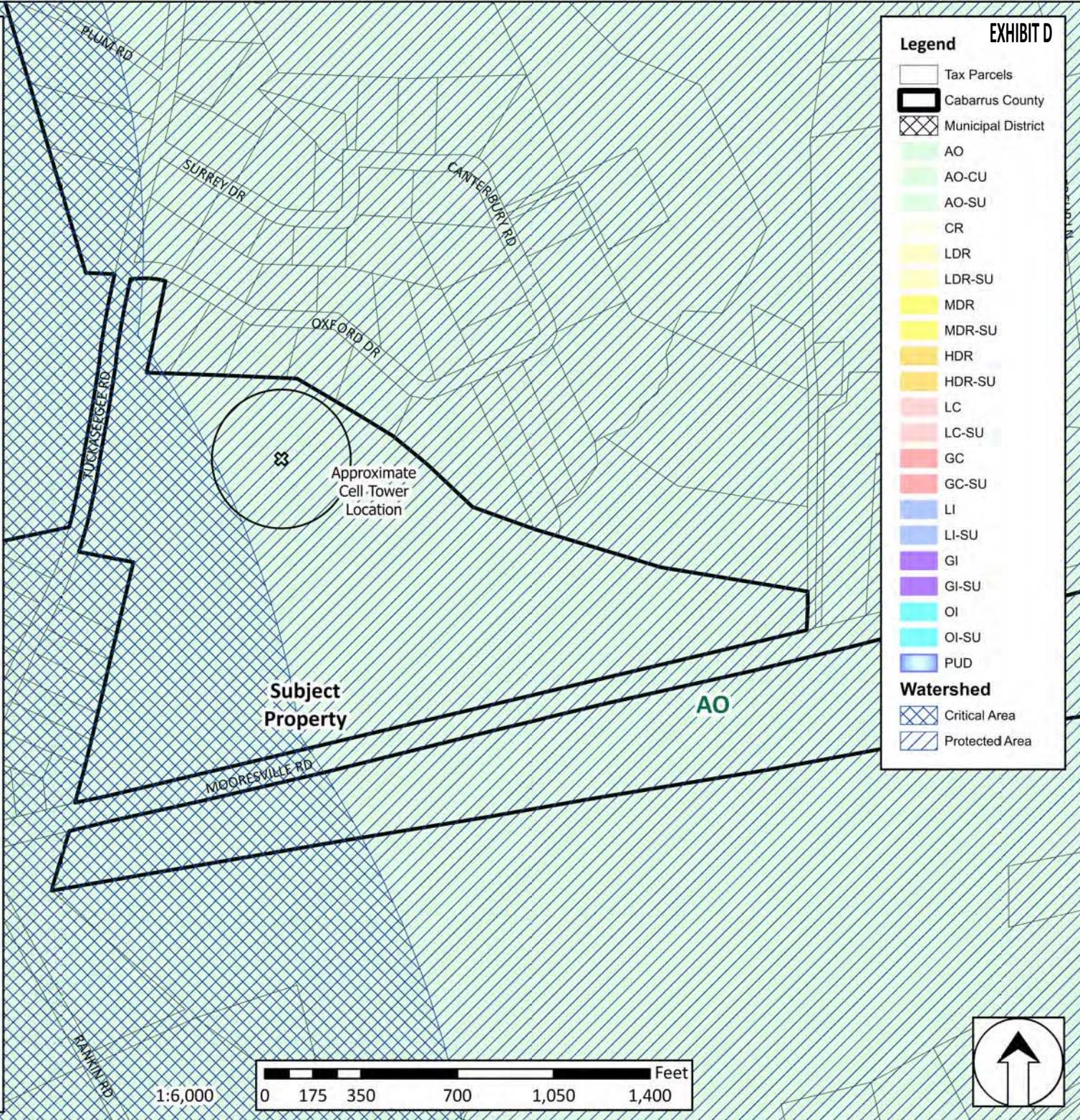


Applicant: Peaknet, LLC  
 by Thomas H. Johnson, Jr., Attorney  
 Owner: Edward D. Mesimer Trust  
 by Edward D. Mesimer, Trustee  
 Case: SUSE2022-00014  
 Address: 7615 Tuckaseegee Road  
 Purpose: Wireless Telecommunication Tower  
 PINs: 4693-26-5101



Cabarrus County shall not be held liable for any errors in this data. This includes errors of omission, commission, errors concerning the content of the data, and relative and positional accuracy of the data. These data cannot be construed to be a legal document. Primary sources from which these data were compiled must be consulted for verification of information contained within the data.

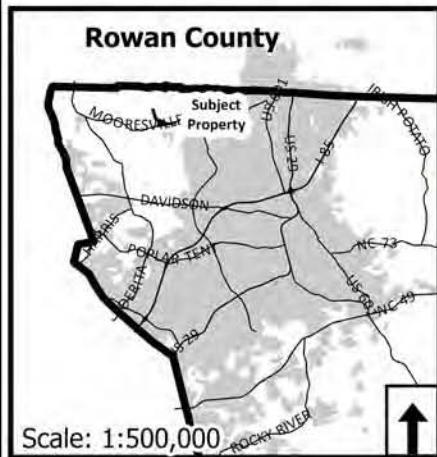
Map Prepared by Cabarrus County Planning & Development - October 2022



**Northwestern Cabarrus  
Planning Area Future Land Use**



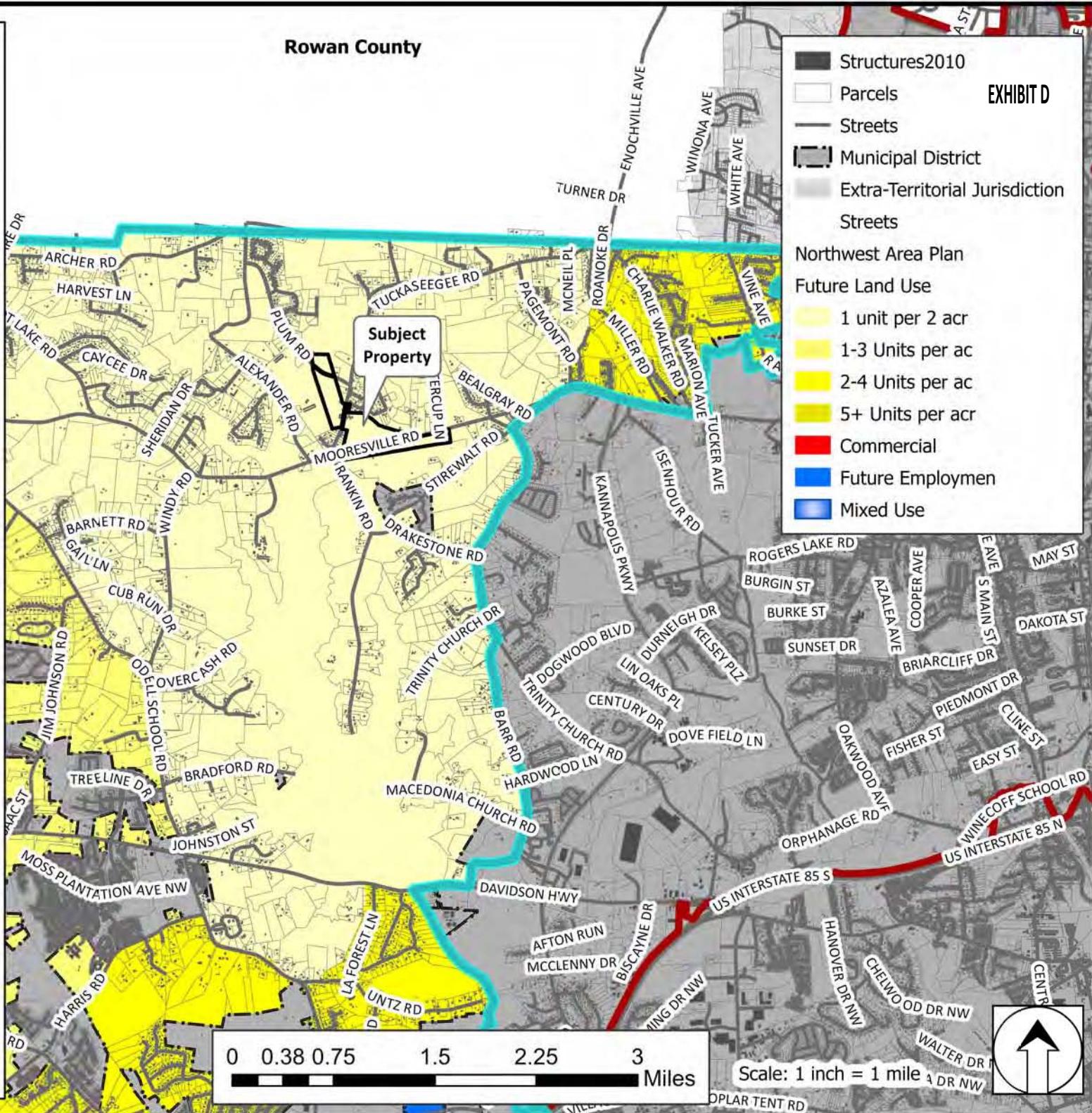
Applicant: Peaknet, LLC  
by Thomas H. Johnson, Jr., Attorney  
Owner: Edward D. Mesimer Trust  
by Edward D. Mesimer, Trustee  
Case: SUSE2022-00014  
Address: 7615 Tuckaseegee Road  
Purpose: Wireless Telecommunication Tower  
PINs: 4693-26-5101



Cabarrus County shall not be held liable for any errors in this data. This includes errors of omission, commission, errors concerning the content of the data, and relative and positional accuracy of the data. These data cannot be construed to be a legal document. Primary sources from which these data were compiled must be consulted for verification of information contained within the data.

Map Prepared by Cabarrus County Planning & Development - October 2022

**Rowan County**

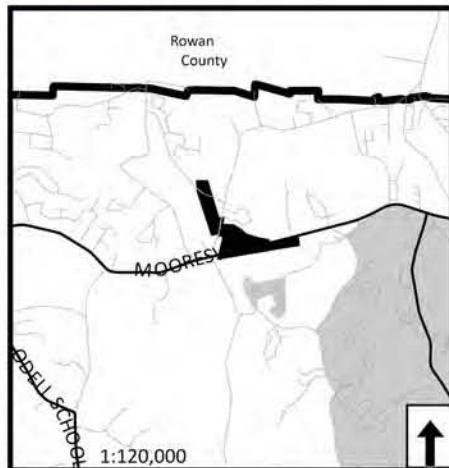


## Northwest Cabarrus Planning Area Aerial Map



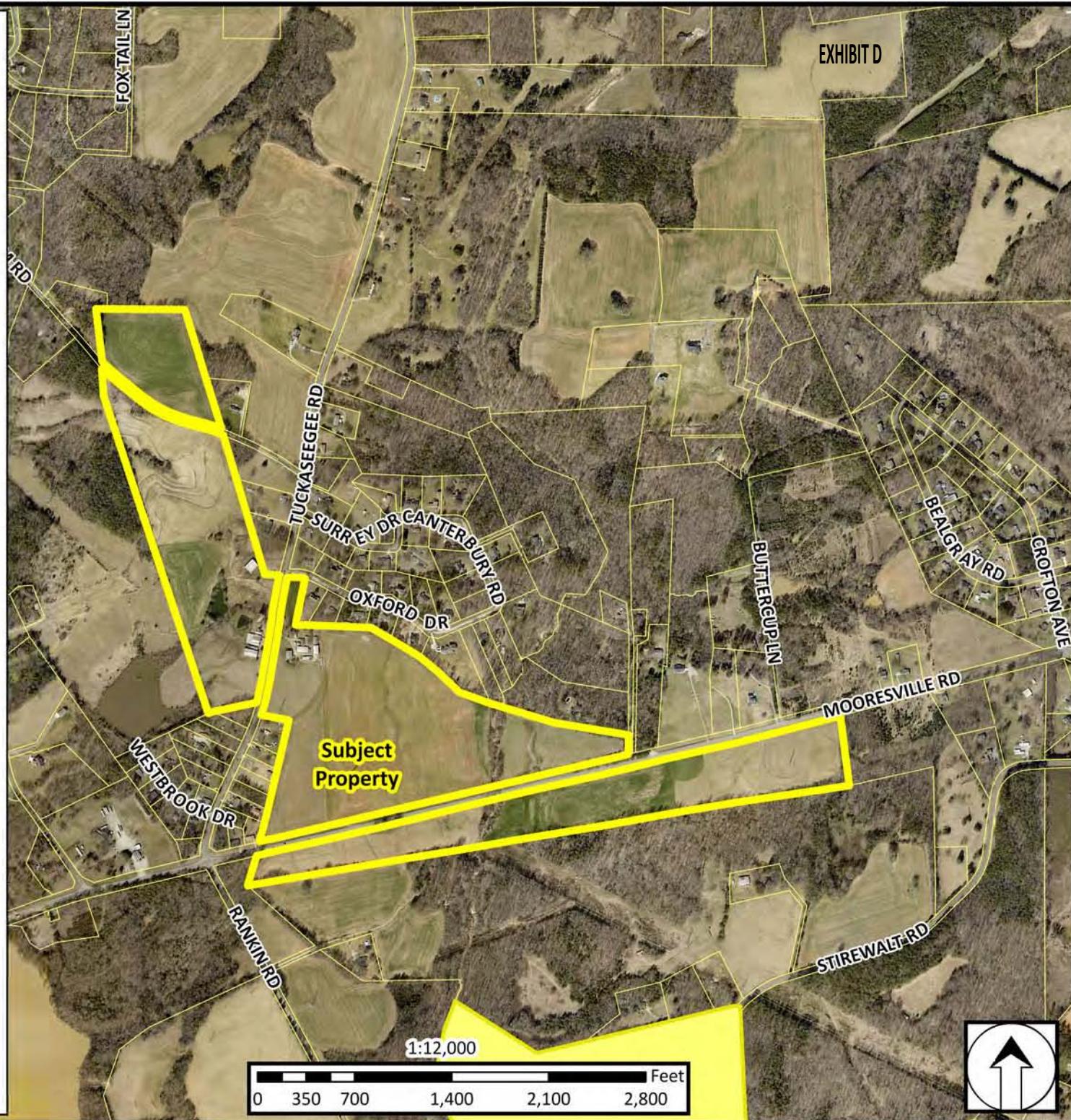
Applicant: Peaknet, LLC  
by Thomas H. Johnson, Jr., Attorney  
Owner: Edward D. Mesimer Trust  
by Edward D. Mesimer, Trustee  
Case: SUSE2022-00014  
Address: 7615 Tuckaseegee Road  
Purpose: Wireless Telecommunication Tower  
PINS: 4693-26-5101

  Cabarrus County  
  Kannapolis  
  Tax Parcels



Cabarrus County shall not be held liable for any errors in this data. This includes errors of omission, commission, errors concerning the content of the data, and relative and positional accuracy of the data. These data cannot be construed to be a legal document. Primary sources from which these data were compiled must be consulted for verification of information contained within the data.

Map Prepared by Cabarrus County Planning & Development - October 2022



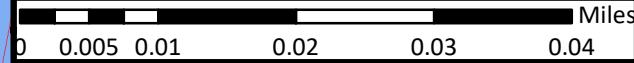
# Concord Regional Airport

# Airport Overlay

1400  
1402  
1404  
1406  
1408  
1410  
1412  
1413  
1415  
1416  
1417  
1418  
1419  
1420

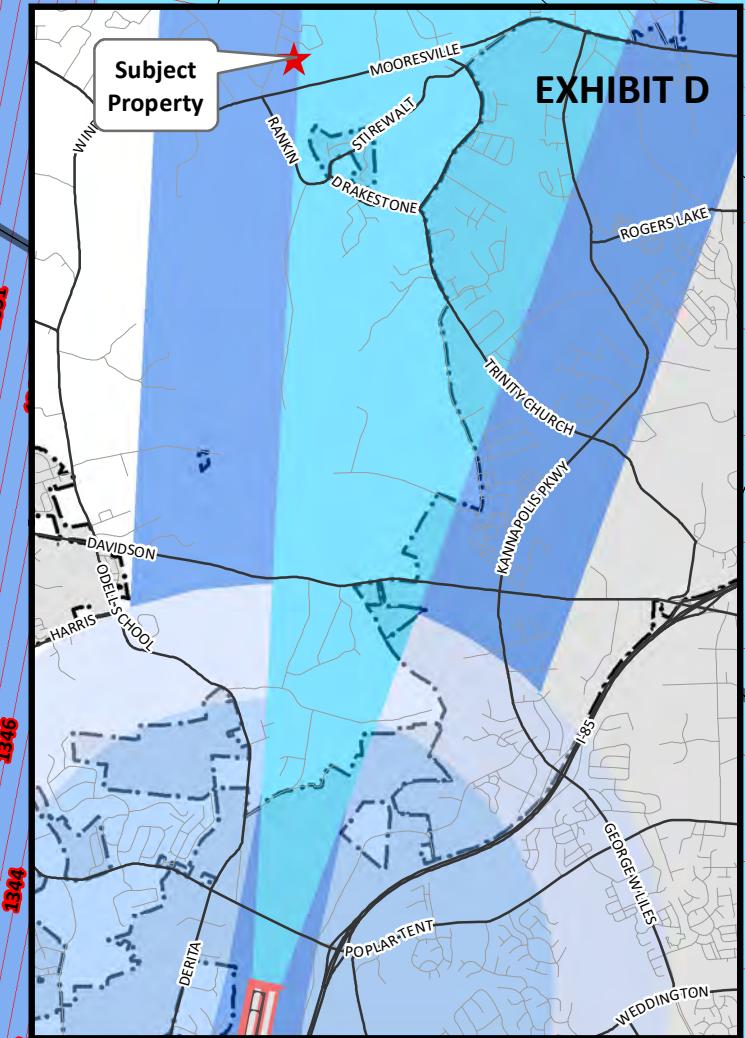
Cabarrus County shall not be held liable for any errors in this data. This includes errors of omission, commission, errors concerning the content of the data, and relative and positional accuracy of the data. These data cannot be construed to be a legal document. Primary sources from which these data were compiled must be consulted for verification of information contained within the data.

Map Prepared by Cabarrus County Planning & Development - May 2022



## Subject Property

# EXHIBIT D



## Legend

A legend titled "Airport Zones" with a subtitle "Zone2". It includes the following items:

- Airport Contours (red line)
- Airport Airstrips (dark grey rectangle)
- Primary Surface (red rectangle)
- Transitional Surface Internal (light blue rectangle)
- Horizontal Surface (medium blue rectangle)
- Conical Surface (light purple rectangle)
- Approach Surface (light blue rectangle)
- Transitional Surface (medium blue rectangle)
- Parcels (white rectangle with black border)

## Certification of Compliance

The undersigned representative of PeakNet, LLC hereby certifies as follows with respect to the 235 foot monopole tower (including the 5 foot lightning rod) being proposed by PeakNet, LLC to be located at 7621 Tuckaseegee Road, Kannapolis, NC 28081:

1. The tower will meet or exceed the current standards and regulations of the FAA, the FCC, and any other state or federal government agency with the authority to regulate towers and antennas.
2. The tower will comply with the Federal Communications Act 47 U.S.C §332 as amended and the applicable rules promulgated by the Federal Communications Act.

This the 3<sup>rd</sup> day of October, 2022.

PeakNet, LLC

BY: Allen Bahler  
 Name: Allan Bahler  
 Title: GM

STATE OF Florida

COUNTY OF Pinellas

I, Christopher Bernardo, a Notary Public of Pinellas County and State of North Carolina, do hereby certify that Allan Bahler personally appeared before me this day and acknowledged that he is VP/GM of PeakNet, LLC, a Delaware limited liability company, and that by authority duly given and as the act of the company, the foregoing instrument was signed in its name by himself as its VP/GM as the act and deed of the company.

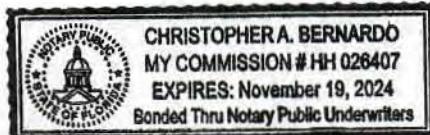
Witness my hand and official stamp or seal, this the 3<sup>rd</sup> day of October, 2021.

Christopher Bernardo  
 Notary Public

My Commission Expires:

November 19 2024

(Notary Stamp or Seal)



### Co-Location Certification

The 235 foot monopole tower (including the 5 foot lightning rod) being proposed by PeakNet, LLC to be located at 7621 Tuckaseegee Road, Kannapolis, NC 28081 will be designed to accommodate four (4) antenna arrays for future users as indicated on Page C-3 of the engineered drawings prepared by Tower Engineering Professionals dated September 9, 2022. This certification is being provided in compliance with Section 6, Paragraph f. of the Wireless Telecommunications Ordinance in Chapter 8 of the Cabarrus County Development Ordinance.

This the 3<sup>rd</sup> day of October, 2022.

PeakNet, LLC

BY: Allan Balakar

Name: Allan Balakar

Title: GM

STATE OF Florida

COUNTY OF Pineallas

I, Christopher Bernardo a Notary Public of Pineallas County and State of North Carolina, do hereby certify that Allan Balakar personally appeared before me this day and acknowledged that he is VP/GM of PeakNet, LLC, a Delaware limited liability company, and that by authority duly given and as the act of the company, the foregoing instrument was signed in its name by himself as its VP/GM as the act and deed of the company.

Witness my hand and official stamp or seal, this the 3<sup>rd</sup> day of October, 2024.

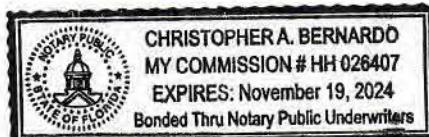
Christopher Bernardo

Notary Public

My Commission Expires:

November 19 2024

(Notary Stamp or Seal)





Mail Processing Center  
Federal Aviation Administration  
Southwest Regional Office  
Obstruction Evaluation Group  
10101 Hillwood Parkway  
Fort Worth, TX 76177

Issued Date: 09/01/2022

Aeronautical Study No.  
2022-ASO-3190-OE

## EXHIBIT F

Christopher Bernardo  
PT Attachment Solutions, LLC  
9887 4th Street North  
Suite 100  
St Petersburg, FL 33702-2445

### \*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\*

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Monopole Concord
Location:	Kannapolis, NC
Latitude:	35-29-12.75N NAD 83
Longitude:	80-42-18.65W
Heights:	741 feet site elevation (SE) 230 feet above ground level (AGL) 971 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

As a condition to this Determination, the structure is to be marked/lighted in accordance with FAA Advisory circular 70/7460-1 , Obstruction Marking and Lighting, a med-dual system-Chapters 4,8(M-Dual),&15.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

At least 10 days prior to start of construction (7460-2, Part 1)  
 Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

This determination expires on 03/01/2024 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.

(c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (817) 222-4244, or [ashley.m.wilson@faa.gov](mailto:ashley.m.wilson@faa.gov). On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2022-ASO-3190-OE.

**Signature Control No: 509285667-551885433**

( DNE )

Ashley Wilson  
Technician

Attachment(s)  
Case Description  
Frequency Data  
Map(s)

cc: FCC

## **Case Description for ASN 2022-ASO-3190-OE**

New 230' monopole

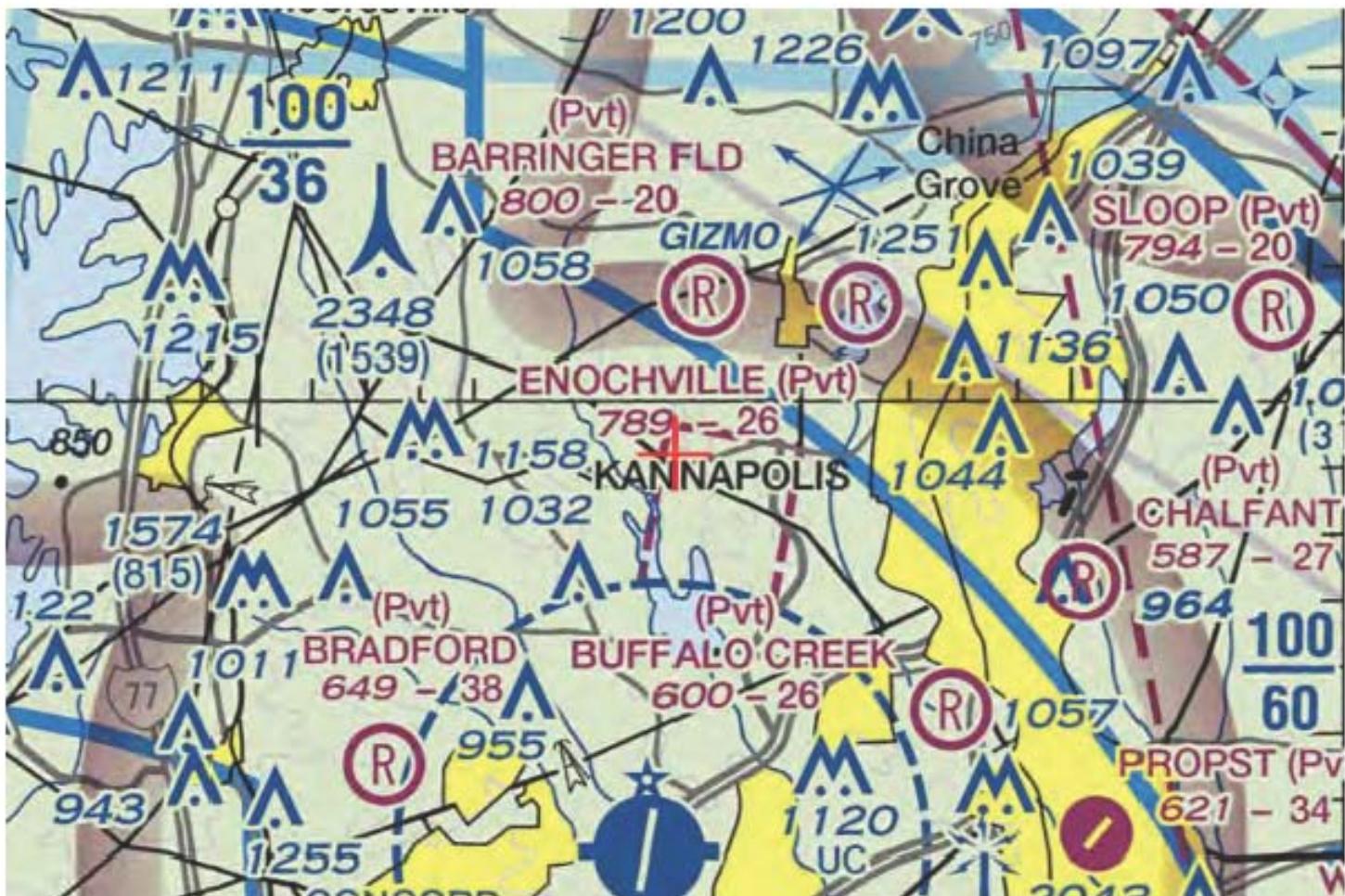
# Frequency Data for ASN 2022-ASO-3190-OE

LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
6	7	GHz	55	dBW
6	7	GHz	42	dBW
10	11.7	GHz	55	dBW
10	11.7	GHz	42	dBW
17.7	19.7	GHz	55	dBW
17.7	19.7	GHz	42	dBW
21.2	23.6	GHz	55	dBW
21.2	23.6	GHz	42	dBW
614	698	MHz	1000	W
614	698	MHz	2000	W
698	806	MHz	1000	W
806	901	MHz	500	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
929	932	MHz	3500	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1670	1675	MHz	500	W
1710	1755	MHz	500	W
1850	1910	MHz	1640	W
1850	1990	MHz	1640	W
1930	1990	MHz	1640	W
1990	2025	MHz	500	W
2110	2200	MHz	500	W
2305	2360	MHz	2000	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W
2496	2690	MHz	500	W

TOPO Map for ASN 2022-ASO-3190-OE



## Sectional Map for ASN 2022-ASO-3190-OE

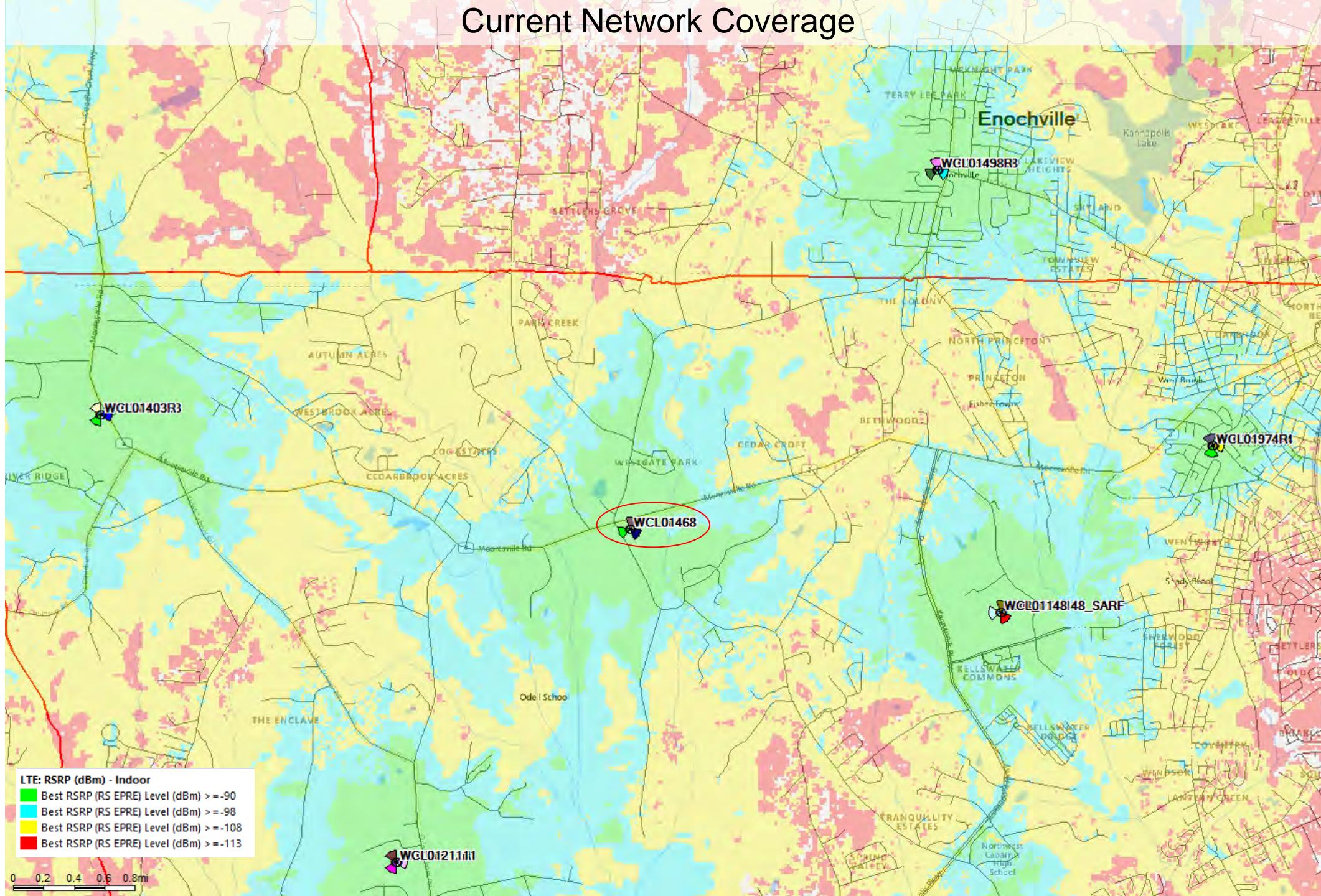


## Documentation for FAA change to monopole height

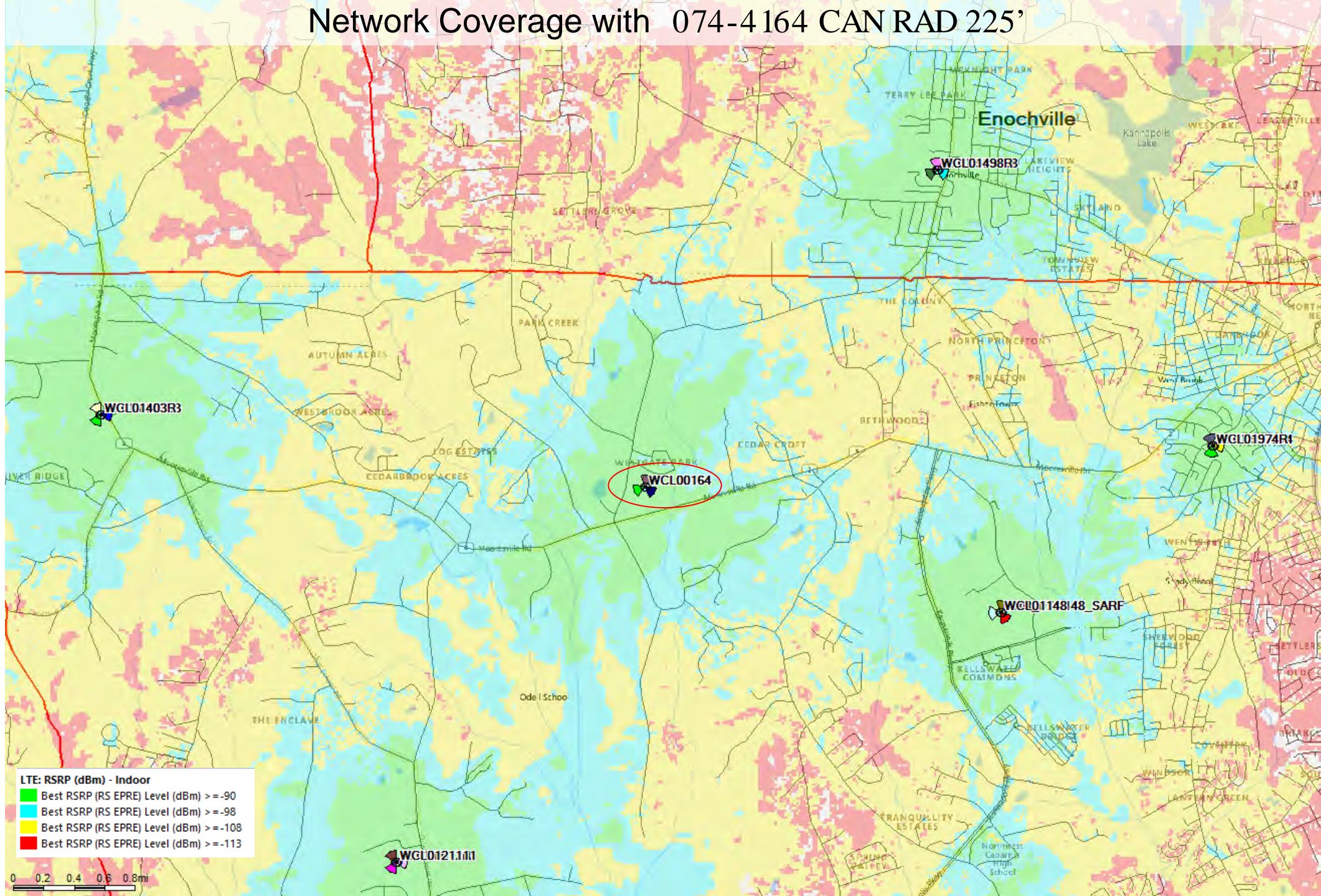
Details for Case : Concord Monopole		
<a href="#">Show Project Summary</a>		
<b>2022-AS0-37134-0E</b> Accepted		
<b>None</b>		
<b>Iteration Information</b>		
<b>Construction</b> <b>Permanent</b>		
<b>Start:</b>	Months: Days:	
<b>Notice Criteria Tool:</b> If separate notice is required, please ensure it is filed. Note: Does the permanent structure require separate notice to the FAA? If so state the reason in the Description of proposal.		
<b>Structure Summary</b>		
<b>Structure Type:</b>	POLE Monopole	
<b>Structure Name:</b>	Concord Monopole	
<b>FDC NOTAM:</b>		
<b>NOTAM Number:</b>		
<b>FCC Number:</b>		
<b>Prior ASN:</b>	2022-AS0-3190-0E	
<b>Proposed Frequency Bands</b>		
<b>Low Freq</b>	<b>High Freq</b>	<b>Freq Un</b>
350 28' 12.75" N	6	G
800 42' 18.65" W	5	G
NAD83	10	G
741 (nearest foot) <b>PASSED</b>	11.7	G
235 (nearest foot)	17.7	G
(nearest foot)	19.7	G
ie Description of Proposal	17.7	G
Height (AGL): tudy of a crane or construction equipment t should be listed above as the GL). Additionally, provide the minimum void delays if impacts are identified that to a reduced height. If the Structure Height ting height are the same enter the same	21.2	G
806	23.6	G
806	21.2	G
806	51.4	G
806	51.4	G
806	59.8	G
806	60.6	G
806	90.1	G
806	92.4	G
84.9	92.4	G
851	95.6	G
869	99.4	G
896	90.1	G
901	90.2	G
92.9	93.2	G
93.0	93.2	G
93.1	93.2	G
93.2	93.2	G
93.2	93.2	G
93.5	93.2	G
94.0	94.1	G
94.0	16.75	G
94.0	17.10	G
16.70	17.55	G
17.10	17.55	G
18.50	19.10	G
18.50	19.90	G
19.30	19.90	G
19.90	20.25	G
21.10	22.00	G
22.05	22.60	G
22.05	23.10	G
23.45	23.60	G
23.45	24.96	G
24.96	26.90	G
<b>Lighting:</b>	Red lights	
<b>Other:</b>		
<b>Lighting:</b>	None	
<b>Other:</b>	Kannapolis North Carolina Field Near Tuckaseegee Rd.	
<b>Low Freq</b>	<b>High Freq</b>	<b>Freq Un</b>
3750	3550	G
3700	3980	G
<b>Description</b> ion: many page upload any certified survey. xual:		
New 235' monopole		

# 074-4164 HRR for 074-468 Coverage Plots

# Current Network Coverage



# Network Coverage with 074-4164 CAN RAD 225'





AT&T

***IMPACT STUDY***

*Impact Study - Cell Tower  
7615 Tuckaseegee Road  
Kannapolis, Cabarrus County,  
North Carolina 28081*

*Type Report: Impact Study*

*Effective Date  
April 4, 2022*

*Project ID CAB-006*



April 15, 2022

Mr. Thomas H. Johnson  
Attorney  
Williams Mullen  
301 Fayetteville Street  
Suite 1700  
Raleigh, NC 27601

**RE: Impact Study for Proposed Telecommunications Facility located at 7615 Tuckaseegee Road, Kannapolis, Cabarrus County, North Carolina.**

Dear Mr. Johnson:

I have completed a study of the proposed tower. The scope of the assignment is to provide an analysis and conclusions addressing whether the proposed development will maintain or enhance the value of contiguous properties.

The impact study is intended to conform to the Uniform Standards of Professional Appraisal Practice (USPAP), the Code of Professional Ethics and Standards of Professional Appraisal Practice of the Appraisal Institute. The impact study is not an appraisal as it does not report a value of any property or identify a subject property for valuation; however, the study employs appraisal methodology to reach our conclusions of the impact of the proposed development.

The proposed development is a communication tower to be located on a property owned by the Edward Meismer Trust. The Mooresville Road or NC 3 corridor is in a period of transition. The existing land uses in the area include low-density residential, agricultural, and sporadic commercial developments. To the east and south of the proposed site there is significant development of infrastructure and a variety of real estate developments. The existing and likely future land uses in the area dictate the scope of the research for the study. The existing and likely future surrounding land uses are a contributing factor in the development of a conclusion regarding the potential impact of the tower.

The conclusions of this study are supported by the data and reasoning set forth in the attached narrative. Your attention is invited to the Assumptions and Limiting Conditions section of this report. The analysts certify that we have no present or contemplated future interest in the proposed development, and that our fee for this assignment is in no way contingent upon the conclusions of this study.

*Mr. Tom Johnson*

*April 15, 2022*

*Page 2*

#### **EXTRAORDINARY ASSUMPTIONS AND HYPOTHETICAL CONDITIONS:**

It is an extraordinary assumption of this report that the improvements as described within this report are compliant with the appropriate ordinance regarding items including but not necessarily limited to setbacks, landscaping, access and other items outside our field of expertise for this assignment. These items will be addressed as part of the application by others with expertise within the respective fields.

The content and conclusions of this report are intended for our client and for the specified intended uses only. They are also subject to the assumptions and limiting conditions as well as the specific extraordinary assumption set forth in this report.

It is our opinion that the proposed development will enhance or maintain the value of contiguous properties and that it is located in an area where it does not substantially detract from the aesthetics and neighborhood character.

Thank you for the opportunity to be of service. If you have any questions or comments, please contact our office.

Sincerely yours,



**MICHAEL P. BERKOWITZ**  
**MPB REAL ESTATE, LLC**

**TABLE OF CONTENTS**

<b>SCOPE OF THE ASSIGNMENT .....</b>	<b>6</b>
<b>PREMISES OF THE STUDY .....</b>	<b>7</b>
Identification of Subject.....	7
Client, Purpose, and Intended Use and Intended Users .....	7
Analyst.....	7
Property Inspection.....	7
Extraordinary Assumptions of Report .....	8
Effective Date of Study.....	8
Date of Report.....	8
Type Report .....	8
Study Development and Reporting Process.....	8
<b>PROPOSED FACILITY .....</b>	<b>9</b>
Tower.....	9
Site Improvements .....	9
Access.....	10
Location .....	11
<b>ZONING MAP .....</b>	<b>ERROR! BOOKMARK NOT DEFINED.</b>
<b>SURROUNDING LAND USES.....</b>	<b>11</b>
<b>CABARRUS COUNTY ZONING ORDINANCE .....</b>	<b>12</b>
<b>MARKET RESEARCH .....</b>	<b>14</b>
Conclusions .....	30
<b>ADDENDA .....</b>	<b>33</b>
Certifications .....	34
Qualifications of the Analyst .....	42

## SCOPE OF THE ASSIGNMENT

In accordance with our agreement with the client, this impact study is specific to the needs of our client as part of an application for a conditional use permit to be considered by Cabarrus County Officials. Our study and the reporting of our study is in agreement with our client as follows:

The proposed development requires a Conditional Use Permit. The report is intended to address some of the items to be considered for approval or denial of the permit. The following was extracted from Chapter 8-3 of the Cabarrus County Ordinance.

- a. Maintain or enhance the public health, safety and general welfare if located where proposed, developed and operated according to the plan as submitted;
- b. Maintain or enhance the value of contiguous property (unless the use is a public necessity, in which case the use need not do so);
- c. Assure the adequacy of:
  - o Sewage disposal facilities
  - o Solid waste and water facilities
  - o Police, fire and rescue squad protection
  - o Schools
  - o Transportation systems (within and around the site) and
  - o other public facilities
- d. Comply with the general plans for the physical development of the County as embodied in these regulations or in the Land Use Plans adopted by the Cabarrus County Board of Commissioners.

The impact study focuses on item (b) of the ordinance associated with the potential impact of the tower on value of contiguous properties.

The scope of the assignment includes research of existing towers in the neighborhood. The neighborhoods and their surrounding developments are researched to determine whether the proposed development, referred to as the “Concord MP Site”, is consistent with the location of other towers in this section of Cabarrus County and their impact, if any, on neighborhood development patterns and property values.

The impact study provides an analysis of the surrounding properties. The analysis includes existing improvements, zoning designations and likely development patterns. The existing uses as of the effective date of this report in concert with the market data provided are contributing factors to the conclusions of this study.

## PREMISES OF THE STUDY

<b>Identification of Subject</b>	Concord MP Site  7615 Tuckaseegee Road Kannapolis, Cabarrus County, NC 28081 Tax Parcel ID: 4693-26-5101
<b>Client, Purpose, and Intended Use and Intended Users</b>	Mr. Thomas H. Johnson Attorney Williams Mullen 301 Fayetteville Street Suite 1700 Raleigh, NC 27601
	The client and intended user are Mr. Tom Johnson and representatives of Peaknet. The intended use is as an aid to assist Cabarrus County officials in rendering a decision regarding the issuance of a conditional use permit for the proposed development. The study is not intended for any other use or users.
<b>Analyst</b>	Michael P. Berkowitz  MPB Real Estate, LLC 1100 Sundance Drive Concord, NC 28027
<b>Property Inspection</b>	Michael Berkowitz inspected the property and neighborhood surrounding the proposed development. Details of surrounding land uses, and observations are provided throughout the report. I also performed off site visual inspections of several towers located in Cabarrus County. I consider my observations in the context of the market data. They are a contributing factor to my conclusions.

Photographs of the property were taken during Mr. Berkowitz's inspection.

**Extraordinary Assumptions of Report**

It is an extraordinary assumption of this report that the improvements as described within this report are compliant with the appropriate ordinance regarding items including but not necessarily limited to setbacks, landscaping, access and other items outside our field of expertise for this assignment. These items will be addressed as part of the application by others with expertise within the respective fields.

Should the extraordinary assumptions not exist, we reserve the right to amend this study.

**Effective Date of Study**

April 4, 2022

**Date of Report**

April 15, 2022

**Type Report**

Impact Study Report

**Study Development and Reporting Process**

In preparing this study, the analyst:

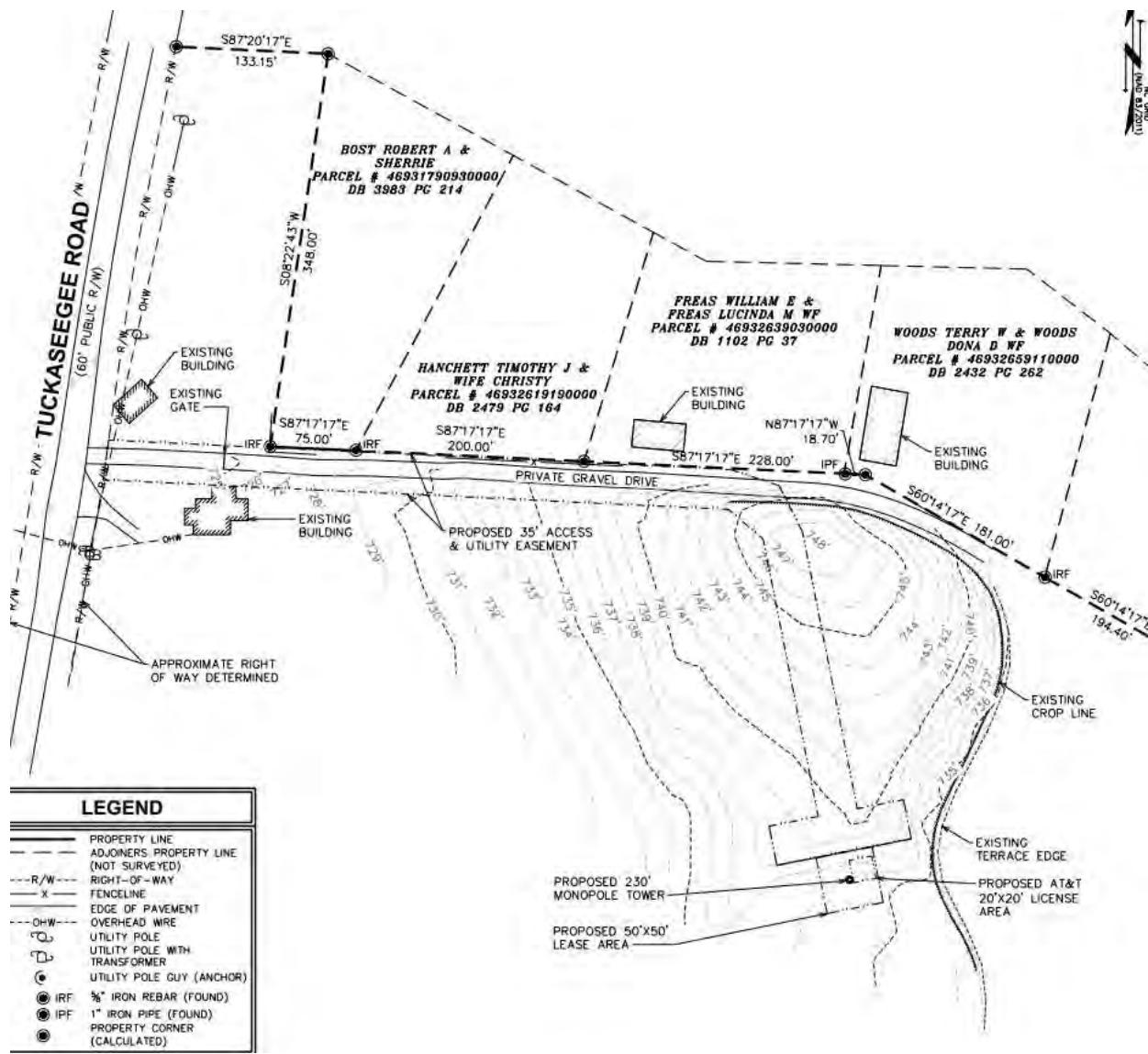
- Analyzes physical affects, if any, of the proposed construction on properties in the immediate area as well as the neighborhood;
- Reviews plans for the proposed development to determine whether it is in compliance with the Cabarrus County Ordinance with respect to items within my field of expertise;
- Reviews site plan provided by our client with respect to the physical characteristics of the proposed development;
- Reviews Section 8.4.36 of the Cabarrus County Zoning Ordinance regarding the development of Wireless Telecommunication Services structures;
- Research market data around existing cell towers in Cabarrus County to determine whether the proposed

development is in accordance with the other similar developments in the area.

## PROPOSED FACILITY

### Tower

Based on information provided to the analyst, the proposed tower will consist of a 230-foot "monopole" communications tower. The following site plan shows the proposed site.

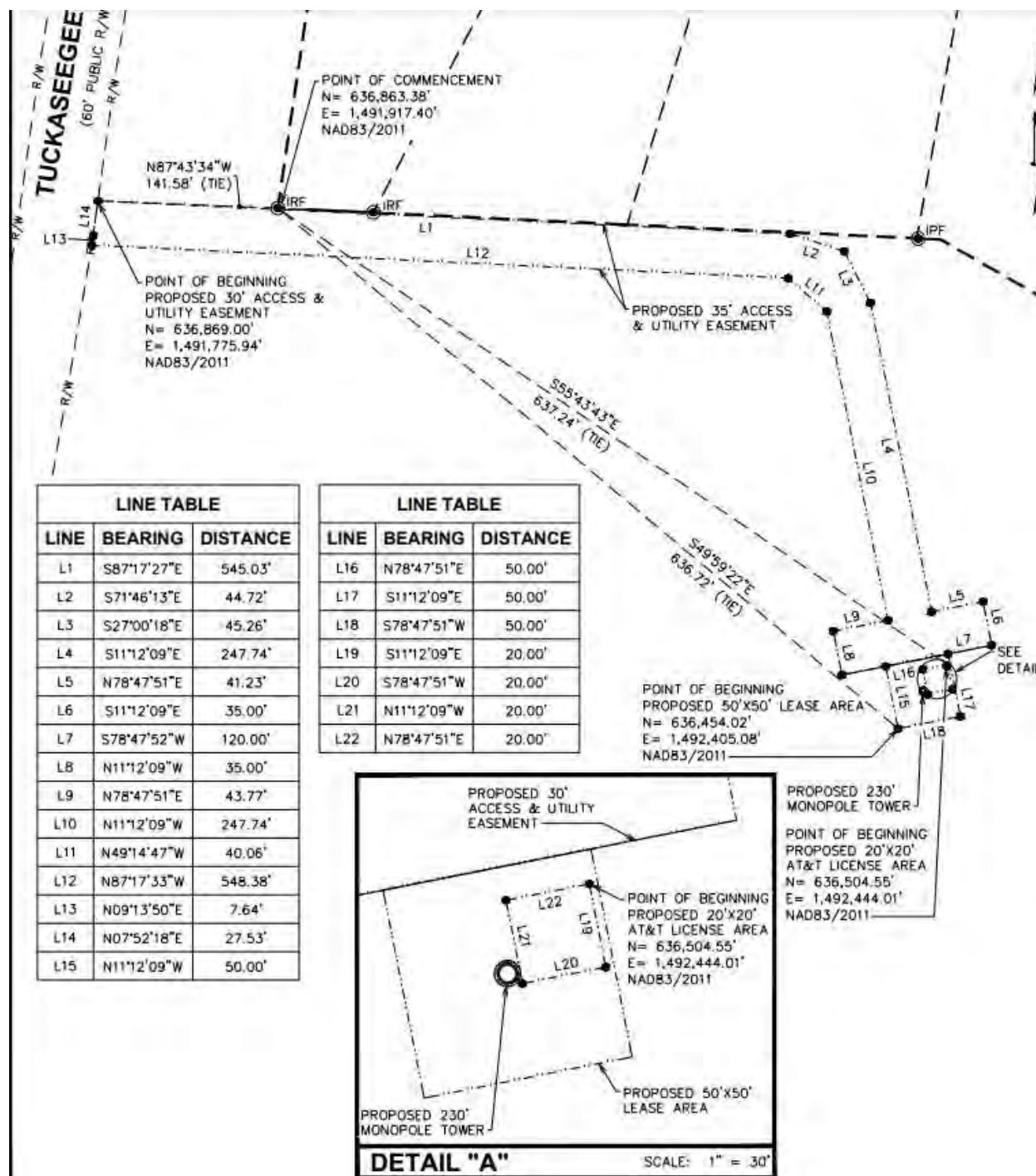


## SITE PLAN

### Site Improvements

The site improvements include an eight-foot chain link fence with three strands of barbed wire. The existing vegetation will

partially obscure the tower in several directions. The tree line immediately north of the subject is a factor in the selection of appropriate data for analysis.



## Access

As part of the project, the development will include a 30-foot access and utility easement. The easement will encumber the area of the existing gravel drive used by the current owner. As

shown on the exhibit provided, the access will be 30-feet wide and appears to widen to 35 feet. We assume that the access for the proposed development is in accordance with all local and state regulations. Given the access is consistent with other properties in the area, we consider the assumption reasonable.

### **Location**

The proposed tower is in the northern section of the site. The site consists of 129.2 acres. The size of the site provides significant distance between many of the contiguous properties. While the properties to the north of the subject are closer to the tower, the existing tree line will provide a buffer between the proposed tower and these properties.

The subject has a zoning designation of AO, Agricultural District. The agricultural designation is consistent with other larger tracts in the area. However, many of these tracts are being pursued by developers for residential development. The most limiting factor in this marketing activity is the availability of municipal utilities specifically sanitary sewer service.

## **SURROUNDING LAND USES**

The proposed development is located on a 129.2-acre tract of land that includes property on both sides of Highway 3 (Mooresville Road) and Tuckaseegee Road. The study focuses on the portion of the property located on the northeast quadrant of Mooresville and Tuckaseegee Roads, the location of the proposed tower. The contiguous parcels to the north and southwest are low-density residential developments. The remaining contiguous properties are vacant land under the same ownership.

The following chart provides a summary of the contiguous properties. The parcel for the proposed site is subdivided by Mooresville, Tuckaseegee and Plum Roads into four portions. The proposed tower will be on the portion of the property on the northeast quadrant of the intersection of Tuckaseegee and

Mooresville Roads. Because of this subdivision, the number of contiguous properties is limited to the properties on the northeast quadrant as the contiguous properties to the south and west are under the same ownership.

Contiguous Properties Summary					
Tax ID	Address	Owner	Land (Acres)	Improvements	Use
4693-17-9093	2311 Oxford Drive	Robert & Sherrie Bost	0.93	SFD	Residential
4693-26-1919	2313 Oxford Drive	Timothy & Christy Hanchett	0.79	SFD	Residential
4693-26-3903	2317 Oxford Drive	William & Lucinda Freas	0.91	SFD	Residential
4693-26-5911	2319 Oxford Drive	Terry & Donna Woods	1	SFD	Residential
4693-26-7737	2325 Oxford Drive	James & Jessica Munro	1.05	SFD	Residential
4693-36-0547	2329 Oxford Drive	Roberto & Lori Cina	2.79	SFD	Residential
4693-36-2611	2335 Oxford Drive	Roberto & Lori Cina	1.382	Vacant	Vacant
4693-46-0275	7200 Mooresville Road	Sylvia Lanspery	6.43	SFD	Residential
4693-16-7018	7627 Tuckaseegee Road	Lee Dang & Yang Mai Doua	1.19	SFD	Residential
4693-15-6933	7645 Tuckaseegee Road	Anthony & Trina Meltvedt	0.56	SFD	Residential
4693-15-6814	7649 Tuckaseegee Road	TMS Custom Designs, Inc.	0.61	Vacant	Vacant
4693-15-5765	7653 Tuckaseegee Road	Nick McIntosh	0.64	Vacant	Vacant
4693-15-5645	7657 Tuckaseegee Road	Lance Brown	0.66	Vacant	Vacant
4693-15-5505	7661 Tuckaseegee Road	Kimmy Sechler & Christina Vaughn	0.78	SFD	Residential
4693-15-5376	7750 Mooresville Road	Marleen Wingler	0.58	SFD	Residential

The properties highlighted in yellow are the properties to the north of the proposed development. The remaining properties are to the southwest of the proposed tower. We segment the properties into two categories as the visual impact of the tower is similar for the two clusters of contiguous properties.

As we will discuss in the following section, the scope of the assignment is to determine whether the proposed development is in accordance with the Cabarrus County zoning ordinance regarding the issuance of a conditional use permit. The items within our field of expertise are detailed in the following section.

## CABARRUS COUNTY ZONING ORDINANCE

The criteria from the ordinance are used in conjunction with the observations of the proposed development and nearby properties. In addition to the four findings of fact with respect to the conditional use, the Cabarrus County Ordinance provided the following physical characteristics to consider in the approval. The characteristics are as follows:

- a. Height of the proposed tower;
- b. Proximity of the tower to residential structures and residentially zoned district boundaries;
- c. Nature of uses on adjacent and nearby properties;
- d. Surrounding topography;
- e. Surrounding tree coverage and vegetation;
- f. Design of the tower, with particular reference to design characteristics that reduce or eliminate visual obtrusiveness;
- g. Proposed ingress and egress; and
- h. Availability of suitable existing towers, other structures, or alternative technologies not requiring the use of towers or structures, as discussed in Section 8 below.

The potential impact on property values of contiguous properties considers several of the factors listed in the ordinance. Therefore, we include a summary addressing each of the items that could potentially impact the value of contiguous properties.

*Height* – The height of the proposed tower is 230 feet. Based on research of the market, the height of the tower is on the upper end of the range for other towers in Cabarrus County. The height of the tower is considered in the potential visual impact on nearby properties.

*Residential Proximity* – The subject has an agricultural zoning designation. The zoning in the area consists of low density residential and agricultural. Based on research of towers provided later in the report, there are towers located near residential areas.

*Uses* – As noted earlier, the contiguous properties are either low density residential or vacant land. The vacant land across Tuckaseegee and Mooresville Roads is under the same ownership and is not included in the analysis.

*Trees and Vegetation* – As shown on the previous aerials, there is tree coverage between the proposed development and the contiguous properties to the north. The properties to the southwest will have a more direct view of the tower despite its location further from the tower than the properties to the north.

*Design of the Tower* – The design of the tower is monopole construction. The visual footprint is smaller than lattice towers prevalent in the area. The location and tree cover will reduce or eliminate the visual impact of the proposed tower from the properties to the north.

*Ingress/Egress* – The ingress and egress for the tower will be provided by a gravel driveway and a shared access easement. It is an assumption of this study that the access will meet all local and state requirements.

*Alternate Locations* – This item is outside the scope of my expertise and is not addressed in the study.

The following shows the purpose of the ordinance with respect to the development of a telecommunications facility.

### **Section I Purpose**

The purpose of this Section 36 is to:

- Protect residential areas and land uses from potential adverse impacts of towers and antennas;
- Encourage the location of towers in non-residential and less developed areas;
- Strongly encourage joint use of new and existing tower sites as a primary option rather than construction of additional single-use towers;
- Encourage users of towers and antennas to locate them, to the extent possible, in areas where the adverse impact on the community is minimal;

### **Summary**

The purpose of the ordinance provides two factors that will be addressed in the following section of the study. The ordinance intends to protect residential areas and land uses from potential adverse characteristics and to locate the towers in areas to the extent possible to minimize impact on the neighborhood. As part of the scope of the assignment, I have been asked to determine whether the tower as proposed would maintain or enhance the value of contiguous properties. Conversely, the study addresses whether the proposed tower will adversely impact values of contiguous properties.

## **MARKET RESEARCH**

A potential issue associated with the impact of the proposed development is on property values in the immediate vicinity

and the neighborhood. The criteria for approval of the conditional use permit addresses many of the items that address the magnitude of the visual impact of a proposed tower. My expertise is in property valuation; therefore, we provide a test as to whether the market provides evidence of a diminution in value based on proximity of a cell tower.

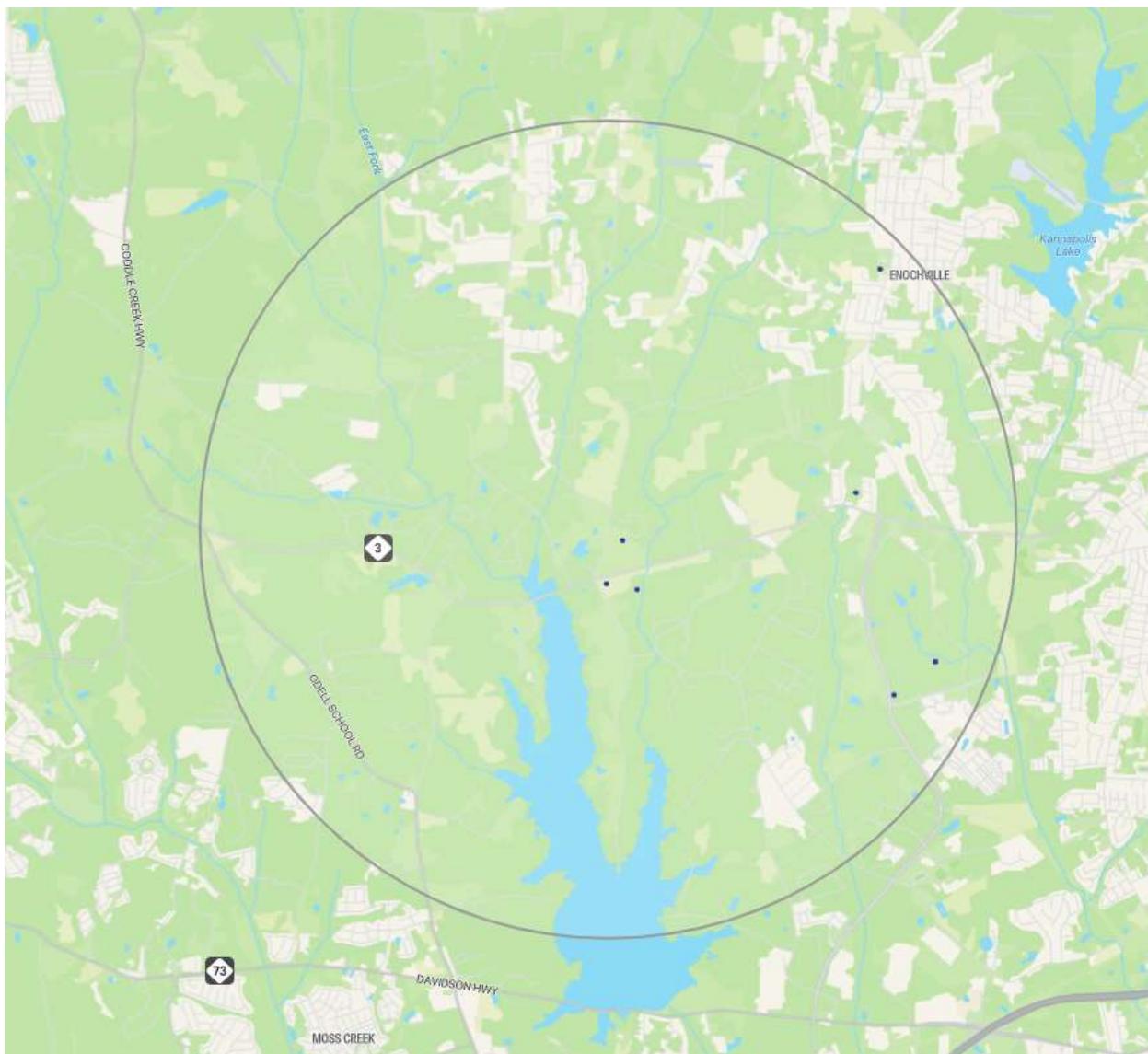
We researched towers in Cabarrus County and identify the development patterns around these towers. After analyzing the market data, we compare this information to the proposed site and the physical characteristics and development patterns surrounding the proposed development.

### Cabarrus County Towers

During our research, we observed several towers in Cabarrus County. The cell towers selected for direct comparison were chosen for a variety of reasons including but not necessarily limited to:

- *Location* – The proposed location is in a growth area of Cabarrus County and includes a mixture of uses.
- *Surrounding Developments* – The surrounding developments along Shiloh Church Road include commercial, vacant land and low-density residential uses.
- *Construction Type/Height* – The proposed tower is a monopole tower with a height of 150 feet.

For the research of towers, we rely on information from antennasearch.com and the Cabarrus County GIS, which we consider reliable sources of information. We excluded towers in commercial and industrial areas as there are too many factors present to isolate the impact, if any, of the tower. Some towers were not visible from the public right-of-way or aerial photos and were excluded. The following map shows towers that were within three miles of the proposed tower.



Our research revealed four registered towers and three non-registered towers within a three-mile radius of the proposed tower. The first criteria in selecting an appropriate tower for comparison is the height of the tower. We have excluded towers less than 100 feet in size as they are too small to be considered comparable. The following provides some information revealed by the towers in proximity to the proposed tower.

The first tower is on a large tract of land with an address of 4920 Rankin Road. This tower is comparable to the subject in that it has a height of 230 feet and is of monopole construction. The tower is located at the edge of the cleared

area adjacent to a tree line. The surrounding land uses are comparable to the subject. However, our tour of this area revealed that the tower is not visible from the residential properties because of the tree cover and topography. The remaining contiguous properties did not provide adequate quality or quantity of data to develop a credible quantitative analysis. We note that the site of this property also has several iron maidens for electrical transmission lines similar to the subject.

The second tower is located at 5814 Mooresville Road. This tower has a height of 199 feet and is of monopole construction. The contiguous properties include some similar residential properties to the east of the tower. During our tour of this tower, we observed a water tower located within the neighborhood that posed a significantly higher visual impact than the tower. The market for the properties with a visual impact of the tower was inadequate to develop a credible quantitative analysis.

The third tower researched for analysis is located at 4431 Rogers Lake Road. This monopole tower has a height of 174 feet. Based on our observations during our tour of this tower, it did not appear visible from any of the contiguous properties because of its siting, existing tree cover and topography.

The other towers found were either not comparable to the proposed area or did not provide adequate market data to develop a credible quantitative analysis. The surrounding area would be considered in transition from a low-density residential and agricultural area to a suburban development pattern. The road improvements to the east recognize the potential for a change in highest and best use along this section of the Highway 3 corridor in the future. The most limiting factor to development is access to municipal sanitary sewer service. Given the likelihood of a change in use, we provide examples of low-density residential developments

consistent with the existing land uses and examples of suburban residential developments.



10300 Poplar Tent Road



This tower was researched because of its location along a growth corridor and the ability to isolate the potential impact of the visual influence of the tower. The lattice construction poses a larger visual footprint than the proposed monopole tower. The following chart provide sales data for the adjacent development with the most significant characteristics of the comparison listed in the chart. The sales in yellow are for the houses with the highest level of visual influence from the tower as shown in the photograph. The sales highlighted in green are for sales of the same property.

Fullerton @ Skybrook												
Parcel #	Street Address	Sales Date	Size (SF)	\$/SF	Sales Price	Parcel #	Street Address	Sales Date	Size (SF)	\$/SF	Sales Price	
4671-72-9757	575 MARTHAS VIEW DR NW	Apr 20 2017	3,033	\$ 93.97	\$ 285,000	4671-83-8097	10375 RUTLEDGE RIDGE DR NW	Feb 15 2017	2,846	\$ 99.79	\$ 284,000	
4671-72-9757	575 MARTHAS VIEW DR NW	Mar 25 2019	3,033	\$ 104.85	\$ 318,000	4671-83-8390	10392 RUTLEDGE RIDGE DR NW	Dec 14 2016	2,246	\$ 111.31	\$ 250,000	
4671-73-7074	595 MARTHAS VIEW DR NW	Jul 31 2017	2,870	\$ 91.99	\$ 264,000	4671-83-8390	10392 RUTLEDGE RIDGE DR NW	Apr 12 2019	2,246	\$ 119.32	\$ 268,000	
4671-73-7074	595 MARTHAS VIEW DR NW	Aug 7 2018	2,870	\$ 77.00	\$ 221,000	4671-83-8706	10415 RUTLEDGE RIDGE DR NW	Feb 16 2018	2,545	\$ 104.13	\$ 265,000	
4671-73-7074	595 MARTHAS VIEW DR NW	Mar 7 2019	2,870	\$ 95.12	\$ 273,000	4671-83-8786	10416 RUTLEDGE RIDGE DR NW	Jul 1 2019	2,697	\$ 112.16	\$ 302,500	
4671-73-7090	591 MARTHAS VIEW DR NW	Oct 11 2017	3,313	\$ 87.23	\$ 289,000	4671-83-9283	10378 RUTLEDGE RIDGE DR NW	Dec 6 2016	2,696	\$ 111.28	\$ 300,000	
4671-73-7090	591 MARTHAS VIEW DR NW	Jun 15 2018	3,313	\$ 90.55	\$ 300,000	4671-83-9388	1314 BRIDGEFORD DR NW	Jan 13 2020	3,315	\$ 95.32	\$ 316,000	
4671-73-8245	1223 BRIDGEFORD DR NW	Oct 12 2016	2,563	\$ 95.59	\$ 245,000	4671-83-9388	1314 BRIDGEFORD DR NW	Mar 23 2020	3,315	\$ 96.83	\$ 321,000	
4671-73-8297	1227 BRIDGEFORD DR NW	Jul 17 2018	2,835	\$ 105.82	\$ 300,000	4671-83-9536	10404 RUTLEDGE RIDGE DR NW	May 18 2018	3,071	\$ 97.69	\$ 300,000	
4671-73-9130	1224 BRIDGEFORD DR NW	Dec 4 2017	2,493	\$ 89.85	\$ 224,000	4671-83-9536	10404 RUTLEDGE RIDGE DR NW	Oct 4 2019	3,071	\$ 105.83	\$ 325,000	
4671-82-0649	567 MARTHAS VIEW DR NW	Feb 8 2018	2,870	\$ 98.61	\$ 283,000	4671-92-3547	10327 RUTLEDGE RIDGE DR NW	May 20 2019	3,312	\$ 95.41	\$ 316,000	
4671-82-0685	563 MARTHAS VIEW DR NW	Apr 9 2020	2,697	\$ 114.20	\$ 308,000	4671-92-3827	1303 MCDERMOTT WAY NW	Jul 8 2020	2,983	\$ 117.35	\$ 350,000	
4671-82-1809	574 MARTHAS VIEW DR NW	Jul 13 2017	2,907	\$ 89.44	\$ 260,000	4671-92-4746	10334 RUTLEDGE RIDGE DR NW	Jul 31 2019	2,675	\$ 108.41	\$ 290,000	
4671-82-1842	10345 WESSON HUNT RD NW	Mar 29 2018	2,020	\$ 131.19	\$ 265,000	4671-92-5493	10348 HILLSBOROUGH ST NW	Apr 12 2019	2,567	\$ 108.69	\$ 279,000	
4671-82-1895	10349 WESSON HUNT RD NW	Apr 23 2018	2,226	\$ 116.80	\$ 260,000	4671-92-5844	1312 MCDERMOTT WAY NW	Aug 16 2018	3,006	\$ 106.47	\$ 320,000	
4671-82-2548	555 MARTHA'S VIEW DR NW	Feb 28 2018	2,759	\$ 103.30	\$ 285,000	4671-92-5879	1316 MCDERMOTT WAY NW	Apr 3 2018	2,999	\$ 100.72	\$ 302,000	
4671-82-2963	10357 WESSON HUNT RD NW	May 15 2018	2,706	\$ 104.95	\$ 284,000	4671-92-7998	10391 HILLSBOROUGH ST NW	Jul 25 2018	2,545	\$ 115.13	\$ 293,000	
4671-82-3618	10346 WESSON HUNT RD NW	Oct 17 2018	3,027	\$ 100.76	\$ 305,000	4671-92-8871	10384 HILLSBOROUGH ST NW	May 29 2019	2,545	\$ 109.23	\$ 278,000	
4671-82-4872	10362 WESSON HUNT RD NW	Jun 8 2017	2,251	\$ 114.62	\$ 258,000	4671-93-0526	1311 BRIDGEFORD DR NW	Jan 17 2019	2,723	\$ 101.54	\$ 276,500	
4671-82-5817	10366 WESSON HUNT RD NW	Apr 18 2019	2,421	\$ 104.50	\$ 253,000	4671-93-1449	1319 BRIDGEFORD DR NW	Aug 27 2019	2,723	\$ 128.53	\$ 350,000	
4671-83-0135	1232 BRIDGEFORD DR NW	Jul 16 2019	2,835	\$ 100.53	\$ 285,000	4671-93-2070	1308 MALDEN ST NW	Jun 18 2020	2,684	\$ 116.24	\$ 312,000	
4671-83-1024	10391 DOWLING ST NW	Aug 19 2020	3,204	\$ 109.24	\$ 350,000	4671-93-3227	10404 PORTERS POND LN NW	Jul 17 2018	2,927	\$ 104.54	\$ 306,000	
4671-83-1329	1247 BRIDGEFORD DR NW	Feb 12 2018	2,563	\$ 97.93	\$ 251,000	4671-93-3567	10419 PORTERS POND LN NW	Nov 14 2018	3,341	\$ 102.07	\$ 341,000	
4671-83-2147	10395 DOWLING ST NW	Apr 16 2018	2,274	\$ 105.54	\$ 240,000	4671-93-4352	10412 PORTERS POND LN NW	Feb 6 2019	2,691	\$ 127.83	\$ 344,000	
4671-83-2147	10396 DOWLING ST NW	Oct 12 2018	2,274	\$ 110.38	\$ 251,000	4671-93-4535	10423 PORTERS POND LN NW	Mar 21 2018	2,846	\$ 105.41	\$ 300,000	
4671-83-2414	1255 BRIDGEFORD DR NW	May 30 2019	3,235	\$ 82.69	\$ 267,500	4671-93-6127	1361 BRIDGEFORD DR NW	May 11 2018	2,545	\$ 111.98	\$ 285,000	
4671-83-2414	1255 BRIDGEFORD DR NW	Sep 20 2019	3,235	\$ 94.59	\$ 306,000	4671-93-6176	1365 BRIDGEFORD DR NW	Apr 25 2018	2,246	\$ 124.44	\$ 279,500	
4671-83-3051	10367 WESSON HUNT RD NW	Oct 5 2018	2,441	\$ 103.24	\$ 252,000	4671-93-7187	1373 BRIDGEFORD DR NW	Jul 1 2020	2,739	\$ 125.96	\$ 345,000	
4671-83-6383	10395 RUTLEDGE RIDGE DR NW	Nov 2 2017	3,313	\$ 91.31	\$ 302,500	4681-03-0044	10408 HILLSBOROUGH ST NW	Nov 29 2018	2,869	\$ 106.66	\$ 306,000	
4671-83-6413	1284 BRIDGEFORD DR NW	Feb 28 2017	2,622	\$ 96.11	\$ 252,000	4681-03-1406	10437 HILLSBOROUGH ST NW	Nov 12 2019	2,545	\$ 117.88	\$ 300,000	
4671-83-6464	1290 BRIDGEFORD DR NW	Jun 28 2018	2,551	\$ 116.03	\$ 296,000	4681-03-2205	10428 HILLSBOROUGH ST NW	Sep 1 2017	3,526	\$ 89.34	\$ 315,000	
4671-83-7606	10407 RUTLEDGE RIDGE DR NW	Aug 18 2020	2,784	\$ 123.92	\$ 345,000	4681-03-2205	10428 HILLSBOROUGH ST NW	Jun 17 2019	3,526	\$ 98.41	\$ 347,000	

The sales have an average price of \$104.96 per square foot or \$291,320. The range of the sales is from \$77.00 to \$131.19 per square foot. The highest price paid per square foot is for a home with visual influence of the tower. After adjusting the sales for a variety of physical and legal characteristics, the conclusion is that the visibility of the tower has no impact on the prices paid.



2735 Odell School Road



This tower was researched because of its location and the ability to isolate the potential impact of the visual influence of the tower. The lattice construction poses a larger visual footprint than the proposed monopole tower, but the distance to the properties provides a similar visual impact. The

following chart provide sales data for the adjacent development with the most significant characteristics of the comparison listed in the chart. The sales in yellow are for the houses with the highest level of visual influence from the tower as shown in the photograph.

Wellington Chase											
Parcel Number	Street Address	Sales Date	Size (SF)	\$ per SF	Sales Price	Parcel Number	Street Address	Sales Date	Size (SF)	\$ per SF	Sales Price
4682-02-9341	2673 TREELINE DR	Apr 18 2018	3,270	\$ 119.27	\$ 390,000	4682-22-8895	2560 TREELINE DR	Feb 24 2020	3,525	\$ 103.55	\$ 365,000
4682-11-1574	9658 ESTRIDGE LN	Oct 30 2018	3,968	\$ 87.58	\$ 347,500	4682-22-9436	2477 WELLINGTON CHASE DR	Aug 31 2018	3,376	\$ 139.96	\$ 472,500
4682-11-1748	9711 LOCKWOOD RD	Jul 17 2020	3,925	\$ 115.92	\$ 455,000	4682-22-9533	2483 WELLINGTON CHASE DR	Jul 14 2020	3,269	\$ 118.38	\$ 387,000
4682-11-3479	9650 ESTRIDGE LN	Jul 17 2018	3,875	\$ 103.74	\$ 402,000	4682-22-9865	2556 TREELINE DR	Aug 30 2018	3,038	\$ 130.68	\$ 397,000
4682-11-3479	9650 ESTRIDGE LN	May 13 2019	3,875	\$ 100.13	\$ 388,000	4682-30-0929	2240 WELLINGTON CHASE DR	Apr 19 2018	4,127	\$ 97.65	\$ 403,000
4682-11-3616	9639 LOCKWOOD RD	Jan 6 2020	2,591	\$ 138.94	\$ 360,000	4682-30-4876	2119 PRAIRIE RD	Jun 19 2020	3,017	\$ 142.53	\$ 430,000
4682-11-5205	9643 ESTRIDGE LN	Aug 10 2017	3,741	\$ 126.19	\$ 472,000	4682-30-5975	9564 HORSEBIT LN	Mar 1 2019	2,197	\$ 145.65	\$ 320,000
4682-11-5936	2421 SATCHEL LN	May 16 2018	3,521	\$ 115.02	\$ 405,000	4682-30-7697	2146 PRAIRIE RD	Apr 12 2019	2,223	\$ 137.23	\$ 305,000
4682-11-7717	9622 LOCKWOOD RD	Apr 30 2018	3,470	\$ 112.68	\$ 391,000	4682-30-7948	9565 HORSEBIT LN	Dec 8 2017	3,044	\$ 105.45	\$ 321,000
4682-11-8328	9632 ESTRIDGE LN	Nov 7 2017	3,203	\$ 120.82	\$ 387,000	4682-30-7948	9565 HORSEBIT LN	Nov 20 2018	2,816	\$ 119.85	\$ 337,500
4682-11-8828	2424 SATCHEL LN	Jun 12 2019	3,692	\$ 113.22	\$ 418,000	4682-30-7948	9565 HORSEBIT LN	Sep 25 2019	2,816	\$ 126.07	\$ 355,000
4682-11-9327	9628 ESTRIDGE LN	May 25 2018	3,751	\$ 106.37	\$ 399,000	4682-30-7971	9575 HORSEBIT LN	Aug 14 2018	3,162	\$ 115.43	\$ 365,000
4682-11-9582	9611 LOCKWOOD RD	Sep 19 2019	3,568	\$ 114.63	\$ 409,000	4682-30-8986	2193 PRAIRIE RD	Oct 11 2017	3,134	\$ 106.41	\$ 333,500
4682-12-0539	2670 TREELINE DR	Sep 15 2017	3,099	\$ 117.46	\$ 364,000	4682-30-9636	2158 PRAIRIE RD	Aug 26 2020	2,197	\$ 156.58	\$ 344,000
4682-12-2972	9724 COLTS NECK LN	Jun 14 2019	3,350	\$ 111.94	\$ 375,000	4682-30-9807	2175 PRAIRIE RD	Sep 29 2017	3,098	\$ 115.24	\$ 357,000
4682-12-5916	2568 SHOAL PARK RD	May 15 2019	3,307	\$ 116.42	\$ 385,000	4682-31-1943	2454 WELLINGTON CHASE DR	Jul 27 2020	3,488	\$ 105.50	\$ 368,000
4682-12-8597	2622 TREELINE DR	Sep 28 2018	2,969	\$ 116.20	\$ 345,000	4682-31-4938	9177 MARASOL LN	Dec 29 2017	2,758	\$ 111.31	\$ 307,000
4682-13-3225	2589 SHOAL PARK RD	Feb 10 2020	3,286	\$ 119.60	\$ 393,000	4682-31-5051	9558 HORSEBIT LN	May 14 2018	2,971	\$ 114.44	\$ 340,000
4682-13-3430	2603 SHOAL PARK RD	May 20 2019	3,350	\$ 119.40	\$ 400,000	4682-31-5305	9528 HORSEBIT LN	Apr 26 2018	2,980	\$ 124.83	\$ 372,000
4682-13-3430	2603 SHOAL PARK RD	Sep 17 2019	3,350	\$ 119.40	\$ 400,000	4682-31-5462	9522 HORSEBIT LN	Oct 11 2017	2,991	\$ 123.37	\$ 369,000
4682-13-3438	2608 SHOAL PARK RD	Mar 15 2018	3,304	\$ 116.22	\$ 384,000	4682-31-5781	2265 PRAIRIE RD	Jan 19 2018	3,002	\$ 118.25	\$ 355,000
4682-13-6477	9700 JAMESTOWN RD	May 21 2020	2,948	\$ 118.72	\$ 350,000	4682-31-6552	2247 PRAIRIE RD	Sep 27 2017	2,192	\$ 156.71	\$ 343,500
4682-13-7447	9694 JAMESTOWN RD	Jan 26 2018	3,341	\$ 122.27	\$ 408,500	4682-31-7268	2225 PRAIRIE RD	Nov 3 2017	2,429	\$ 123.18	\$ 299,000
4682-13-8488	9682 JAMESTOWN RD	Nov 27 2017	2,948	\$ 118.72	\$ 350,000	4682-31-7281	2219 PRAIRIE RD	Jun 10 2020	3,157	\$ 121.95	\$ 385,000
4682-13-9457	9676 JAMESTOWN RD	Oct 3 2019	3,443	\$ 114.73	\$ 395,000	4682-31-7334	2231 PRAIRIE RD	Oct 25 2017	2,773	\$ 110.53	\$ 306,500
4682-21-2694	2416 SPUR LN	Apr 16 2020	3,977	\$ 90.52	\$ 360,000	4682-31-7747	2258 PRAIRIE RD	Aug 23 2017	2,975	\$ 122.52	\$ 364,500
4682-21-3463	2408 SPUR LN	Sep 5 2019	3,862	\$ 103.57	\$ 400,000	4682-31-7747	2258 PRAIRIE RD	May 28 2020	2,975	\$ 132.77	\$ 395,000
4682-21-3533	2412 SPUR LN	Oct 3 2019	3,363	\$ 113.29	\$ 381,000	4682-31-7760	2252 PRAIRIE RD	Sep 29 2017	1,699	\$ 161.57	\$ 274,500
4682-21-7415	2404 CLARIDGE RD	Jun 24 2020	4,189	\$ 107.42	\$ 450,000	4682-31-7760	2252 PRAIRIE RD	May 14 2018	1,699	\$ 152.44	\$ 259,000
4682-21-8804	9450 LOCKWOOD RD	Apr 4 2019	3,650	\$ 106.85	\$ 390,000	4682-31-7903	9270 LOCKWOOD RD	Oct 30 2018	3,318	\$ 111.51	\$ 370,000
4682-22-2743	2504 MILL WRIGHT RD	Feb 16 2018	3,465	\$ 112.55	\$ 390,000	4682-31-8115	2213 PRAIRIE RD	Mar 16 2018	2,381	\$ 123.48	\$ 294,000
4682-22-2820	2508 MILL WRIGHT RD	Dec 27 2018	2,948	\$ 118.72	\$ 350,000	4682-31-8476	2236 PRAIRIE RD	Nov 9 2017	2,137	\$ 140.38	\$ 300,000
4682-22-3540	2595 TREELINE DR	Aug 24 2017	3,311	\$ 117.79	\$ 390,000	4682-32-3825	2540 TREELINE DR	Jun 28 2018	2,764	\$ 117.58	\$ 325,000
4682-22-4099	2421 CLARIDGE RD	Oct 25 2018	3,506	\$ 109.67	\$ 384,500	4682-32-5093	9163 MARASOL LN	Jun 5 2018	3,822	\$ 91.18	\$ 348,500
4682-22-4574	2587 TREELINE DR	Jun 15 2018	2,744	\$ 116.62	\$ 320,000	4682-32-5093	9163 MARASOL LN	Aug 28 2019	3,822	\$ 99.03	\$ 378,500
4682-22-4574	2587 TREELINE DR	May 2 2019	2,744	\$ 111.70	\$ 306,500	4682-32-5221	9166 MARASOL LN	Jan 4 2019	3,345	\$ 98.65	\$ 330,000
4682-22-4777	2584 TREELINE DR	Jul 30 2019	3,358	\$ 116.14	\$ 390,000	4682-32-6066	9159 MARASOL LN	Jul 30 2018	2,633	\$ 117.74	\$ 303,000
4682-22-5537	2583 TREELINE DR	Jun 15 2018	3,374	\$ 117.07	\$ 395,000	4682-32-6066	9159 MARASOL LN	Apr 4 2019	2,633	\$ 115.08	\$ 303,000
4682-22-5830	2580 TREELINE DR	Nov 20 2018	2,988	\$ 123.83	\$ 370,000	4682-32-8101	9151 MARASOL LN	Mar 16 2018	3,860	\$ 94.82	\$ 366,000
4682-22-6802	2576 TREELINE DR	May 21 2018	2,823	\$ 121.15	\$ 342,000	4682-32-8653	2516 TREELINE DR	Jun 12 2018	3,384	\$ 110.82	\$ 375,000
4682-22-6864	2572 TREELINE DR	Dec 21 2017	2,732	\$ 119.88	\$ 327,500	4682-40-0970	2182 PRAIRIE RD	May 14 2019	3,069	\$ 128.71	\$ 395,000
4682-22-7854	2568 TREELINE DR	Mar 28 2019	2,812	\$ 120.02	\$ 337,500	4682-41-1696	2437 BENSEALEM LN	Jul 16 2018	3,201	\$ 105.59	\$ 338,000
4682-22-7854	2568 TREELINE DR	Jul 3 2019	2,812	\$ 120.91	\$ 340,000	4682-42-0091	2456 TREELINE DR	May 15 2018	3,424	\$ 107.48	\$ 368,000

The sales have an average price of \$117.85 per square foot or \$365,488. The range of the sales is from \$87.58 to \$161.57 per square foot. The quantity of data allows for a credible analysis of the other statistical variances. The standard deviation is \$13.96 per square foot. All the sales with visual influence lie within one standard deviation of the mean. After adjusting the sales for a variety of physical and legal characteristics, the conclusion is that the visibility of the tower has no impact on the prices paid.



Wyndham Estates Sales Summary						
Address	Acres	Year Built	Size (SF)	Sale Date	Sale Price	Price/SF
348 ROYAL WINDSOR DR	0.9	2018	2,399	July-18	\$ 260,000	\$ 108.38
344 ROYAL WINDSOR DR	0.73	2016	2,508	November-16	\$ 252,500	\$ 100.68
340 ROYAL WINDSOR DR	0.55	2016	2,708	September-17	\$ 267,500	\$ 98.78
336 ROYAL WINDSOR DR	0.57	2015	2,748	June-15	\$ 230,000	\$ 83.70
345 ROYAL WINDSOR DR	0.8	2017	2,403	April-18	\$ 255,000	\$ 106.12
332 ROYAL WINDSOR DR	0.57	2014	2,772	May-19	\$ 285,000	\$ 102.81
328 ROYAL WINDSOR DR	0.56	2014	2,467	March-15	\$ 219,500	\$ 88.97
339 ROYAL WINDSOR DR	0.89	2017	2,745	December-17	\$ 280,000	\$ 102.00
324 ROYAL WINDSOR DR	0.55	2014	3,117	March-15	\$ 256,500	\$ 82.29
335 ROYAL WINDSOR DR	0.57	2015	2,201	November-15	\$ 240,000	\$ 109.04
320 ROYAL WINDSOR DR	0.54	2014	3,127	October-18	\$ 284,000	\$ 90.82
331 ROYAL WINDSOR DR	0.56	2016	2,274	August-16	\$ 244,000	\$ 107.30
327 ROYAL WINDSOR DR	0.55	2015	2,810	April-16	\$ 239,000	\$ 85.05
312 ROYAL WINDSOR DR	0.77	2013	2,464	March-18	\$ 260,000	\$ 105.52
323 ROYAL WINDSOR DR	0.54	2015	3,139	August-15	\$ 260,500	\$ 82.99
313 ROYAL WINDSOR DR	0.68	2010	2,298	June-15	\$ 212,000	\$ 92.25
309 ROYAL WINDSOR DR	0.73	2010	2,928	September-15	\$ 205,000	\$ 70.01
304 ROYAL WINDSOR DR	0.69	2014	3,103	May-15	\$ 250,000	\$ 80.57
304 ROYAL WINDSOR DR	0.69	2014	3,103	October-18	\$ 285,000	\$ 91.85
305 ROYAL WINDSOR DR	0.8	2015	2,484	June-15	\$ 233,000	\$ 93.80

13935 Old Camden Road

This tower was researched because it provides an example of newer residential development comparable to likely future development patterns in the area. The monopole construction is more comparable to the proposed tower than the lattice towers from the previous examples. The previous chart provides sales data for the adjacent development with the most significant characteristics of the comparison listed in the

chart. The sales in yellow are for the houses with the highest level of visual influence from the tower as shown in the photograph. The sales highlighted in green are for the properties located furthest from the tower and the lowest level of visual impact.

The sale of the house pictured earlier sold in 2015 and resold last year showing an appreciation of 14%. Further, the resale price of \$285,000 is the highest price point for the neighborhood. After analysis of the factors listed in the chart and other less influential items, the visual impact of the tower is concluded not to adversely impact the value of contiguous properties.

The following are examples derived from studies in rural areas of North Carolina. The intent of this study is to show examples of matched pairs for the current uses of the contiguous properties.

## Rural Towers

The first tower is in Rowan County in a residential area of Tareyton Drive. This is an older residential area with most of the dwellings constructed in the 1970's similar to the residential improvements near the proposed tower. As shown on the following aerial, the tower is in an open field with a similar visual impact for the properties to the southwest of the proposed tower. The tower has a similar height to the subject.



The following sales were found in the area. The two properties highlighted in green have the highest level of visual impact from the tower.

Sales Summary									
Parcel	Address	Land (Acres)	Bedrooms	Baths	SF	Year Built	Sale Date	Sales Price	Price/SF
102 561	3009 Daisy Ct	0.25	3	1	1,600	1974	1/13/17	\$ 35,000	\$ 21.88
102 622	442 Newcastle Rd	0.22	3	1	1,100	1974	12/29/17	\$ 45,000	\$ 40.91
102 507	3218 Spring Valley	0.34	4	2	1,538	1972	10/10/16	\$ 78,000	\$ 50.72
102 491	3220 Spring Valley	0.3	3	1	1,092	1972	12/14/17	\$ 99,000	\$ 90.66
152 857	655 Kilborne Dr.	0.2	3	1	1,050	1978	8/21/15	\$ 37,000	\$ 35.24
152 839	601 Dundeen Dr.	0.22	3	1	1,075	1978	12/31/15	\$ 36,000	\$ 33.49
152 820	630 Dundeen Dr.	0.2	3	1	1,050	1977	1/5/17	\$ 48,000	\$ 45.71
152 797	636 Colebrook Dr.	0.2	3	1	1,000	1977	11/30/16	\$ 60,000	\$ 60.00
137 766	609 Belfast Dr.	0.21	3	1	1,050	1976	7/28/14	\$ 45,000	\$ 42.86
137 758	602 Belfast Dr.	0.2	3	1	1,050	1976	8/21/15	\$ 30,000	\$ 28.57
137 734	657 Belfast Dr.	0.21	3	1	1,050	1976	11/21/17	\$ 53,000	\$ 50.48

All the sales have similar lot sizes, location and year built. As with many older homes, the most significant factor influencing price paid is the condition of the improvements. The first “green” sale in the chart included a basement, which would require an adjustment. The presence of the basement skews the price paid per square foot. Upon further research, this dwelling was reported as “needing some work”. From a price point perspective, the sale is on the lower end of the range, which is reasonable given the reported condition of the improvements and presence of a basement.

The second “green” sale did not include a basement and was reported in fair condition. Again, this sale is consistent with the other sales in the data set. The analysis of this sale shows consistency with other residential sales in the area despite its location and visual impact from the tower. We note that the tower is only partially visible from this property consistent with the residential properties north of the proposed development.

For a previous study in Gaston County, we found a tower with some low-density residential developments. This tower is located closer to the road in an open field with a similar visual

presence than the proposed tower. The following exhibits provide an aerial and street scene for the tower.



1852 County Line Road



As shown on the previous aerial, there are residential developments across the street from the tower. This tower is a similar height and monopole construction. As with most rural areas of North Carolina, the market data is limited. The following data consists of some modular homes that sold along County Line Road across the street from the tower to some modular homes that sold in Lewis Farm Estates. The following chart provides a summary of the sales.

Property Sales Summary						
Address	Sale Date	Sales Price	Acres	SF	Price/SF	Year Built
1848 County Line Road	5/24/11	\$ 100,000	1	1,908	\$ 52.41	1999
1846 County Line Road	11/16/07	\$ 90,000	1.03	1,512	\$ 59.52	2004
1519 Lewis Farm Road	3/5/15	\$ 116,000	2.42	1,842	\$ 62.98	1999
1526 Lewis Farm Road	8/29/07	\$ 170,000	2.88	2,881	\$ 59.01	2006

In the analysis of these sales, there are several factors that contribute to the price paid. The smaller lot sizes for the properties near the tower would warrant a downward adjustment to these sales. Regardless, the range of prices paid per square foot is considered small. The indication from this analysis is that similar single family dwelling prices paid are comparable despite the visual impact of the cell tower. The market data indicates that even with absence of a vegetative buffer, the tower does not substantially injure the value of contiguous properties.

Another tower on a residentially zoned property is located along the NC Highway 138 corridor in Stanly County. The tower is a monopole with a height of 195 feet. Research of the market for the adjacent properties revealed a recent sale of the adjacent property to the north of the property improved with the tower. The following chart provides a summary of sales found in the area. The sale of the adjacent property is highlighted in yellow. The other sales are for other properties providing similar utility.

Matched Pair Analysis								
Sale Date	Address	Acres	Size (SF)	Year Built	BR	BA	Sale Price	Price/SF
3/12/20	12483 NC Hwy 138	2	1,500	1955	3	1	\$ 140,000	\$ 93.33
1/30/20	12514 NC Hwy 138	1.91	1,070	1954	2	1	\$ 103,000	\$ 96.26
6/13/19	32621 Chapel Rd.	2.59	1,734	1993	3	2	\$ 150,000	\$ 86.51
10/26/17	32612 Chapel Rd.	2.04	1,421	1981	2	1	\$ 114,000	\$ 80.23
5/10/20	33515 S. Stanly School Rd.	14.46	1,008	1959	2	1	\$ 117,000	\$ 116.07
1/17/19	12028 NC Hwy 138	1.06	1,860	1947	3	2	\$ 160,000	\$ 86.02
4/16/19	12018 NC Hwy 138	0.95	1,501	1949	3	1	\$ 149,000	\$ 99.27
6/18/18	11636 NC Hwy 138	0.68	1,709	1945	3	1	\$ 115,000	\$ 67.29
6/16/19	12273 Old Aquadale Rd.	1.2	1,865	1965	3	1.5	\$ 170,000	\$ 91.15

As shown on the previous chart, the sale of the property adjacent to the tower site is on the upper end of the range on a price per square foot as well as price point. After researching and adjusting these sales for physical and market variances in comparison to the sale adjacent to the tower, the analysis indicates that there is no diminution in value caused by the presence of a tower on the adjacent property.

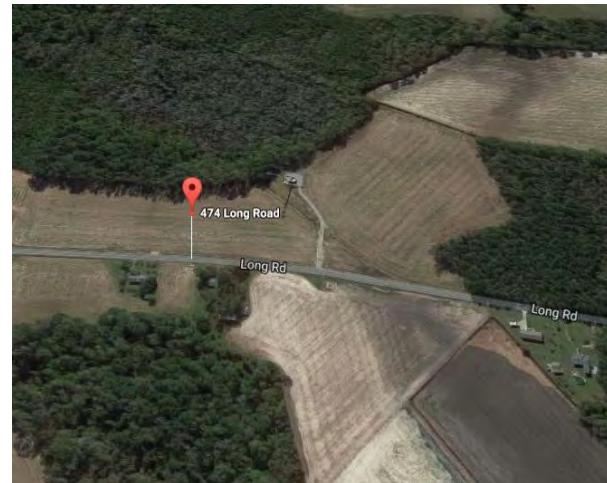
We also provide the results from a study in Robeson County. The scope of the impact study addressed the potential impact of value on properties in the neighborhood. The following provides market data for the towers found in Robeson County that low-density residential.

The following data is segregated into two categories: single family homes and vacant land. For all the data sets, the properties highlighted in yellow are those properties along the same corridor as the tower. These properties are compared to properties highlighted in green, which are along similar streets

without a tower. We include additional market data as background for the paired sales analyses.



474 Long Road



This tower has a height of 180 feet. The other towers selected for comparison in this portion of the study are in areas with agricultural and low-density residential. The low-density residential developments include homes constructed over a wide time span including some estate style homes. The market data for single family dwellings are summarized in the following chart.

SFD SALES						
Address	Sale Date	Sales Price	Year Built	SF	Acres	\$/SF
46 SURRY	5/25/2005	\$68,000	1986	1,152	2.34	\$ 59.03
121 SURRY	10/29/2007	\$93,000	1978	1,443	1	\$ 64.45
285 JUNE	5/15/2009	\$41,000	2000	1,632	1	\$ 25.12
992 LONG RD	8/20/2007	\$57,500	1978	972	1	\$ 59.16
867 LONG RD	11/5/2009	\$27,000	1962	800	1.52	\$ 33.75
719 LONG RD	6/8/2015	\$87,000	1989	1,437	4.37	\$ 60.54
1148 LONG RD	8/14/2015	\$227,500	2005	2,029	1.8	\$ 112.12

The analysis of these sales as well as other sales presented later in this section includes several factors including but not necessarily limited to size, age, and lot size. The most compelling market data is the consistency in the prices paid per square foot for the highlighted properties. The comparison of the data shows some offsetting characteristics but does provide evidence that the cell tower located along Long Road does not injure property values in the area.

The second data set is for land sales found in the area. The highlighted properties are for residential lots consistent with the low-density development patterns in the neighborhood.

LAND SALES				
Address	Sale Date	Sales Price	Acres	\$/Acre
181 TROY DR	6/11/2010	\$150,000	19.63	\$ 7,641
WILKES RD	5/1/2013	\$20,000	7.39	\$ 2,706
859 LONG RD	8/22/2012	\$15,000	1.24	\$ 12,097
OFF LONG RD	3/24/2015	\$22,000	3.43	\$ 6,414

Contrary to the market data for single family dwellings, the most compelling information from this data set is the price point for the residential lots. The size of the lots is the most influential factor on price point. Again, the market data indicates that the tower has not impeded demand for land along the Long Road corridor nor has it injured land values in the area.



7746 E Hwy 211



This tower has a height of 300-feet and is in Lumberton, North Carolina. I have applied the same methodology as the previous analyses and segregated the data into single family dwellings and vacant land. The sales for single family dwellings are summarized in the following chart.

SFD SALES						
Address	Sale Date	Sales Price	Year Built	SF	Acres	\$/SF
913 HARRIS RD	1/31/2017	\$65,000	2005	1,443	1	\$ 45.05
4642 OLD ALLENTON	12/7/2015	\$64,000	1950	912	1	\$ 70.18
146 BEAR BAY	11/13/2014	\$48,000	1980	1,456	2.69	\$ 32.97
877 OLD ALLENTON	6/25/2013	\$46,500	1969	1,506	1.5	\$ 30.88
9697 NC 211	6/26/2012	\$61,000	1955	1,170	1.24	\$ 52.14
8355 E NC HWY 211	6/3/2015	\$75,000	1988	1,152	4.22	\$ 65.10

The physical variance in this data set would require a higher level of adjustment. Notwithstanding this fact, the sales along

the 211 corridor provide a similar price point and price paid per square foot. The offsetting nature of the variances is reflected in the similar price point for most sales with the property closest to the tower having the highest price point. The analysis of this data set provides further evidence to our conclusion.

The following chart provides a summary of land sales for the area. Again, applying the same methodology as the previous analyses.

LAND SALES				
Address	Sale Date	Sales Price	Acres	\$/Acre
NC HWY 211	12/17/2014	\$17,500	0.59	\$ 29,661
699 BAY BEAR	6/18/2015	\$17,000	8.13	\$ 2,091
HARRIS RD	5/14/2015	\$8,500	1	\$ 8,500
HARRIS RD	8/17/2015	\$9,000	1.27	\$ 7,087
3 PITTMAN	4/4/2014	\$250,000	93.22	\$ 2,682
WILKES	5/1/2013	\$20,000	7.39	\$ 2,706
481 HARRIS RD	2/8/2013	\$25,500	0.92	\$ 27,717
538 DERWOOD	9/17/2012	\$45,000	17.74	\$ 2,537
DERWOOD	7/19/2012	\$80,000	24.84	\$ 3,221
PITTMAN	5/21/2012	\$15,000	14.08	\$ 1,065

The best matched pair in this data set is from the sales of two mobile home lots. While the price point was higher for the sale on Harris Road, the price per acre was higher for the lot on Highway 211. This indicates that size was a significant factor in the price paid. The size variance would be the most significant factor. The only other sale found lies on the lower end of the range of the data set, which is considered reasonable given its physical characteristics including some areas that appear to be undevelopable.



**Kinlaw Road, Lumberton,  
NC**

The land sales in the area provide the most compelling evidence in the neighborhood for this tower. The following chart provides a summary of land sales in the area.

LAND SALES				
Address	Sale Date	Sales Price	Acres	\$/Acre
HOWELL RD	5/25/2012	\$98,000	47	\$ 2,085
TARHEEL RD	12/12/2012	\$13,000	3.37	\$ 3,858
346 BARNHILL	9/3/2013	\$28,500	8	\$ 3,563
5168 TARHEEL	1/3/2014	\$30,000	9.15	\$ 3,279
<b>KINLAW RD</b>	<b>9/4/2014</b>	<b>\$27,000</b>	<b>6.87</b>	<b>\$ 3,930</b>

The sale closest to the tower sold for the highest price per acre. Again, the market data for land around this cell tower indicates that the tower does not injure the prices paid for land in the neighborhood.

The following is a summary of single-family dwelling sales found in the neighborhood.

SFD SALES						
Address	Sale Date	Sales Price	Year Built	SF	Acres	\$/SF
88 BARNHILL	4/30/2012	\$76,000	1995	1,458	2.01	\$ 52.13
6876 HOWELL	5/22/2012	\$55,000	1988	1,344	1.98	\$ 40.92
7889 HOWELL	12/17/2012	\$37,500	1950	1,454	1.86	\$ 19.23
5168 TARHEEL	5/9/2013	\$125,000	1958	1,980	5	\$ 63.84
6225 HOWELL	8/10/2016	\$200,000	1999	2,837	1.01	\$ 100.05
6257 HOWELL	2/10/2017	\$225,000	2007	3,303	1	\$ 112.11
306 TARHEEL	10/17/2013	\$177,500	1953	3,087	5.03	\$ 90.89
3647 TARHEEL	9/5/2014	\$46,000	1992	1,296	0.92	\$ 23.09
5478 TARHEEL	10/3/2014	\$125,000	2002	1,920	8.4	\$ 62.44
8191 HOWELL	11/10/2014	\$71,000	1980	1,032	1.02	\$ 35.86
470 KINLAW RD	12/31/2014	\$42,500	1982	1,338	1.5	\$ 21.44
<b>KINLAW RD</b>	<b>6/15/2015</b>	<b>\$73,500</b>	<b>1962</b>	<b>1,485</b>	<b>0.89</b>	<b>\$ 37.46</b>

The review of sales of single-family dwellings reveals that age and condition of the improvements is the most significant factor in the prices paid. Development in the area is sparse and supply side pressures in the market and low number of transactions indicates that the neighborhood is in the stable phase of its economic development. This is similar to the subject's neighborhood. The sales price paid for the properties along the corridor of the tower and other corridors is consistent.



## Summary

Based on the analysis of the data provided and development patterns around towers throughout Cabarrus County, we conclude that the presence of a wireless support structure does not impede the orderly development of the area. Further, the market does not recognize an adverse impact to property values for contiguous properties.

## Other Considerations

Other potential impacts to the surrounding area include noise, traffic, and lighting. The operation of a cell tower is essentially silent and would not influence the surrounding developments. The additional traffic caused by the proposed development is nominal and would likely occur for routine maintenance. Any increases in traffic are considered nominal and does not impact contiguous properties. Since the tower is over 200 feet, there will be a light atop the tower. Some of the towers presented earlier and other studies for towers over 200 feet indicate that the light will not adversely impact surrounding properties.

## Conclusions

Western Cabarrus County has experienced strong growth and this activity is likely to continue. The commercial development at intersections along transportation corridors will provide the necessary services to support the increasing population. These uses are not impeded by the development of a cell tower. The results of studies including those included in this report show consistency between prices paid for single family dwellings in areas where cell towers are visible. Therefore, I conclude that the proposed development of a cell tower will not substantially injure the value of contiguous properties. Consistent with the

Cabarrus County Ordinance, the proposed development will either maintain or enhance values of contiguous properties.

#### Subject Neighborhood

In addition to the market activity for existing towers, we also consider the surrounding developments for the subject. The question posed for this study is “would the development of the telecommunications support structure warrant a downward adjustment to adjacent properties?”

When considering an adjustment in an appraisal, the appraiser must consider all factors that could contribute to an adjustment. The aesthetics and location of the proposed development as well as the existing developments are a factor in developing our opinion. The factors considered in developing our opinion include but are not necessarily limited to:

- The market has not shown a detrimental impact on development patterns in areas with visual influence from a tower.
- The subject property is improved with iron maidens for electrical transmission lines that pose a significantly larger visual impact than the proposed tower.
- The proposed development is adjacent to an existing tree line that will obscure a significant portion if not all the tower from the contiguous properties to the north.

All these factors would contribute to the aesthetic appeal and a hypothetical valuation of properties in the neighborhood. The multitude of factors would indicate that multicollinearity for aesthetics exists along this section of the Highway 3 corridor. Multicollinearity arises when multiple items correlate with each other. The multiple factors can cause a distortion of the impact of any of the factors individually

without consideration for all the factors that contribute to the common issue.

In the case of the proposed development, all the properties along the contiguous properties within the viewshed of the proposed tower have visual impact from other existing infrastructure. These factors contribute to our conclusion that the proposed development is in harmony with development patterns along Highway 3 (Mooresville Road). To attribute any adjustment to the proposed development would be misleading and not result in a credible adjustment. In other words, any adjustment for the development of a tower in a wooded area on a property with significant electrical infrastructure without consideration of these other external influences would not be credible.

Therefore, it is our opinion that the proposed development in accordance with the proposed conditions will either maintain or enhance the value of contiguous properties. We recognize that the aesthetics of the area certainly contribute to the overall appeal, the proposed development has siting and existing buffers to minimize to the extent possible the visual impact of the proposed tower. It is my opinion that the proposed development will not substantially detract from the aesthetics or character of the neighborhood because of its location and existing above ground infrastructure and proximity to a primary transportation corridor.



Michael P. Berkowitz

---

## **ADDENDA**

## **Certifications**

**CERTIFICATION OF THE APPRAISER**

I, Michael P. Berkowitz, certify that, to the best of my knowledge and belief,

1. The statements of fact contained in this report are true and correct.
2. The reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions and are my personal, impartial, and unbiased professional analyses, opinions, and conclusions.
3. I have no present or prospective interest in the property that is the subject of this report and no personal interest with respect to the parties involved.
4. I have performed no services, as an appraiser or in any other capacity, regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment.
5. I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
6. My engagement in this assignment was not contingent upon developing or reporting predetermined results.
7. My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
8. The reported analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the *Uniform Standards of Professional Appraisal Practice*.
9. I have made a personal inspection of the property that is the subject of this report.
10. No one provided significant real property appraisal assistance to the person(s) signing this certification other than those individuals having signed the attached report.



Michael P. Berkowitz  
(NC State Certified General Real Estate Appraiser #A6169)  
(SC State Certified General Real Estate Appraiser #CG6277)

April 15, 2022

Date

(Rev: 06/18/12)

## **ASSUMPTIONS AND LIMITING CONDITIONS**

## ASSUMPTIONS AND LIMITING CONDITIONS

### Limit of Liability

The liability of MPB REAL ESTATE, LLC and employees is limited to the client only and to the fee actually received by our firm. Further, there is no accountability, obligation, or liability to any third party. If this report is placed in the hands of anyone other than client, the client shall make such party aware of all limiting conditions and assumptions of the assignment and related discussions. Further, client will forever indemnify and hold MPB REAL ESTATE, LLC, its officers, and employees harmless from any claims by third parties related in any way to the appraisal or study which is the subject of the report. Third parties shall include limited partners of client if client is a partnership and stockholders of client if client is a corporation, and all lenders, tenants, past owners, successors, assigns, transferees, and spouses of client. MPB REAL ESTATE, LLC will not be responsible for any costs incurred to discover or correct any deficiencies of any type present in the property, physically, financially, and/or legally.

### Copies, Distribution, Use of Report

Possession of this report or any copy of this report does not carry with it the right of publication, nor may it be used for other than its intended use; the physical report remains the property of MPB REAL ESTATE, LLC for the use of the client, the fee being for the analytical services only.

The bylaws and regulations of the Appraisal Institute require each member and candidate to control the use and distribution of each report signed by such member or candidate; except, however, the client may distribute copies of this report in its entirety to such third parties as he may select; however, selected portions of this report shall not be given to third parties without the prior written consent of the signatories of this report. Neither all nor any part of this report shall be disseminated to the general public by the use of advertising media, public relations, news, sales or other media for public communication without the prior written consent of MPB REAL ESTATE, LLC.

### Confidentiality

This report is to be used only in its entirety and no part is to be used without the whole report. All conclusions and opinions concerning the analysis as set forth in the report were prepared by MPB REAL ESTATE, LLC whose signatures appear on the report. No change of any item in the report shall be made by anyone other than MPB REAL ESTATE, LLC. MPB REAL ESTATE, LLC shall have no responsibility if any such unauthorized change is made.

MPB REAL ESTATE, LLC may not divulge the material contents of the report, analytical findings or conclusions, or give a copy of the report to anyone other than the client or his designee as specified in writing except as may be required by the Appraisal Institute as they may request in confidence for ethics enforcement, or by a court of law or body with the power of subpoena.

### Trade Secrets

This report was obtained from MPB REAL ESTATE, LLC and consists of "trade secrets and commercial or financial information" which is privileged and confidential and exempted from disclosure under 5 U.S.C. 552 (b) (4) of the Uniform Commercial Code. MPB REAL ESTATE, LLC shall be notified of any request to reproduce this report in whole or in part.

## Information Used

No responsibility is assumed for accuracy of information furnished by or work of others, the client, his designee, or public records. We are not liable for such information or the work of subcontractors. The comparable data relied upon in this report has been confirmed with one or more parties familiar with the transaction or from affidavit or other sources thought reasonable; all are considered appropriate for inclusion to the best of our factual judgment and knowledge. An impractical and uneconomic expenditure of time would be required in attempting to furnish unimpeachable verification in all instances, particularly as to engineering and market-related information. It is suggested that the client consider independent verification as a prerequisite to any transaction involving sale, lease, or other significant commitment of funds for the subject property.

## Financial Information

Our value opinion(s) have been based on unaudited financials, and other data provided to us by management and/or owners. If these reports are found to be inaccurate, we reserve the right to revise our value opinion(s). It is noted we are depending on these accounting statements as being accurate and our interpretation of these statements as being accurate as well. If these assumptions later prove to be false, we reserve the right to amend our opinions of value.

## Testimony, Consultation, Completion of Contract for Report Services

The contract for report, consultation, or analytical service is fulfilled and the total fee payable upon completion of the report, unless otherwise specified. MPB REAL ESTATE, LLC or those assisting in preparation of the report will not be asked or required to give testimony in court or hearing because of having made the report, in full or in part, nor engage in post report consultation with client or third parties except under separate and special arrangement and at an additional fee. If testimony or deposition is required because of any subpoena, the client shall be responsible for any additional time, fees, and charges, regardless of issuing party.

## Exhibits

The illustrations and maps in this report are included to assist the reader in visualizing the property and are not necessarily to scale. Various photographs, if any, are included for the same purpose as of the date of the photographs. Site plans are not surveys unless so designated.

## Legal, Engineering, Financial, Structural or Mechanical Nature, Hidden Components, Soil

No responsibility is assumed for matters legal in character or nature, nor matters of survey, nor of any architectural, structural, mechanical, or engineering nature. No opinion is rendered as to the title, which is presumed to be good and marketable. The property is appraised as if free and clear, unless otherwise stated in particular parts of the report. The legal description is assumed to be correct as used in this report as furnished by the client, his designee, or as derived by MPB REAL ESTATE, LLC.

MPB REAL ESTATE, LLC has inspected as far as possible, by observation, the land and the improvements; however, it was not possible to personally observe conditions beneath the soil, or hidden structural, mechanical or other components, and MPB REAL ESTATE, LLC shall not be responsible for defects in the property which may be related.

The report is based on there being no hidden, unapparent, or apparent conditions of the property site, subsoil or structures or toxic materials which would render it more or less valuable. No

responsibility is assumed for any such conditions or for any expertise or engineering to discover them. All mechanical components are assumed to be in operable condition and status standard for properties of the subject type. Conditions of heating, cooling, ventilation, electrical, and plumbing equipment are considered to be commensurate with the condition of the balance of the improvements unless otherwise stated. We are not experts in this area, and it is recommended, if appropriate, the client obtain an inspection of this equipment by a qualified professional.

If MPB REAL ESTATE, LLC has not been supplied with a termite inspection, survey or occupancy permit, no responsibility or representation is assumed or made for any costs associated with obtaining same or for any deficiencies discovered before or after they are obtained. No representation or warranties are made concerning obtaining the above-mentioned items.

MPB REAL ESTATE, LLC assumes no responsibility for any costs or consequences arising due to the need, or the lack of need, for flood hazard insurance. An agent for The Federal Flood Insurance Program should be contacted to determine the actual need for Flood Hazard Insurance.

### **Legality of Use**

The report is based on the premise that there is full compliance with all applicable federal, state and local environmental regulations and laws unless otherwise stated in the report; further, that all applicable zoning, building and use regulations, and restrictions of all types have been complied with unless otherwise stated in the report. Further, it is assumed that all required licenses, consents, permits, or other legislative or administrative authority, local, state, federal and/or private entity or organization have been or may be obtained or renewed for any use considered in the value estimate.

### **Component Values**

The distribution of the total valuation in this report between land and improvements applies only under the existing program of utilization. The separate valuations for land and building must not be used in conjunction with any other report and are invalid if so used.

### **Auxiliary and Related Studies**

No environmental or impact studies, special market study or analysis, highest and best use analysis, study or feasibility study has been required or made unless otherwise specified in an agreement for services or in the report.

### **Dollar Values, Purchasing Power**

The market value estimated, and the costs used are as of the date of the estimate of value, unless otherwise indicated. All dollar amounts are based on the purchasing power and price of the dollar as of the date of the value estimate.

### **Inclusions**

Furnishings and equipment or personal property or business operations, except as specifically indicated and typically considered as a part of real estate, have been disregarded with only the real estate being considered in the value estimate, unless otherwise stated. In some property types, business and real estate interests and values are combined.

**Proposed Improvements, Conditional Value**

Improvements proposed, if any, onsite or offsite, as well as any repairs required, are considered for purposes of this report to be completed in a timely, good and workmanlike manner, according to information submitted and/or considered by MPB REAL ESTATE, LLC. In cases of proposed construction, the report is subject to change upon inspection of property after construction is completed.

**Value Change, Dynamic Market, Influences, Alteration of Estimate**

The estimated value, which is defined in the report, is subject to change with market changes over time. Value is highly related to exposure, time, promotional effort, terms, motivation, and conditions surrounding the offering. The value estimate considers the productivity and relative attractiveness of the property physically and economically in the marketplace.

In cases of reports involving the capitalization of income benefits, the estimate of market value or investment value or value in use is a reflection of such benefits and MPB REAL ESTATE, LLC's interpretation of income and yields and other factors derived from general and specific client and market information. Such estimates are as of the date of the estimate of value; thus, they are subject to change as the market and value is naturally dynamic.

The "estimate of market value" in the report is not based in whole or in part upon the race, color, or national origin of the present owners or occupants of the properties in the vicinity of the property appraised.

**Report and Value Estimate**

Report and value estimate are subject to change if physical or legal entity or financing differ from that envisioned in this report.

**Management of the Property**

It is assumed that the property which is the subject of this report will be under prudent and competent ownership and management.

**Hazardous Materials**

Unless otherwise stated in this report, the existence of hazardous substances, including without limitation, asbestos, polychlorinated biphenyls, petroleum leakage, or agricultural chemicals, which may or may not be present on the property, or other environmental conditions, were not called to the attention of nor did MPB REAL ESTATE, LLC become aware of such during their inspection. MPB REAL ESTATE, LLC had no knowledge of the existence of such materials on or in the property unless otherwise stated. MPB REAL ESTATE, LLC, however, is not qualified to test such substances or conditions. If the presence of such substances such as asbestos, urea formaldehyde foam insulation, or other hazardous substances or environmental conditions, may affect the value of the property, the value estimate is predicated on the assumption that there is no such condition on or in the property or in the proximity that it would cause a loss in value. No responsibility is assumed for any such conditions, nor for any expertise or engineering knowledge required to discover them.

**Soil and Subsoil Conditions**

Unless otherwise stated in this report, MPB REAL ESTATE, LLC does not warrant the soil or subsoil conditions for toxic or hazardous waste materials. Where any suspected materials might

be present, we have indicated in the report; however, MPB REAL ESTATE, LLC are not experts in this field and recommend appropriate engineering studies to monitor the presence or absence of these materials.

**Americans with Disabilities Act (ADA)**

“MPB REAL ESTATE, LLC has not made a specific compliance survey and analysis of this property to determine whether or not it is in conformity with the various detailed requirements of the Americans with Disabilities Act (ADA), which became effective January 26, 1992. It is possible that a compliance survey of the property together with a detailed analysis of the requirements of the ADA could reveal that the property is not in compliance with one or more of the requirements of the Act. If so, this fact could have a negative effect upon the value of the property. Since MPB REAL ESTATE, LLC has no direct evidence relating to this issue, we did not consider possible non-compliance with the requirements of ADA in estimating the value of the property.”

## **Qualifications of the Analyst**

**QUALIFICATIONS OF THE ANALYST*****Michael P. Berkowitz***

MPB Real Estate, LLC, Inc.  
1430 South Mint Street, Suite 102  
Charlotte, North Carolina 28203  
(704) 334-4686  
FAX (704) 334-2759

---

**EDUCATION AND CREDENTIALS**

- **Duke University**  
Major: Economics 1985-1989
- **Central Piedmont Community College**  
R-1 - Introduction to Real Estate Appraisal, 2002  
R-2 - Valuation Principles and Procedures, 2002  
R-3 - Applied Residential Property Valuation, 2002  
G-1 - Introduction to Income Property Appraisal, 2003
- **Bob Irock and Associates**  
G-2 - Advanced Income Capitalization Procedures, 2003  
G-3 - Applied Property Income Valuation 2004
- **Appraisal Institute**  
520 Highest and Best Use and Market Analysis, 2004  
Seminar Rates, Multipliers and Ratios 2005  
530 Advanced Sales Comparison and Cost Approaches 2006  
Seminar Apartment Appraisal, Concepts & Applications 2009  
Seminar Appraising Distresses Commercial Real Estate 2009  
Seminar Appraising Convenience Stores 2011  
Seminar Analyzing Operating Expenses 2011

**AFFILIATIONS AND ACTIVITIES**

- **Association Memberships**  
North Carolina State Certified General Real Estate Appraiser, October 2006, Certificate No. A6169

**RELATED EXPERIENCE**

- Provided real estate consulting services for a variety of clients including real estate brokers, property owners and financial planners
- Performed financial feasibility studies for multiple property types including golf communities, and renovation projects.
- Developed plan for self-contained communities.
- Racetrack expertise

## APPRAISAL EXPERIENCE

A partial list of types of properties appraised include:

- Retail Properties, Single and Multi-Tenant, Proposed and Existing
- Office Single and Multi-Tenant Proposed and Existing
- Mixed-Use Properties, Proposed and Existing
- Industrial Properties, Warehouse, Flex and Manufacturing
- Vacant Land
- Condemnation
- C-Stores
- Racetracks

## CLIENTELE

- Bank of America
- Transylvania County
- Cabarrus County
- Mecklenburg County
- City of Statesville
- NC Department of Transportation
- Henry County, GA
- Town of Loudon, NH
- First Citizens Bank
- RBC Centura Bank
- City of Charlotte
- City of Concord
- Union County
- BB & T
- Aegon USA Realty Advisors
- Sun Trust Bank
- First Charter Bank
- Regions Bank
- Charlotte Housing Authority
- Alliance Bank and Trust
- Broadway Bank
- Duke Energy Corporation
- Jim R. Funderburk, PLLC
- Hamilton, Fay, Moon, Stephens, Steele & Martin
- Senator Marshall A. Rauch
- Perry, Bundy, Plyler & Long, LLP
- Robinson, Bradshaw & Hinson
- CSX Real Property
- Baucom, Clayton, Burton, Morgan & Wood, PA
- City of Mount Holly
- Our Towns Habitat for Humanity
- Parker, Poe, Adams & Bernstein, LLP
- Central Carolina Bank

Southern Community Bank and Trust



May 19, 2022

Tim Scott  
PeakNet  
9887 Fourth Street North, Suite 100  
St. Petersburg, FL 33702

RE: Proposed 230' Monopole + 5' lightning rod (235' total) for Concord, NC  
(Sabre proposal # 22-5821-JDS)

Dear Mr. Scott,

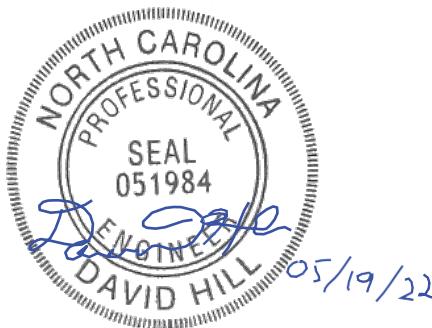
Upon receipt of order, we propose to design and supply the above-referenced monopole for a Basic Wind Speed of 110 mph without ice and 30 mph with 1.5" ice, Structure Classification II, Exposure Category C, and Topographic Category 1, in accordance with the Telecommunications Industry Association Standard ANSI/TIA-222-G, "Structural Standards for Steel Antenna Towers and Antenna-Supporting Structures", to support (3) carriers with industry-standard loads for antennas, lines, and associated equipment.

When designed according to this standard, the wind pressures and steel strength capacities include several safety factors, resulting in an overall minimum safety factor of 25%. Therefore, it is highly unlikely that the monopole will fail structurally in a wind event where the design wind speed is exceeded within the range of the built-in safety factors.

Should the wind speed increase beyond the capacity of the built-in safety factors, to the point of failure of one or more structural elements, the most likely location of the failure would be within the monopole shaft, above the base plate. Assuming that the wind pressure profile is similar to that used to design the monopole, the monopole will buckle at the location of the highest combined stress ratio within the monopole shaft. This is likely to result in the portion of the monopole above leaning over and remaining in a permanently deformed condition. This would effectively result in a fall radius of 90'. *Please note that this letter only applies to the above-referenced monopole designed and manufactured by Sabre Industries.*

Sincerely,

David Hill, P.E.  
Design Engineer II



**Tim Scott**

Peaknet  
9887 Fourth Street N, Suite 100  
St. Petersburg, FL 33702  
919 413-5324

**Subject: Concord MP - Tower Decom Bid**  
7615 Tuckaseegee Rd  
Kannapolis, NC 28081

Mr. Scott:

Thank you for giving Tower Engineering Professionals (TEP) the opportunity to work for you. TEP proposes the following construction services:

Item of Work	Fee (\$)	Notes
Dismantle 235-ft Monopole Tower	\$34,678	Remove all antennas, mounts, and coax and dispose
Demolish foundation to 1-ft below grade	\$10,000	Demolish and remove concrete below grade, fill and grade as required
Remove concrete equipment pads	\$31,000	Remove all equipment and shelter pads, fill and grade as required
Removal of ground equipment	\$14,500	Haul all materials to any location within 50 miles of the site
Remove Fencing, H Frames, Conduit, Wire, Gravel	\$9,500	Remove all fencing, grounding, power, and telco
Disposal/Out of town expenses	\$5,500	Disposal cost and travel time expenses
<b>TOTAL FEE</b>	<b>\$105,178</b>	<b>Lump Sum</b>

**Total required bond if 125% of lump sum (1.25 X \$105,178 - \$131,472.50)**

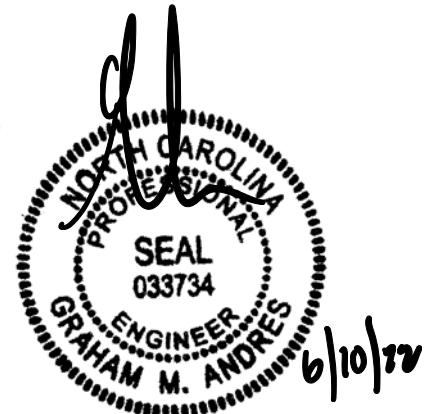
Thank you for this opportunity,

**Tower Engineering Professionals, Inc.**

Graham Andres, P.E., P.Eng.

Vice-President

gandres@tepgroup.net





STATE OF NORTH CAROLINA  
DEPARTMENT OF TRANSPORTATION

ROY COOPER  
GOVERNOR

J. ERIC BOYETTE  
SECRETARY

March 31, 2022

District One  
Cabarrus County

Mr. Chris Bernardo  
PeakNet Services, LLC  
9887 Fourth Street N, Suite 100  
St. Petersburg, Florida 33702

Subject: Driveway Permit C-1913 Cell Tower Tuckaseegee Road (D101-013-22-00023)

Dear Mr. Bernardo,

Enclosed is an executed copy of the subject Driveway Entrance Permit that has been reviewed by the appropriate staff agencies within the Division of Highways. The permit covers the following:

• **SR 1616 (Tuckaseegee Road)**

Upgrade of existing driveway at 7615 Tuckaseegee Road for installation of proposed cell tower. Upgrade will consist of widening existing driveway to 26' wide, and paving the first 50' (from edge of SR 1616) with S.95C asphalt surface course. Access currently is graded at top of a crest and does not need any drainage pipe. Upon completion new drive shall also be graded this way, or drainage pipe of appropriate size will need to be installed. Specific details of drive are shown on approved plans (dated 3/31/2022) specifically on page C-11B.

This driveway permit approval is also subject to the additional attached Special Provisions.

Sincerely,

A handwritten signature in blue ink, appearing to read "Marc P. Morgan".

Marc P. Morgan, P.E.  
District Engineer

Cc: Tyler Shenk-Tower Engineering Professionals-326 Tryon Road, Raleigh, NC 27603  
Janice Hampton - Cabarrus County Maintenance Engineer  
File

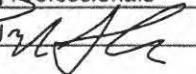
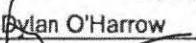
## SPECIAL PROVISIONS

1. Notify Marc Morgan, PE at 704-983-4360 or by email at [mmorgan@ncdot.gov](mailto:mmorgan@ncdot.gov) at least 72 hours prior to construction to schedule preconstruction meeting.
2. Notify owners of conflicting utilities to provide for adjustments prior to the onset of construction. Any utility that may, upon completion of the roadway widening, create a safety hazard to the traveling public, will be relocated at the expense of the developer.
3. A copy of the approved street entrance permit is to be kept on the job site during working hours.
4. Working hours shall be from 9:00 a.m. to 4:00 p.m. with all lanes open to traffic by 4:00 p.m.
5. Complete restoration including fertilizing, seeding and mulching of all areas disturbed during construction will follow within a maximum of thirty (30) working days of the initial disturbing activity in accordance with NCDOT specifications. See attached seeding schedule.
6. During construction operations no material is to be left on the pavement, and at the end of each work day, the roadway is to be cleaned.
7. Any damages caused to the roadway, bridges, culverts or storm drains due to the construction of this entrance will be repaired at the discretion of the engineer in charge.
8. All OSHA rules and regulations shall be adhered to as pertain to this operation.
9. Contact Division Traffic Engineer at 704-982-0101 at least 48 hours prior to construction if any work is to be done within 500 feet of any traffic signals. Any damage to any signal related equipment will be repaired by NCDOT at the expense of the permit applicant.
10. The Division Engineer or a representative thereof reserves the right to stop any work for non-compliance with the terms of this contract.
11. All roadway signs removed due to this construction are to be re-installed as soon as possible.
12. During non-working hours, equipment is to be parked off of the right of way.
13. The Department of Transportation does not guarantee the right of way on this road nor will it be responsible for any claims or damages brought by any property owner.
14. All work shall be constructed in accordance with the attached plans and typicals.
15. The Department of Transportation reserves the right to require compensation for any vegetation located within the right of way that is disturbed or destroyed due to the construction of this entrance.
16. Strict compliance with the "**POLICY ON STREET AND DRIVEWAY ACCESS TO NORTH CAROLINA HIGHWAYS**" manual shall be required.

17. Backfill shall achieve 95% density in accordance with AASHTO T99 as modified by the NCDOT.
18. Any work requiring equipment or personnel within 5' of the edge of the travel lane shall require a lane closure with appropriate taper.
19. The developer, at his expense, shall correct any off-site drainage problems created or made apparent by the construction of these improvements.
20. Any future development or change in use from that which is specified herein will require additional review and possible driveway modification.

<b>APPLICATION IDENTIFICATION</b>		<b>N.C. DEPARTMENT OF TRANSPORTATION</b> <b>STREET AND DRIVEWAY ACCESS</b> <b>PERMIT APPLICATION</b>	
Driveway C-1913 Permit No. D101-013-22-00023	Date of Application 03-11-2022		
County: Cabarrus			
Development Name: Concord MP			
<b>LOCATION OF PROPERTY:</b>			
Route/Road: Tuckaseegee Road (SR 1616)			
Exact Distance +/- 390	<input type="checkbox"/> Miles      N      S      E      W <input checked="" type="checkbox"/> Feet <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>		
From the Intersection of Route No. Tuckaseegee Road and Route No. Oxford Dr Toward Charlotte			
Property Will Be Used For: <input type="checkbox"/> Residential/Subdivision <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Educational Facilities <input type="checkbox"/> TND <input type="checkbox"/> Emergency Services <input type="checkbox"/> Other Property: <input type="checkbox"/> is <input checked="" type="checkbox"/> is not within Kannapolis City Zoning Area.			
<b>AGREEMENT</b>			
<ul style="list-style-type: none"> <li>• I, the undersigned property owner, request access and permission to construct driveway(s) or street(s) on public right-of-way at the above location.</li> <li>• I agree to construct and maintain driveway(s) or street entrance(s) in absolute conformance with the current "Policy on Street and Driveway Access to North Carolina Highways" as adopted by the North Carolina Department of Transportation.</li> <li>• I agree that no signs or objects will be placed on or over the public right-of-way other than those approved by NCDOT.</li> <li>• I agree that the driveway(s) or street(s) will be constructed as shown on the attached plans.</li> <li>• I agree that that driveway(s) or street(s) as used in this agreement include any approach tapers, storage lanes or speed change lanes as deemed necessary.</li> <li>• I agree that if any future improvements to the roadway become necessary, the portion of driveway(s) or street(s) located on public right-of-way will be considered the property of the North Carolina Department of Transportation, and I will not be entitled to reimbursement or have any claim for present expenditures for driveway or street construction.</li> <li>• I agree that this permit becomes void if construction of driveway(s) or street(s) is not completed within the time specified by the "Policy on Street and Driveway Access to North Carolina Highways".</li> <li>• I agree to pay a \$50 construction inspection fee. Make checks payable to NCDOT. This fee will be reimbursed if application is denied.</li> <li>• I agree to construct and maintain the driveway(s) or street(s) in a safe manner so as not to interfere with or endanger the public travel.</li> <li>• I agree to provide during and following construction proper signs, signal lights, flaggers and other warning devices for the protection of traffic in conformance with the current "Manual on Uniform Traffic Control Devices for Streets and Highways" and Amendments or Supplements thereto. Information as to the above rules and regulations may be obtained from the District Engineer.</li> <li>• I agree to indemnify and save harmless the North Carolina Department of Transportation from all damages and claims for damage that may arise by reason of this construction.</li> <li>• I agree that the North Carolina Department of Transportation will assume no responsibility for any damages that may be caused to such facilities, within the highway right-of-way limits, in carrying out its construction.</li> <li>• I agree to provide a Performance and Indemnity Bond in the amount specified by the Division of Highways for any construction proposed on the State Highway system.</li> <li>• The granting of this permit is subject to the regulatory powers of the NC Department of Transportation as provided by law and as set forth in the N.C. Policy on Driveways and shall not be construed as a contract access point.</li> <li>• I agree that the entire cost of constructing and maintaining an approved private street or driveway access connection and conditions of this permit will be borne by the property owner, the applicant, and their grantees, successors, and assignees.</li> <li><b>• I AGREE TO NOTIFY THE DISTRICT ENGINEER WHEN THE PROPOSED WORK BEGINS AND WHEN IT IS COMPLETED.</b></li> </ul>			
2004-07		NOTE: Submit Four Copies of Application to Local District Engineer, N.C. Department of Transportation 61-03419	
TEB 65-04rev.			

## SIGNATURES OF APPLICANT

PROPERTY OWNER (APPLICANT)			
COMPANY	PeakNet Services, LLC	NAME	WITNESS
SIGNATURE		Chris Bernardo	
ADDRESS	9887 Fourth Street N, ST 100 St Petersburg, FL 33702	ADDRESS	9887 Fourth Street N, ST 100 St Petersburg, FL 33702
Phone No. (919) 753-8284			
AUTHORIZED AGENT			
COMPANY	Tower Engineering Professionals	NAME	WITNESS
SIGNATURE		Tyler Shenk	
ADDRESS	326 Tryon Road Raleigh, NC 27603	ADDRESS	326 Tryon Road Raleigh, NC 27603
Phone No. (919) 661-6351			

## APPROVALS

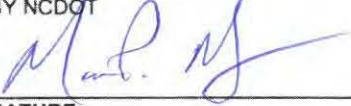
APPLICATION RECEIVED BY DISTRICT ENGINEER

SIGNATURE	DATE
-----------	------

APPLICATION APPROVED BY LOCAL GOVERNMENTAL AUTHORITY (when required)

SIGNATURE	TITLE	DATE
-----------	-------	------

APPLICATION APPROVED BY NCDOT

	DISTRICT ENGINEER	3/31/2022
SIGNATURE	TITLE	DATE

INSPECTION BY NCDOT

SIGNATURE	TITLE	DATE
-----------	-------	------

Site Name: CONCORD  
Site Number: FA15498781

### LAND LEASE AGREEMENT

This Land Lease Agreement (the "Agreement") is agreed and entered into this 8<sup>th</sup> day of June, 2021 (the "Effective Date"), by and between EDWARD D MESIMER TRUST AGRMT, an revocable trust UTA dated July, 29 2016, with a mailing address at 7621 Tuckaseegee Rd., Kannapolis, NC 28081 (hereinafter "Lessor") and PeakNet, LLC, a Delaware limited liability company with its principal offices at 9887 4th Street North, Suite 100, St. Petersburg, FL 33702, hereinafter designated "Lessee." Lessor and Lessee are at times collectively referred to hereinafter as the "Parties" or individually as a "Party."

### WITNESSETH

**WHEREAS**, Lessee wishes to acquire a leasehold interest in certain portions (hereinafter, the "Premises") of that certain real property owned by Lessor (as defined more specifically below, and hereinafter referred to as the "Property") pursuant to this Agreement (hereinafter, the "Lease") in order to develop, construct, maintain, manage, and sub-lease to one or more wireless communications providers (Lessee's wireless carrier sub-lessee or sub-licensee to also be referred to as "Lessee" hereinafter when exercising rights granted hereunder to Lessee), a wireless telecommunications facility, said facility to include, but not be limited to, a monopole structure, above ground or underground wires, cables, conduits (for electrical, fiber optic and other telecommunications related infrastructure), together with antennas, transmitters, receivers, ground based equipment cabinet(s), and associated equipment used for the transmission or reception of radiofrequency signals, as well as back-up power systems (e.g., a generator and related fuel/propane tank[s]) (all of the forgoing being referred to herein as the "Facility"); and

**WHEREAS**, Lessor wishes to enter into the Lease for the Premises with respect to the Property, located in Cabarrus County, North Carolina, all as more particularly described in this Lease.

**NOW THEREFORE**, in consideration of the premises and the mutual promises and benefits contained herein, and for other valuable consideration, the receipt and sufficiency of which are hereby acknowledged, and intending to be legally bound, Lessor and Lessee covenant and agree as follows:

### AGREEMENT

**1. Grant of Lease.** In accordance with this Agreement, Lessor hereby grants to Lessee the right to install, maintain and operate communications equipment ("Use") upon the Premises, which are a part of that real property owned, leased or controlled by Lessor on 7621 Tuckaseegee Rd., Kannapolis, Cabarrus County, North Carolina, 28081 (the "Property"). The Property is legally described on Exhibit "A" attached hereto and made a part hereof. The Premises are a portion of the Property and are approximately 50' x 50' (2,500) square feet, and are shown in detail on Exhibit "B" attached hereto and also made a part hereof.

**2. Initial Term.** This Agreement shall be effective as of the date of execution by both Parties ("Effective Date"). The initial term of the Agreement shall be for five (5) years beginning on the "Commencement Date," which shall be defined as and mean the first day of the month in which Lessee begins construction activities related to and necessary to prepare the Premises for the Facility. The Parties agree to acknowledge the Commencement Date in writing.

**3. Extensions.** This Agreement shall automatically be extended for five (5) additional five (5) year terms unless Lessee terminates it prior to the end of the then current term by giving Lessor written notice of Lessee's election and intent to not renew and thus terminate this Lease at the end of the then term, said notice to be given, in accordance with the Notice provisions set forth in Section 20 below, at least sixty (60) days prior to the end of the then current term. The initial term and all extensions shall be individually and/or collectively referred to herein as the "Term."

**4. Rental.**

**(a) Annual Rent.** The annual rent for the Premises shall be [REDACTED] for first (1<sup>st</sup>) carrier installation and an additional [REDACTED] for second (2<sup>nd</sup>) carrier installation, and shall begin on the Commencement Date, to be paid in a single annual payment, in advance, to Lessor at or to such other person, firm, or place as Lessor may, from time to time, designate in writing at least thirty (30) days in advance of any rental payment date by notice given in accordance with Paragraph 20 below ("Rent"). Notwithstanding the foregoing, Lessor and Lessee acknowledge and agree that the initial rental payment may not be delivered by Lessee until at least ninety (90) days after the Commencement Date. Upon agreement of the Parties, Lessee may pay Rent by electronic funds transfer and in such event, Lessor agrees to provide to Lessee bank routing information for such purpose upon request of Lessee.

**(b) Increase at the End of Each Term.** At the end of the initial five (5) year term (or any subsequent five [5] year extension term), the Rent to be paid annually hereunder during the next successive five [5] year term shall increase by [REDACTED] from that paid in that immediately prior and expiring five [5] year term.

**(c)** For any party to whom Rent payments are to be made, Lessor or any successor in interest of Lessor hereby agrees to provide to Lessee (i) a completed, current version of Internal Revenue Service Form W-9 (or equivalent); (ii) complete and fully executed state and local withholding forms if required; and (iii) other documentation to verify Lessor's or such other party's right to receive Rent as is reasonably requested by Lessee. Rents shall accrue in accordance with this Agreement, but Lessee may not deliver Rent payments for up to sixty (60) days after the requested documentation has been received by Lessee.

**(d)** As additional consideration for this Agreement, the sufficiency of which is hereby acknowledged, Lessee shall pay Lessor a one-time, non-refundable, lump-sum signing bonus of [REDACTED], which shall be considered "additional rent" for the Premises for the period from the Effective Date until the Commencement Date. The signing bonus shall be paid by Lessee to Lessor within ninety (90) days of the Effective Date. Lessor agrees the payment to be made by Lessee under this Paragraph 4(d) is fair and adequate payment in exchange for Lessee intentionally delaying installation of Lessee's communications equipment, and Lessor recognizes that Paragraph 2 of this Agreement governs the Commencement Date. This Paragraph 4(d) does not impact whether or not Lessee chooses to install Lessee's communications equipment and commence the Term.

**(e)** Lessee and Lessor acknowledge that the Premises are currently in a parcel which enjoys deferred property taxes and that as a result of this Agreement, Cabarrus County will remove a one-acre unit of land (containing the Premises) from the deferred tax program. Lessor will incur the liability for payment of such taxes for the three prior tax years, plus interest, penalties and costs that may accrue on such unpaid taxes, the total amount related to the

foregoing being agreed to not exceed [REDACTED] (the "Recapture Amount"). Moreover, it is estimated that the annual ad valorem property taxes on such one-acre unit will increase due to use as a wireless communications facility. Accordingly, as additional consideration for this Agreement, Lessee agrees to pay, as additional rent, a one-time payment equal to the Recapture Amount within 10 days' notice by Lessor to Lessee. In addition, Lessee also agrees to pay, with respect to the one-acre unit being taxed based on its use as a wireless communications facility, the ad valorem, personal property, real estate, sales and use taxes, fees, assessment or other taxes or charges imposed by any Government Entity to the extent the same are directly attributable to Lessee's use of the Premises as a wireless communications facility.

**5. Access.** Lessee shall have the non-exclusive right of ingress and egress from a public right-of-way, seven (7) days a week, twenty-four (24) hours a day, over the Property to and from the Premises for the purpose of installation, operation and maintenance of Lessee's communications equipment over, under or along one or more rights-of-way as depicted on Exhibit "B" (collectively, the "Easement"). Lessee may use the Easement for the above ground or underground installation, operation and maintenance of wires, cables, conduits and pipes for all necessary electrical, telephone, fiber and other similar support services. In the event it is necessary in order to construct the Facility, Lessor agrees to grant Lessee or the wireless provider the right to install such additional conduits and/or infrastructure under the Property beyond that reflected on Exhibit B, provided the location of such services shall be reasonably approved by Lessor. In the event Lessor rejects and refuses to grant the foregoing additional rights as may be needed to develop the Facility, Lessee may terminate this Lease by giving Lessor written notice of Lessee's election to so terminate, in accordance with Paragraph 20 below, said notice of termination to take effect ten (10) days after said notice is given, and Lessee shall thereafter no longer have any obligations to pay Rent to Lessor. Notwithstanding anything to the contrary, the Premises shall include such additional space sufficient for Lessee's radio frequency signage and/or barricades as are necessary to ensure Lessee's compliance with Laws (as defined in Paragraph 27).

**6. Condition of Property.** Lessor shall deliver the Premises to Lessee in a condition ready for Lessee's Use and clean and free of debris. Lessor represents and warrants to Lessee that as of the Effective Date, the Premises is (a) in compliance with all Laws (as defined in Paragraph 27); and (b) in compliance with all EH&S Laws (as defined in Paragraph 24).

**7. Improvements.** The communications equipment including, without limitation, the tower structure, antennas, conduits, fencing and other screening, and other improvements shall be constructed and installed at Lessee's expense and the construction and installation shall be at the discretion and option of Lessee. Lessee shall have the right to replace, repair, add or otherwise modify the communications equipment, tower structure, antennas, conduits, fencing and other screening, or other improvements or any portion thereof and the frequencies over which the communications equipment operates, whether or not any of the communications equipment, antennas, conduits or other improvements are listed on any exhibit.

**8. Government Approvals.** Lessee's Use is contingent upon Lessee obtaining all of the certificates, permits and other approvals (collectively the "Government Approvals") that may be required by any Federal, State or Local authorities (collectively, the "Government Entities") as well as a satisfactory soil boring test, environmental studies, or any other due diligence Lessee chooses that will permit Lessee's Use. Lessor shall cooperate with Lessee in its effort to obtain such approvals and shall take no action which would adversely affect the status of the Property with respect to Lessee's Use.

**9. Termination.** Lessee may, unless otherwise stated, immediately terminate this Agreement upon written notice to Lessor in the event that (i) any applications for such Government Approvals should be finally rejected; (ii) any Government Approval issued to Lessee is canceled, expires, lapses or is otherwise withdrawn or terminated by any Government Entity; (iii) Lessee determines that such Government Approvals may not be obtained in a timely manner; (iv) Lessee determines any structural analysis is unsatisfactory; (v) Lessee, in its sole discretion, determines its planned or expected Use of the Premises is obsolete or unnecessary; (vi) with three (3) months prior notice to Lessor, upon the annual anniversary of the Commencement Date; or (vii) at any time before the Commencement Date for any reason or no reason in Lessee's sole discretion.

**10. Indemnification.** Subject to Paragraph 11, each Party and/or any successor and/or assignees thereof, shall indemnify and hold harmless the other Party, and/or any successors and/or assignees thereof, against (i) any and all claims of liability or loss from personal injury or property damage resulting from or arising out of the negligence or willful misconduct of the indemnifying Party, its employees, contractors or agents, except to the extent such claims or damages may be due to or caused by the negligence or willful misconduct of the other Party, or its employees, contractors or agents, and (ii) reasonable attorney's fees, expense, and defense costs incurred by the indemnified Party. Where a claim is the result of the concurrent acts of the Parties, each Party shall be liable under this Paragraph 10 to the extent of its fault or liability therefor. The indemnified Party will provide the indemnifying Party with prompt, written notice of any claim that is subject to the indemnification obligations in Paragraph 10. The indemnified Party will cooperate appropriately with the indemnifying Party in connection with the indemnifying Party's defense of such claim. The indemnifying Party shall defend any indemnified Party, at the indemnified Party's request, against any claim with counsel reasonably satisfactory to the indemnified Party. The indemnifying Party shall not settle or compromise any such claim or consent to the entry of any judgment without the prior written consent of each indemnified Party and without an unconditional release of all claims by each claimant or plaintiff in favor of each indemnified Party. All indemnification obligations shall survive the termination or expiration of this Agreement.

**11. Insurance.** The Parties agree that at their own cost and expense, each will maintain commercial general liability insurance with limits of \$2,000,000 for Lessee (but only \$300,000 for Lessor) for bodily injury (including death) and property damage each occurrence (provided that Lessor, if an individual and not a business, can instead obtain and maintain non-commercial personal/property owners insurance with the same risk coverage and dollar amounts). The Parties agree to include the other Party as an additional insured as their interests may appear under this Agreement. The Parties hereby waive and release any and all rights of action for negligence against the other which may hereafter arise on account of damage to the Premises or the Property, resulting from any fire, or other casualty which is insurable under "Causes of Loss – Special Form" property damage insurance or for the kind covered by standard fire insurance policies with extended coverage, regardless of whether or not, or in what amounts, such insurance is now or hereafter carried by the Parties, even if any such fire or other casualty shall have been caused by the fault or negligence of the other Party. These waivers and releases shall apply between the Parties and they shall also apply to any claims under or through either Party as a result of any asserted right of subrogation. All such policies of insurance obtained by either Party concerning the Premises or the Property shall waive the insurer's right of subrogation against the other Party.

**12. Limitation of Liability.** Except for indemnification pursuant to Paragraphs 10 and 24, a violation of Paragraph 29, or a violation of law, neither Party shall be liable to the other,

or any of their respective agents, representatives, or employees for any lost revenue, lost profits, diminution in value of business, loss of technology, rights or services, loss of data, or interruption or loss of use of service, incidental, punitive, indirect, special, trebled, enhanced or consequential damages, even if advised of the possibility of such damages, whether such damages are claimed for breach of contract, tort (including negligence), strict liability or otherwise, unless applicable law forbids a waiver of such damages.

**13. Interference.**

(a) Lessee agrees that Lessee will not cause interference that is measurable in accordance with industry standards to Lessor's equipment. Lessor agrees that Lessor and other occupants of the Property will not cause interference that is measurable in accordance with industry standards to the then existing equipment of Lessee.

(b) Without limiting any other rights or remedies, if interference occurs and continues for a period in excess of forty-eight (48) hours following notice to the interfering party via telephone to Lessee's at (866) 447-3655 or to Lessor at (704) 224-2002, the interfering party shall or shall require any other user to reduce power or cease operations of the interfering equipment until the interference is cured.

(c) The Parties acknowledge that there will not be an adequate remedy at law for noncompliance with the provisions of this Paragraph and therefore the Parties shall have the right to equitable remedies such as, without limitation, injunctive relief and specific performance.

**14. Removal at End of Term.** Upon expiration or within ninety (90) days of earlier termination, Lessee shall remove Lessee's Facility (except foundation and footings) and restore the Premises to its original condition, reasonable wear and tear and casualty damage excepted. Lessor agrees and acknowledges that the communications equipment shall remain the personal property of Lessee and Lessee shall have the right to remove the same at any time during the Term, whether or not said items are considered fixtures and attachments to real property under applicable laws. If such time for removal causes Lessee to remain on the Premises after termination of the Agreement, Lessee shall pay rent in accordance with Paragraph 15.

**15. Holdover.** If Lessee holds over after the expiration or earlier termination of the Term, then this Agreement shall continue on a month to month basis at the then existing monthly rental rate or the existing monthly pro-rata basis if based upon a longer payment term, until the removal of the communications equipment is completed.

**16. Right of First Refusal.** If at any time after the Effective Date, Lessor receives an offer or letter of intent from any person or entity that is in the business of owning, managing or operating communications facilities or is in the business of acquiring landlord interests in agreements relating to communications facilities, to purchase fee title, an easement, a lease, a license, or any other interest in the Premises or any portion thereof or to acquire any interest in this Agreement, or an option for any of the foregoing, Lessor shall provide written notice to Lessee of said offer ("Lessor's Notice"). Lessor's Notice shall include the prospective buyer's name, the purchase price being offered, any other consideration being offered, the other terms and conditions of the offer, a description of the portion of and interest in the Premises and/or this Agreement which will be conveyed in the proposed transaction, and a copy of any letters of intent or form agreements presented to Lessor by the third party offeror. Lessee shall have the right of first refusal to meet any bona fide offer of sale or transfer on the terms and conditions of such offer or by effectuating a transaction with substantially equivalent financial terms. If Lessee fails

to provide written notice to Lessor that Lessee intends to meet such bona fide offer within forty-five (45) days after receipt of Lessor's Notice, Lessor may proceed with the proposed transaction in accordance with the terms and conditions of such third party offer, in which event this Agreement shall continue in full force and effect and the right of first refusal described in this Paragraph shall survive any such conveyance to a third party. If Lessee provides Lessor with notice of Lessee's intention to meet the third party offer within forty-five (45) days after receipt of Lessor's Notice, then if Lessor's Notice describes a transaction involving greater space than the Premises, Lessee may elect to proceed with a transaction covering only the Premises and the purchase price shall be pro-rated on a square footage basis. Further, Lessor acknowledges and agrees that if Lessee exercises this right of first refusal, Lessee may require a reasonable period of time to conduct due diligence and effectuate the closing of a transaction on substantially equivalent financial terms of the third party offer. Lessee may elect to amend this Agreement to effectuate the proposed financial terms of the third party offer rather than acquiring fee simple title or an easement interest in the Premises. For purposes of this Paragraph, any transfer, bequest or devise of Lessor's interest in the Property as a result of the death of Lessor, whether by will or intestate succession, or any conveyance to Lessor's family members by direct conveyance or by conveyance to a trust for the benefit of family members shall not be considered a sale for which Lessee has any right of first refusal.

**17. Rights Upon Sale.** Should Lessor, at any time during the Term, decide (i) to sell or otherwise transfer all or any part of the Property, or (ii) to grant to a third party by easement or other legal instrument an interest in and to any portion of the Premises, such sale, transfer, or grant of an easement or interest therein shall be under and subject to this Agreement and any such purchaser or transferee shall recognize Lessee's rights hereunder. In the event that Lessor completes any such sale, transfer, or grant described in this Paragraph without executing an assignment of the Agreement whereby the third party agrees in writing to assume all obligations of Lessor under this Agreement, then Lessor shall not be released from its obligations to Lessee under this Agreement, and Lessee shall have the right to look to Lessor and the third party for the full performance of the Agreement.

**18. Lessor's Title/Quiet Enjoyment.** Lessor covenants that Lessee, on paying the rent and performing the covenants herein, shall peaceably and quietly have, hold and enjoy the Premises. Lessor represents and warrants to Lessee that as of the Effective Date, and covenants that during the Term, Lessor has full authority to enter into and execute this Agreement and that there are no liens, judgments, covenants, easement, restrictions or other impediments of title that will adversely affect Lessee's Use.

**19. Assignment.** Without any approval or consent of the other Party, this Agreement may be sold, assigned or transferred by either Party to (i) any entity in which the Party directly or indirectly holds an equity or similar interest; (ii) any entity which directly or indirectly holds an equity or similar interest in the Party; or (iii) any entity directly or indirectly under common control with the Party. Lessee may also assign this Agreement without approval or consent of Lessor to (a) any entity which acquires all or substantially all of Lessee's assets in the market defined by the FCC in which the Property is located by reason of a merger, acquisition or other business reorganization or (b) any entity that is in the business of constructing, owning, managing or operating communications facilities. As to other parties, this Agreement may not be sold, assigned or transferred without the written consent of the other Party, which such consent will not be unreasonably withheld, delayed or conditioned. No change of stock ownership, partnership interest or control of Lessee or transfer upon partnership or corporate dissolution of either Party shall constitute an assignment hereunder. Lessee may sublet the Premises in Lessee's sole and absolute discretion.

**20. Notices.** Except for notices permitted via telephone in accordance with Paragraph 13, all notices hereunder must be in writing and shall be deemed validly given if sent by certified mail, return receipt requested or by commercial courier, provided the courier's regular business is delivery service and provided further that it guarantees delivery to the addressee by the end of the next business day following the courier's receipt from the sender, addressed as follows (or any other address that the Party to be notified may have designated to the sender by like notice):

Lessor:           Edward D Mesimer Trust Agrmt  
                         7621 Tuckaseegee Rd.  
                         Kannapolis, NC 28081

With copy to:

Shelley Law Firm  
115 Church St. N  
Concord, NC 28025

Lessee:           PeakNet, LLC  
                         9887 4th Street North, Suite 100  
                         St. Petersburg, FL 33702  
                         Attention: Legal/Operations

Notice shall be effective upon actual receipt or refusal as shown on the receipt obtained pursuant to the foregoing.

**21. Subordination and Non-Disturbance.** Within fifteen (15) days of the Effective Date, Lessor shall obtain a Non-Disturbance Agreement (as defined below) from existing mortgagee(s), ground Lessors and master Lessors, if any, of the Property. At Lessor's option, this Agreement shall be subordinate to any future master lease, ground lease, mortgage, deed of trust or other security interest (a "Mortgage") by Lessor which from time to time may encumber all or part of the Property; provided, however, as a condition precedent to Lessee being required to subordinate its interest in this Agreement to any future Mortgage covering the Property, Lessor shall obtain for Lessee's benefit a non-disturbance and attornment agreement for Lessee's benefit in the form reasonably satisfactory to Lessee, and containing the terms described below (the "Non-Disturbance Agreement"), and shall recognize Lessee's rights under this Agreement. The Non-Disturbance Agreement shall include the encumbering party's ("Lender's") agreement that, if Lender or its successor-in-interest or any purchaser of Lender's or its successor's interest (a "Purchaser") acquires an ownership interest in the Property, Lender or such successor-in-interest or Purchaser will honor all of the terms of the Agreement. Such Non-Disturbance Agreement must be binding on all of Lender's participants in the subject loan (if any) and on all successors and assigns of Lender and/or its participants and on all Purchasers. In return for such Non-Disturbance Agreement, Lessee will execute an agreement for Lender's benefit in which Lessee (1) confirms that the Agreement is subordinate to the Mortgage or other real property interest in favor of Lender, (2) agrees to attorn to Lender if Lender becomes the owner of the Property and (3) agrees to accept a cure by Lender of any of Lessor's defaults, provided such cure is completed within the deadline applicable to Lessor. In the event Lessor defaults in the payment and/or other performance of any mortgage or other real property interest encumbering the Property, Lessee, may, at its sole option and without obligation, cure or correct Lessor's default and upon doing so, Lessee shall be subrogated to any and all rights, titles, liens and equities of the holders of such mortgage or other real property interest and Lessee shall be entitled to deduct and

setoff against all rents that may otherwise become due under this Agreement the sums paid by Lessee to cure or correct such defaults.

**22. Default.** It is a "Default" if (i) either Party fails to comply with this Agreement and does not remedy the failure within thirty (30) days after written notice by the other Party or, if the failure cannot reasonably be remedied in such time, if the failing Party does not commence a remedy within the allotted thirty (30) days and diligently pursue the cure to completion within ninety (90) days after the initial written notice, or (ii) Lessor fails to comply with this Agreement and the failure interferes with Lessee's Use and Lessor does not remedy the failure within five (5) days after written notice from Lessee or, if the failure cannot reasonably be remedied in such time, if Lessor does not commence a remedy within the allotted five (5) days and diligently pursue the cure to completion within fifteen (15) days after the initial written notice. The cure periods set forth in this Paragraph 22 do not extend the period of time in which either Party has to cure interference pursuant to Paragraph 13 of this Agreement.

**23. Remedies.** In the event of a Default, without limiting the non-defaulting Party in the exercise of any right or remedy which the non-defaulting Party may have by reason of such default, the non-defaulting Party may terminate this Agreement and/or pursue any remedy now or hereafter available to the non-defaulting Party under the Laws or judicial decisions of the state in which the Property is located. Further, upon a Default, the non-defaulting Party may at its option (but without obligation to do so), perform the defaulting Party's duty or obligation. The costs and expenses of any such performance by the non-defaulting Party shall be due and payable by the defaulting Party upon invoice therefor. If Lessee undertakes any such performance on Lessor's behalf and Lessor does not pay Lessee the full amount within thirty (30) days of its receipt of an invoice setting forth the amount due, Lessee may offset the full amount due against all fees due and owing to Lessor under this Agreement until the full amount is fully reimbursed to Lessee.

**24. Environmental.** Lessee shall conduct its business in compliance with all applicable laws governing the protection of the environment or employee health and safety ("EH&S Laws"). Lessee shall indemnify and hold harmless the Lessor from claims to the extent resulting from Lessee's violation of any applicable EH&S Laws or to the extent that Lessee causes a release of any regulated substance to the environment. Lessor shall indemnify and hold harmless Lessee from all claims resulting from the violation of any applicable EH&S Laws or a release of any regulated substance to the environment except to the extent resulting from the activities of Lessee. The Parties recognize that Lessee is only leasing a small portion of the Property and that Lessee shall not be responsible for any environmental condition or issue except to the extent resulting from Lessee's specific activities and responsibilities. In the event that Lessee encounters any hazardous substances that do not result from its activities, Lessee may relocate its facilities to avoid such hazardous substances to a mutually agreeable location or, if Lessee desires to remove at its own cost all or some the hazardous substances or materials (such as soil) containing those hazardous substances, Lessor agrees to sign any necessary waste manifest associated with the removal, transportation and/or disposal of such substances.

**25. Casualty.** If a fire or other casualty damages the Property or the Premises and impairs Lessee's Use, rent shall abate until Lessee's Use is restored. If Lessee's Use is not restored within forty-five (45) days, Lessee may terminate this Agreement without further obligations.

**26. Condemnation.** If a condemnation of any portion of the Property or Premises impairs Lessee's Use, Lessee may terminate this Agreement. Lessee may on its own behalf make a claim in any condemnation proceeding involving the Premises for losses related to Lessee's communications equipment, relocation costs and, specifically excluding loss of Lessee's leasehold interest, any other damages Lessee may incur as a result of any such condemnation.

**27. Applicable Laws.** During the Term, Lessor shall maintain the Property in compliance with all applicable laws, EH&S Laws, rules, regulations, ordinances, directives, covenants, easements, consent decrees, zoning and land use regulations, and restrictions of record, permits, building codes, and the requirements of any applicable fire insurance underwriter or rating bureau, now in effect or which may hereafter come into effect (including, without limitation, the Americans with Disabilities Act and laws regulating hazardous substances) (collectively "Laws"). Lessee shall, in respect to the condition of the Premises and at Lessee's sole cost and expense, comply with (i) all Laws relating solely to Lessee's specific and unique nature of use of the Premises; and (ii) all building codes requiring modifications to the Premises due to the improvements being made by Lessee in the Premises. It shall be Lessor's obligation to comply with all Laws relating to the Property, without regard to specific use (including, without limitation, modifications required to enable Lessee to obtain all necessary building permits).

**28. Taxes.**

**(a)** Lessor shall invoice and Lessee shall pay any applicable transaction tax (including sales, use, gross receipts, or excise tax) imposed on the Lessee and required to be collected by the Lessor based on any service, rental space, or equipment provided by the Lessor to the Lessee. Lessee shall pay all personal property taxes, fees, assessments, or other taxes and charges imposed by any Government Entity that are imposed on the Lessee and required to be paid by the Lessee that are directly attributable to the Lessee's equipment or Lessee's use and occupancy of the Premises. Payment shall be made by Lessee within sixty (60) days after presentation of a received bill and/or assessment notice which is the basis for such taxes or charges. Excepting the taxes, interest, penalties and related pass through costs that Lessee will reimburse Lessor for under Section 4(e) (as Additional Rent), Lessor shall otherwise pay all ad valorem, personal property, real estate, sales and use taxes, fees, assessments or other taxes or charges that are attributable to Lessor's Property or any portion thereof imposed by any Government Entity.

**(b)** Lessee shall have the right, at its sole option and at its sole cost and expense, to appeal, challenge or seek modification of any tax assessment or billing for which Lessee is wholly or partly responsible for payment. Lessor shall reasonably cooperate with Lessee at Lessee's expense in filing, prosecuting and perfecting any appeal or challenge to taxes as set forth in the preceding sentence, including but not limited to, executing any consent, appeal or other similar document. In the event that as a result of any appeal or challenge by Lessee, there is a reduction, credit or repayment received by the Lessor for any taxes previously paid by Lessee, Lessor agrees to promptly reimburse to Lessee the amount of said reduction, credit or repayment. In the event that Lessee does not have the standing rights to pursue a good faith and reasonable dispute of any taxes under this paragraph, Lessor will pursue such dispute at Lessee's sole cost and expense upon written request of Lessee.

**29. Non-Disclosure.** Other than the recordation of a Memorandum of this Agreement, the Parties agree this Agreement and any information exchanged between the Parties regarding the Agreement are confidential. The Parties agree not to provide copies of this Agreement or any confidential information to any other third party other than an assignee of rights under the Agreement without the prior written consent of the other or as required by law.

If a disclosure is required by law, prior to disclosure, the Party shall notify the other Party and cooperate to take lawful steps to resist, narrow, or eliminate the need for that disclosure.

**30. Most Favored Lessee.** Lessor represents and warrants that the rent, benefits and terms and conditions granted to Lessee by Lessor hereunder are now and shall be, during the Term, no less favorable than the rent, benefits and terms and conditions for substantially the same or similar tenancies or licenses granted by Lessor to other parties. If at any time during the Term Lessor shall offer more favorable rent, benefits or terms and conditions for substantially the same or similar tenancies or licenses as those granted hereunder, then Lessor shall, within thirty (30) days after the effective date of such offering, notify Lessee of such fact and offer Lessee the more favorable offering. If Lessee chooses, the parties shall then enter into an amendment that shall be effective retroactively to the effective date of the more favorable offering, and shall provide the same rent, benefits or terms and conditions to Lessee. Lessee shall have the right to decline to accept the offering. Lessor's compliance with this requirement shall be subject, at Lessee's option, to independent verification.

**31. Miscellaneous.** This Agreement contains all agreements, promises and understandings between the Lessor and the Lessee regarding this transaction, and no oral agreement, promises or understandings shall be binding upon either the Lessor or the Lessee in any dispute, controversy or proceeding. This Agreement may not be amended or varied except in a writing signed by all Parties. This Agreement shall extend to and bind the heirs, personal representatives, successors and assigns hereto. The failure of either party to insist upon strict performance of any of the terms or conditions of this Agreement or to exercise any of its rights hereunder shall not waive such rights and such party shall have the right to enforce such rights at any time. The performance of this Agreement shall be governed, interpreted, construed and regulated by the laws of the state in which the Premises is located without reference to its choice of law rules. Except as expressly set forth in this Agreement, nothing in this Agreement shall grant, suggest or imply any authority for one Party to use the name, trademarks, service marks or trade names of the other for any purpose whatsoever. Lessor agrees to execute a Memorandum of this Agreement, which Lessee may record with the appropriate recording officer. The provisions of the Agreement relating to indemnification from one Party to the other Party shall survive any termination or expiration of this Agreement.

[Signature page follows. The remainder of this page is intentionally blank.]

IN WITNESS WHEREOF, the Parties hereto have set their hands and affixed their respective seals the day and year first above written.

**Lessor:**

Revocable Trust UTA dated 07/29/2016

By: Edward D. Mesimer

Print Name: Edward D. Mesimer

Print Title: Trustee

Date: 6/11/2021

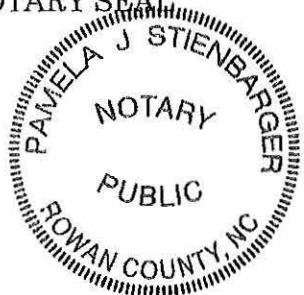
State of NC  
County of Cabarrus

Before me, Pamela J Stienbarger, the undersigned, a Notary Public for the State, personally appeared Edward D. Mesimer, who is the Trustee of Edward D. Mesimer Revocable Trust UTA ~~and~~ personally known to me (or proved to me on the basis of satisfactory evidence) to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his/her authorized capacity, and that by his/her signature on the instrument, the entity upon behalf of which the person acted, executed the instrument.

WITNESS my hand and official seal, this 1st day of June, 2021

a. Signature Pamela J Stienbarger

NOTARY SEAL



My commission expires: Dec 11 2021

Lessee:

PeakNet, LLC,  
a Delaware limited liability company

By: Allan Bakalar

Print Name: Allan Bakalar

Print Title: VP + General Manager

Date: 6/8/2021

State of FLORIDA  
County of PINELLAS

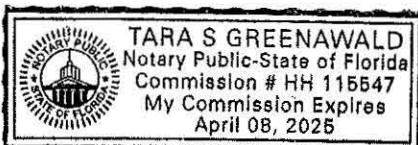
Before me, TARA GREENAWALD the undersigned, a Notary Public for the State, personally appeared ALLAN BAKALAR, who is the VP + General Manager of PeakNet, LLC, a Delaware LLC, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his/her authorized capacity, and that by his/her signature on the instrument, the entity upon behalf of which the person acted, executed the instrument.

WITNESS my hand and official seal, this 8<sup>th</sup> day of June, 2021

a. Signature Tara Greenwald

NOTARY SEAL

My commission expires: 4/8/2025



**EXHIBIT "A"**

## DESCRIPTION OF PROPERTY

That certain tract or parcel of land in the County of Cabarrus, State of North Carolina, more particularly described as follows:

**Tax Parcel No. 4693 26 5101 0000**

## Property Card

Page 13 of 14

PeakNet – PvtLO Ground Lease V2.2

Initials: Lessor: EDM / Lessee: B  
04/20/2021

**EXHIBIT "B"**  
**SITE PLAN OF THE PREMISES**  
**[TO BE INSERTED]**

## Communications Tower Review Form

### I. Applicant Information:

Preparer/Company: AES - Jon Pruitt/PeakNet  
Address: PO Box 462, Starr, SC 29684  
Phone/Fax/E-mail: 864-907-6061/864-352-2886 jonpruitt@wctel.net

For North Carolina HPO  
Use Only

CT 21-2691

### II. Tower Information:

 (Attach copy of USGS map or photocopy of quad on reverse; include 1 and 2 mile radius around site)

Raw Land (New)  Co-Location Applicant's Identification # Concord MP

Address: 7621 Tuckaseegee Road, Kannapolis, NC

County: Cabarrus FCC Registration No. not assigned

Tower type and height: Monopole 230-feet (+/-245-ft with lightning rod) Quad Name: Kannapolis

### III. Identification of Historic Properties:

List sites by site number and status: NR = National Register listed; SL = Study List; DOE = Determination of Eligibility;  
LD = Local Designation; UA = Unassessed

#### Archaeology

# of recorded sites in immediate area of tower: 0

#### Architecture

.75

# of recorded sites within 0.5-mile radius: 0

CA0003 NR

### IV. Additional Information/Investigation Needed:

Survey

Photo Reconnaissance

Testing of sites \_\_\_\_\_

Balloon Test

Recommended by/on: 11/18/2021 No effect ~ DJC  
(Office of State Archaeology)

Recommended by/on: 11/16/2021 No effect ~LET  
(Survey & Planning Branch)

### V. Recommendations/Final Determination:

Recommendations for additional work are shown above.

The proposed communication tower will not affect historic properties in the area of potential effect.

*Renee Gledhill-Earley*

Renee Gledhill-Earley, Environmental Review Coordinator

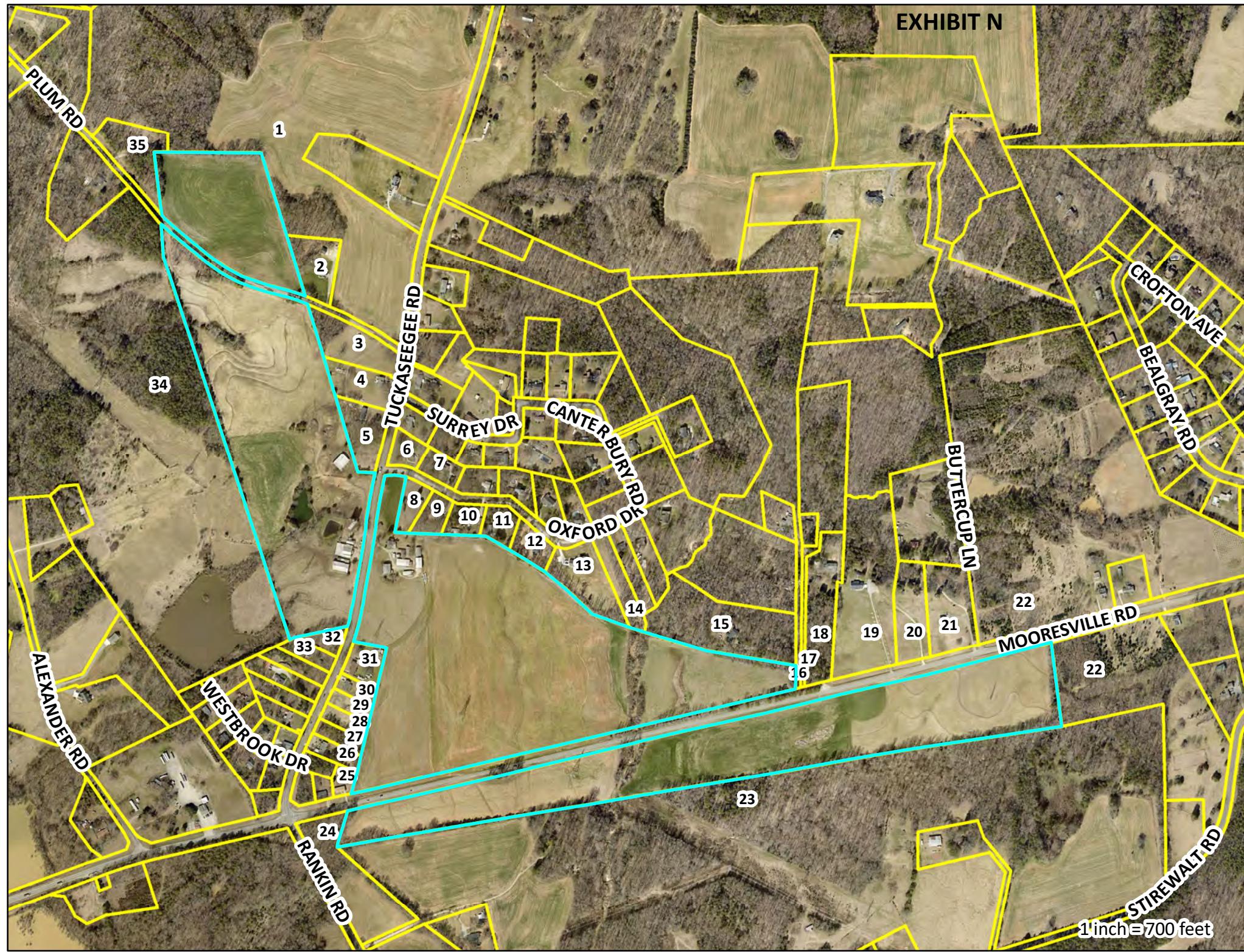
11/19/2021

Date

cc: FCC

February, 2001

EXHIBIT N



**EXHIBIT N**

Map No.	PIN14	NBH_NUM	AcctName1	MailAddr1	MailCity	MailState	MailZipCod
Subject Property	4693-26-5101	12004 EDWARD D MESIMER TRUST AGRMT		7621 TUCKASEEGEE RD	KANNAPOLIS	NC	28081
Map No.	PIN14	NBH_NUM	AcctName1	MailAddr1	MailCity	MailState	MailZipCod
1	4694-10-4097	12002 MESIMER T D REVOCABLE		4309 SHIMPOCK RD	CONCORD	NC	28027
2	4693-18-4405	12002 TODD ERIC PLOTT		5400 PLUM RD	KANNAPOLIS	NC	28081
	4693-17-6795,						
3, 4 & 5	4693-17-7406 & 4693-17-6948	12004 CALLAHAN III & BRANDEE L STANCIL		7550 TUCKASEEGEE RD	KANNAPOLIS	NC	28081
6	4693-17-9364	12002 BILLY EUGENE MCLAIN JR		PO BOX 305	KANNAPOLIS	NC	28082
7	4693-27-1254	12002 MARCOS F & HALEY HALE		2310 OXFORD DR	KANNAPOLIS	NC	28081
8	4693-17-9093	12002 ROBERT A & SHERRIE BOST		2311 OXFORD DRIVE	KANNAPOLIS	NC	28081
9	4693-26-1919	12002 TIMOTHY J & CHRISTY HANCHETT		2313 OXFORD DRIVE	KANNAPOLIS	NC	28081
10	4693-26-3903	12002 WILLIAM E & LUCINDA M FREAS		2317 OXFORD DR	KANNAPOLIS	NC	28081
11	4693-26-5911	12002 TERRY W & DONNA D WOODS		2319 OXFORD DR	KANNAPOLIS	NC	28081
12	4693-26-7737	12002 JAMES CUNNINGHAM III & JESSICA FAYE MUNRO		2325 OXFORD DR	KANNAPOLIS	NC	28081
13 & 14	4693-36-2611 & 4693-36-0547	12002 ROBERTO & LORI ANNE CINA		2329 OXFORD DR	KANNAPOLIS	NC	28081
15	4693-46-0275	12002 SYLVIA LANSPERY		7200 MOORESVILLE RD	KANNAPOLIS	NC	28081
16	4693-47-1841	12002 WADE & VIOLET C MIZELLE		5015 PROSPERITY CHURCH RD	CHARLOTTE	NC	28269
17	4693-47-4239	12002 TONY LEE & BEVERLY S BARNHARDT		7090 MOORESVILLE RD	KANNAPOLIS	NC	28081
18	4693-46-4502	12002 GASTON L & CHELSEA N PRICE		7100 MOORESVILLE RD	KANNAPOLIS	NC	28081
19	4693-46-7512	12002 JEREMIAH C & MORGAN L JOHNSON		6980 MOORESVILLE RD	KANNAPOLIS	NC	28081
20 & 21	4693-46-9388 & 4693-56-2411	12002 AMY & KEITH V SHUFFLER		6946 MOORESVILLE RD	KANNAPOLIS	NC	28081
22	4693-66-0821	12002 RICKARD A & CONNIE D GOODMAN		6746 MOORESVILLE RD	KANNAPOLIS	NC	28081
23 & 24	4693-14-6678 & 4693-44-3835	12004 HARRY T & MARLYN R MORRIS TRUSTEE C/O TOM MORRIS		14790 ROUND MOUNTAIN HTS	ATASCADERO	CA	93422
25	4693-15-5376	12411 MARLEEN K WINGLER LIFE ESTATE		7750 MOORESVILLE RD	KANNAPOLIS	NC	28081
26	4693-15-5505	12411 JIMMY R SECHLER JR & CHRISTINA SECHLER VAUGHAN		329 BRIGHTWOOD CT SW	CONCORD	NC	28025
27	4693-15-5645	12411 LANCE R BROWN		PO BOX 382	LANDIS	NC	28087
28	4693-15-5765	12411 NICK S McINTOSH		1755 RUSTIC ARCH WAY	HUNTERSVILLE	NC	28078
29	4693-15-6814	12411 TMS CUSTOM DESIGNS LLC		1755 RUSTIC ARCH WAY	HUNTERSVILLE	NC	28078
30	4693-15-6933	12411 ANTHONY K & TRINA M MELTVEDT		2402 WESTMINSTER DR	CONCORD	NC	28027
31	4693-16-7018	12411 DANG LEE & MAI DOUA YANG		7633 TUCKASEEGEE RD	KANNAPOLIS	NC	28081
32 & 33	4693-16-4271 & 4693-16-3193	12411 HENRY E JR AMD & ADAM J NWOE RUMMEL		7626 TUCKASEEGEE RD	KANNAPOLIS	NC	28081
34	4693-07-0830	12004 WATER AND SEWER AUTHORITY OF CABARRUS COUNTY		232 DAVIDSON HWY	CONCORD	NC	28027
35	4693-09-3113	12002 ERIC WAYNE DEANA BENFIELDBURRIS		3656 LAKE SPRING AVE NW	CONCORD	NC	28027

March 15, 2022

Dear Property Owner,

PeakNet, LLC ("PeakNet") is the lessee of a portion of the property located at 7615 Tuckaseegee Road (Cabarrus County Parcel ID No. 03-004-0005.00) owned by the Edward D. Mesimer Trust (the "Property"). I would like to invite you to attend a neighborhood information meeting concerning the proposed construction of a 235-foot monopole wireless telecommunications tower ("Tower") on the Property as shown on the enclosed site plan. Specifically, PeakNet will be requesting a special use permit from Cabarrus County for the construction of the Tower. The meeting details are as follows:

Tuesday, March 29, 2022  
6 pm to 7 pm  
Fellowship Hall  
Bethpage Presbyterian Church  
6020 Mooresville Road  
Kannapolis, NC 28081

In accordance with Cabarrus County ordinance requirements, we are notifying you of this meeting, because your property is located within the required notification area for neighborhood meetings. While this meeting is not a public hearing, it is an opportunity for you to meet with the owners and/or applicants to hear about their intention to request a special use permit for the Tower. You are encouraged to ask questions and express concerns so that we may help you to more fully understand the proposed Tower.

County Planning staff will not be in attendance at this meeting, but if you have additional questions about the project you may contact the County Senior Planner, Phillip Collins, at 704-920-2181 or [PECollins@cabarruscounty.us](mailto:PECollins@cabarruscounty.us). Property owners within the notification area will receive a separate notice from County when a public hearing is scheduled before the Cabarrus County Planning and Zoning Commission.

If you have any questions about this neighborhood information meeting, or if you are unable to attend and would like to speak with someone regarding the proposal, please feel free to contact me at 919-981-4006 or [tjohnson@williammullen.com](mailto:tjohnson@williammullen.com). We look forward to seeing you at the meeting.

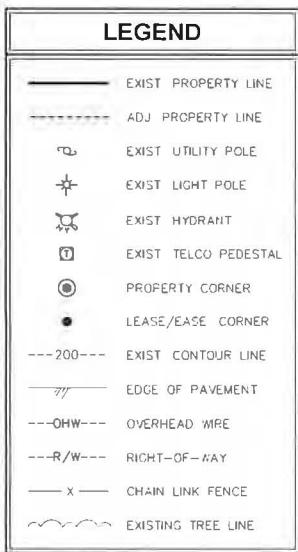
Sincerely,



Thomas H. Johnson, Jr.  
Attorney  
Williams Mullen

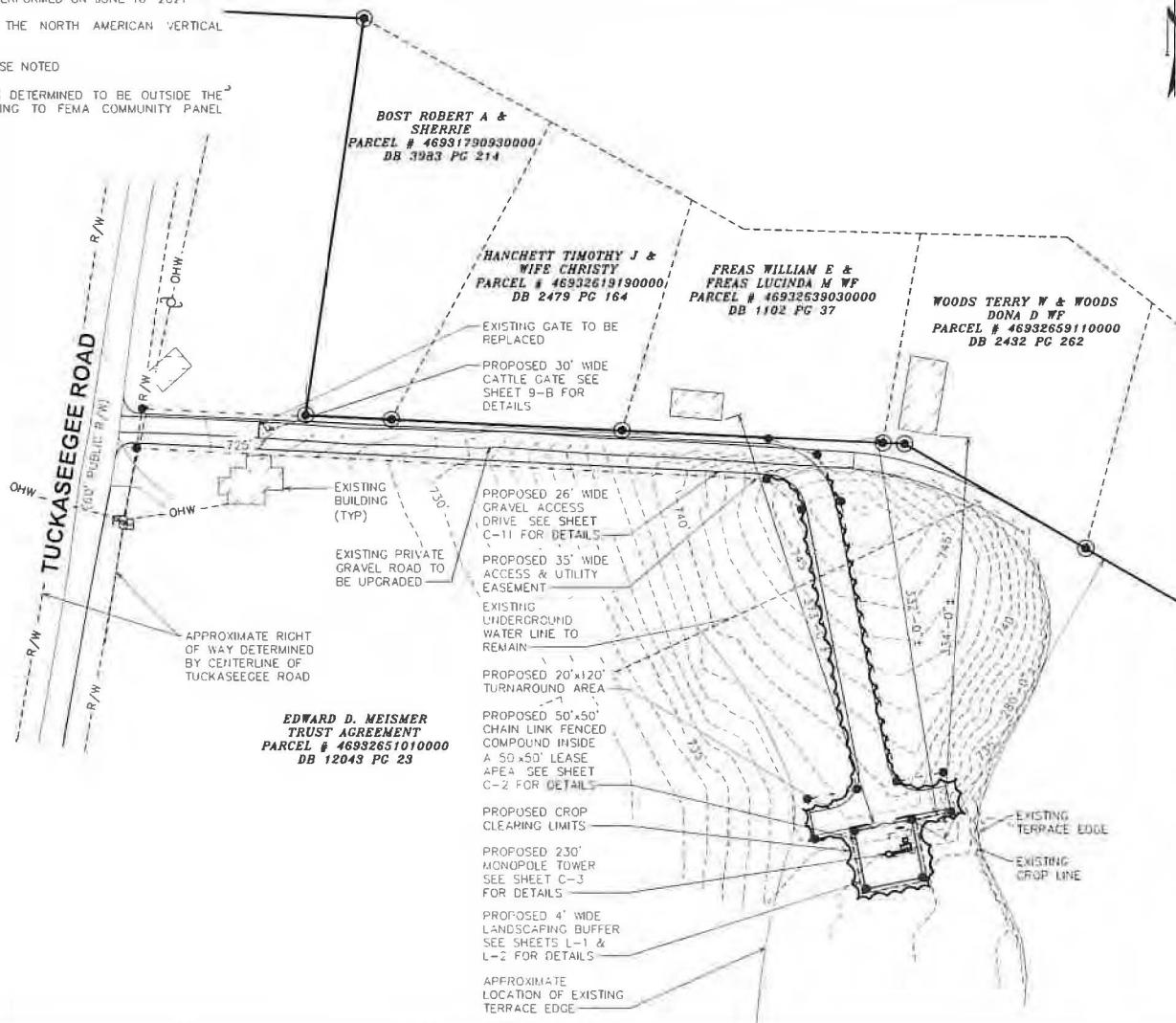
**NOTES:**

- 1 THE BASIS OF THE BEARINGS AND COORDINATES IS THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM (NCSPCS NAD 83/2011) BASED ON DIFFERENTIAL GPS OBSERVATIONS PERFORMED ON JUNE 16 2021
- 2 VERTICAL INFORMATION SHOWN, BASED ON THE NORTH AMERICAN VERTICAL DATUM OF NAVD 1988 IN FEET
- 3 ALL DISTANCES ARE GROUND UNLESS OTHERWISE NOTED
- 4 THE TOWER IS LOCATED IN ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO FEMA COMMUNITY PANEL #3710469300J, EFFECTIVE NOVEMBER 5, 2008



**SITE PLAN**

SCALE 1" = 100'



0 100 200  
SCALE IN FEET

PLANS PREPARED FOR:  
**at&t**  
2002 PISCAH CHURCH ROAD, SUITE 300  
GREENSBORO, NC 27455

PLANS PREPARED FOR:  
**PeakNet**  
9887 FOURTH STREET NORTH, SUITE 100  
ST. PETERSBURG, FL 33702

PROJECT INFORMATION:  
**AT&T SITE #:** 074-4164  
**PEAKNET SITE NAME:** CONCORD MP  
7615 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081  
(CABARRUS COUNTY)

PLANS PREPARED BY:  
**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE #C-1754

SEAL:  
  
February 25, 2022

4 02 25 21 CONSTRUCTION  
5 10 26 21 CONSTRUCTION  
REV. DATE ISSUED FOR:  
DRAWN BY: CHECKED BY:

SHEET TITLE:

**SITE PLAN**

SHEET NUMBER: **C-1** REVISION: **4**  
TEP# 704165 099340

ERIC WAYNE BURRIS  
BURRIS DEANA BENFIELD BURRIS  
3656 LAKE SPRING AVE NW  
CONCORD, NC 28027

T D MESIMER REVOCABLE  
4309 SHIMPOCK RD  
CONCORD, NC 28027

WATER AND SEWER AUTHORITY OF  
CABARRUS COUNTY  
232 DAVIDSON HWY  
CONCORD, NC 28027

HENRY E RUMMEL JR  
ADAM J RUMMEL  
7626 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081

DANG LEE  
MAI DOUA DANG  
7633 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081

ANTHONY K MELTVEDT  
TRINA M MELTVEDT  
2402 WESTMINSTER DR  
CONCORD, NC 28027

TMS CUSTOM DESIGNS LLC  
1755 RUSTIC ARCH WAY  
HUNTERSVILLE, NC 28078

NICK S MCINTOSH  
1755 RUSTIC ARCH WAY  
HUNTERSVILLE, NC 28078

LANCE R BROWN  
PO BOX 382  
LANDIS, NC 28087

SECHLER JIMMY R SECHLER JR  
CHRISTINA SECHLER VAUGHAN  
329 BRIGHTWOOD CT SW  
CONCORD, NC 28025

MARLEEN K WINGLER  
7750 MOORESVILLE RD  
KANNAPOLIS, NC 28081

HARRY T MORRIS TRUSTEE  
MARALYN R MORRIS TRUSTEE  
4940 RANKIN RD  
CONCORD NC 28027

RICKARD A GOODMAN  
CONNIE D GOODMAN  
6746 MOORESVILLE RD  
KANNAPOLIS, NC 28081

AMY H SHUFFLER  
6946 MOORESVILLE RD  
KANNAPOLIS, NC 28081

JEREMIAH C JOHNSON  
MORGAN L JOHNSON  
6980 MOORESVILLE RD  
KANNAPOLIS, NC 28081

GASTON L PRICE  
CHELSEA N PRICE  
7100 MOORESVILLE RD  
KANNAPOLIS, NC 28081

TONY LEE BARNHARDT  
BEVERLY S BARNHARDT  
7090 MOORESVILLE RD  
KANNAPOLIS, NC 28081

WADE MIZELLE  
VIOLET C MIZELLE  
5015 PROSPERITY CHURCH RD  
CHARLOTTE, NC 28269

SYLVIA LANSPERY  
7200 MOORESVILLE RD  
KANNAPOLIS, NC 28081

ROBERTO CINA  
LORI ANNE CINA  
2329 OXFORD DR  
KANNAPOLIS, NC 28081

JAMES CUNNINGHAM MUNRO III  
JESSICA FAYE MUNRO  
2325 OXFORD DR  
KANNAPOLIS, NC 28081

TERRY W WOODS  
DONNA D WOODS  
2319 OXFORD DR  
KANNAPOLIS, NC 28081

WILLIAM E FREAS  
LUCINDA M FREAS  
2317 OXFORD DR  
KANNAPOLIS, NC 28081

TIMOTHY J HANCHETT  
CHRISTY HANCHETT  
2313 OXFORD DRIVE  
KANNAPOLIS, NC 28081

ROBERT A BOST  
SHERRIE BOST  
2311 OXFORD DRIVE  
KANNAPOLIS, NC 28081

BILLY EUGENE MCLAIN JR  
PO BOX 305  
KANNAPOLIS, NC 28082

STANCIL CALLAHAN III  
BRANDEE L CALLAHAN  
7550 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081

TODD ERIC PLOTT  
5400 PLUM RD  
KANNAPOLIS, NC 28081

EDWARD D MEISMER TRUST  
7621 TUCKASEEGEE RD  
KANNAPOLIS, NC 28081

Report of Neighborhood Meeting  
Proposed 230 foot Communications Tower  
7615 Tuckaseegee Road

A neighborhood meeting for the proposed 230 foot monopole communications tower at 7615 Tuckaseegee Road was held on March 29, 2022 from 6 to 7 pm at Bethpage Presbyterian Church, 6020 Mooresville Road, Kannapolis, NC 28081. The following persons attended the meeting:

Thomas H. Johnson, Jr., Attorney for Peaknet, LLC  
Debbie Carr, Representative for Peaknet, LLC  
Edward D. Mesimer, the property owner  
Connie Goodman, adjacent property owner at 6760 Mooresville Road  
Mai Yang, adjacent property owner at 7633 Tuckaseegee Road

The proposed tower and location were presented to all in attendance. The only question had to do with the impact of the tower on adjoining property values. The attendees were informed that the tower would not adversely impact adjoining property values and that the applicant would present an impact study by an appraiser that would support that conclusion. Ms. Goodman commented on the poor AT&T service in the area and the need to improve that service.

The mailing list and letter are included with this report.

Prepared and submitted by:



---

Thomas H. Johnson, Jr. Attorney

**Cabarrus County Government – Planning and Development Department**

August 19, 2022

Dear Property Owner:

A Special Use Permit Application has been filed in our office for your property. The specifics of the request are listed below. The Cabarrus County Board of Adjustment will consider this petition on Tuesday, October 11, 2022 in the 2<sup>nd</sup> floor Commissioner's Chambers of the Cabarrus County Governmental Center, located at 65 Church Street S, Concord, NC 28026. A Public Hearing will be conducted and public input will be allowed during that time. If you have any comments about this request, I encourage you to attend this meeting.

• Petitioner	Peak Net, LLC
• Petition Number	SUSE2022-00014
• Property Location	7615 Tuckaseegee Road
• Parcel ID Number	4693-26-5101
• Existing Zoning	Agricultural Open Space (AO)
• Variance Request	Wireless Telecommunications Tower

If you have any questions regarding this petition, or the hearing process, please contact me at Cabarrus County Planning and Development at 704.920.2149.

Sincerely,

A handwritten signature in blue ink that reads "Sandy Howell".

Sandy Howell, CZO  
Planner  
Cabarrus County Planning and Development  
704.920.2149  
sdhowell@cabbaruscounty.us



---

**Cabarrus County Government – Planning and Development Department**

---

September 19, 2022

Dear Property Owner:

A Special Use Permit Application has been filed in our office for property **adjacent** to yours. The property and specifics of the request are listed below. The Cabarrus County Board of Adjustment will consider this petition on Tuesday, August 9, 2022 in the 2<sup>nd</sup> floor Commissioner's Chambers of the Cabarrus County Governmental Center, located at 65 Church Street S, Concord, NC 28026. A Public Hearing will be conducted and public input will be allowed during that time. If you have any comments about this variance request, I encourage you to attend this meeting.

• Petitioner	Peak Net, LLC
• Petition Number	SUSE2022-00014
• Property Location	7615 Tuckaseegee Road
• Parcel ID Number	4693-26-5101
• Existing Zoning	Agricultural Open Space (AO)
• Variance Request	Wireless Telecommunications Tower

If you have any questions regarding this petition, or the hearing process, please contact me at Cabarrus County Planning and Development at 704.920.2149.

Sincerely,

A handwritten signature in blue ink that reads "Sandy Howell".

Sandy Howell, CZO  
Planner  
Cabarrus County Planning and Development  
704.920.2149  
sdhowell@cabbaruscounty.us



Cabarrus County Government – Planning and Development Department

---

September 19, 2022

\*\*\*Corrected\*\*\*

Dear Property Owner:

A Special Use Permit Application has been filed in our office for property adjacent to yours. The property and specifics of the request are listed below. The Cabarrus County Board of Adjustment will consider this petition on Tuesday, **October 11, 2022** in the 2<sup>nd</sup> floor Commissioner's Chambers of the Cabarrus County Governmental Center, located at 65 Church Street S, Concord, NC 28026. A Public Hearing will be conducted and public input will be allowed during that time. If you have any comments about this variance request, I encourage you to attend this meeting.

• Petitioner	Peak Net, LLC
• Petition Number	SUSE2022-00014
• Property Location	7615 Tuckaseegee Road
• Parcel ID Number	4693-26-5101
• Existing Zoning	Agricultural Open Space (AO)
• Variance Request	Wireless Telecommunications Tower

If you have any questions regarding this petition, or the hearing process, please contact me at Cabarrus County Planning and Development at 704.920.2149.

Sincerely,

A handwritten signature in cursive ink that reads "Sandy Howell".

Sandy Howell, CZO  
Planner  
Cabarrus County Planning and Development  
704.920.2149  
sdhowell@cabbaruscounty.us

## EXHIBIT P

NCDEQ 9/12/2022

RE: [External] RE: SUSE2022-00014 Special Use Permit (SUP) request to construct 230 foot wireless telecommunication (WTC) t...



Llywelyn, Kenny S <kenny.llywelyn@ncdenr.gov>  
To: Sandy Howell

[Reply](#) [Reply All](#) [Forward](#) [...](#)  
Mon 9/12/2022 3:47 PM

**CAUTION:** This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe!

If site is going to remain under 1 acre then no permitting with be needed from land quality.

### Kenny S. Llywelyn

Assistant Regional Engineer

Division of Energy, Mineral, and Land Resources  
North Carolina Department of Environmental Quality

Office: (704) 663-1699 x2146  
Mobile: (704) 677-0640  
Fax: (704) 663-6040  
Email: [Kenny.llywelyn@ncdenr.gov](mailto:Kenny.llywelyn@ncdenr.gov)

**Physical and Mailing Address:**  
610 E. Center Ave. Suite 301  
Mooresville, NC 28115



*Email correspondence to and from this address is subject to the  
North Carolina Public Records Law and may be disclosed to third parties*

NCDOT 9/12/2022

RE: [External] RE: SUSE2022-00014 Special Use Permit (SUP) request to construct 230 foot wireless telecommunication (WTC) t...



Morgan, Marc P <mmorgan@ncdot.gov>  
To: Sandy Howell;  chrysal.swinger@cabarrushealth.org;  Jacob Thompson;  Ray Gililand;  Tammi-Sue Remsburg;  Justin Brines;  Travis McGhee;  
 Llywelyn, Kenny S  
Cc:  Phillip Collins;  Faulkner, Jason S

[Reply](#) [Reply All](#) [Forward](#) [...](#)  
Mon 9/12/2022 3:27 PM

**CAUTION:** This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe!

Sandy,  
We have reviewed, approved and issued permit for this site.  
Thank You  
Marc

Sep 20, 2022 at 9:20:39 AM  
Tuckaseegee Rd, Cabarrus County





PLANNING STAFF REPORT  
CABARRUS COUNTY PLANNING AND ZONING COMMISSION

Staff Use Only:  
Approved: \_\_\_\_\_  
Denied: \_\_\_\_\_  
Tabled: \_\_\_\_\_

**Petition: APPL2020-00002**

**Appeal of Interpretation of Cabarrus County Zoning and Subdivision Ordinances**

Appellant Information: John C. and Michelle McGraw  
7905 Flowes Store Rd  
Concord NC 28025

Zoning: Agriculture/Open Space (AO)

Property Location: 7005 Flowes Store Road  
Concord NC 28025

PIN#: 5537-56-4049

Request: Appeal of Notice of Violation (ZNC2020-00375) for the following (illegal salvage yard, illegal landfill and fill in the Special Flood Hazard Area):

- 03-01 OPERATION OF A USE NOT LISTED IN TABLE OF PERMITTED USES
- 03-07 CONDUCTING A LAND USE THAT IS NOT PERMITTED IN A PARTICULAR ZONE
- 06-02 ZONING AFFECTS EVERY STRUCTURE AND USE
- 06-11 ABANDONED AND JUNK VEHICLES
- 07-21 OPERATING A SALVAGE YARD IN A RESIDENTIAL AREA
- 08-01 OPERATION OF A CONDITIONAL USE WITHOUT A CONDITIONAL USE PERMIT
- 12-03 ZONING COMPLIANCE PERMIT REQUIRED
- 12-08 SITE DEVELOPMENT PLAN REQUIRED

Noticing:

Newspaper ad:	9/28/2022	Sign Posted:	9/22/2022
	10/5/2022	Letters sent:	9/20/2022

**History**

**8/20/2020** – During a site visit to perform an inspection for Zoning Permit ZN2020-00952, Zoning Officer Hicks noticed multiple oversized junk/abandoned vehicles, as defined in the Cabarrus County Development Ordinance, towards the back of the site. Additionally, there was excessive dumping observed on the site near where the junk vehicles were located.

PLANNING STAFF REPORT  
CABARRUS COUNTY PLANNING AND ZONING COMMISSION

Staff Use Only:  
Approved: \_\_\_\_\_  
Denied: \_\_\_\_\_  
Tabled \_\_\_\_\_

**8/21/2020** - Zoning Officer Hicks, using the mobile phone number listed for the property owner (Michelle McGraw) on the Zoning Permit Application, contacted Mrs. McGraw to discuss the situation. Zoning Officer Hicks left a voicemail that included his contact information.

**8/26/2020** - Zoning Officer Hicks, Zoning Administrator Morris and County Legal Staff discussed the violations on property.

**10/29/20** – Zoning Officer Hicks issued a Warning Notice of Violation (NOV) which provided thirty days for the owner to address the violations. Zoning Officer Hicks made attempts to contact Michelle McGraw on provided mobile and office phone number(s) to notify owner about violation and requested a call back to address the violations with her. A voicemail was left on each number.

**11/19/20** – Zoning Officer Hicks made a follow up site visit to inspect Zoning Permit ZN2020-00952 and Zoning Violation ZNC2020-00375. At that time, he also acquired updated photos related to the violations.

**11/20/20** – Zoning Officer Hicks received a voice mail from David W. Murray, Attorney for Appellant. Mr. Murray stated he would like to discuss resolving the issues, but in the meantime, would like to file an appeal on behalf of his client. Mr. Murray also emailed Zoning Administrator Morris regarding appeal procedures. A case summary was compiled by Zoning Office Hicks for the Zoning Administrator and Legal Counsel. Zoning Officer Hicks also contacted Teresa Bradford at NCDEQ requesting assistance with violations.

**12/09/20** –A conference call was held regarding the NOV. In attendance were Zoning Officer Hicks, Mr. Murray, attorney for the Appellant, Mr. John McGraw, property owner, County Attorney Koch, and Zoning Administrator Morris. The Notice of Violation (NOV) was discussed along with additional violations due to activity in the regulated floodplain area on the property and a perennial stream. Legal Counsel Murray said that he needed to do additional research and would follow back up with County.

**2/11/2021**-A Teams meeting was held to discuss the violations on the site, options, and corrective actions. In attendance were Susie Morris, Rich Koch, and Mr. Murry. Mr. Murry stated that he would need to speak with his client and that he would be back in touch with the County.

**3/4/2021** – In response to an email from Mr. Murry related to the county's position on the vehicles on the site, Mr. Koch requested that Mr. Murry provide a list of VINs for the vehicles and equipment located on the site.

**9/22/2022** – There have been no additional contacts from Mr. Murray as the Appellant's attorney or from Mr. McGraw, the property owner. The list of VINs has not been provided. The violations outlined in the NOV remain on the site.

## Findings

The primary property (PIN 5537-56-4049) is approximately 43.15 acres.

According to the tax records, the current property owners acquired the subject property in 2008.

The various salvage yards and landfill areas on the property account for approximately 2.54 acres per the Cabarrus County GIS 2021 aerials. The salvage yards and landfill areas are located on five different areas on the property.

The landfill operation appears to encroach on to the adjacent property to the east (7141 Flowes Store Road which is approximately 30 acres), also owned by Mr. and Mrs. McGraw. According, to the tax records, the McGraws acquired this parcel in 2021.

Based on GIS aerial imagery (See GIS Aerial Images) and Pictometry (See Pictometry Imagery Historical and February 2021), the landfill and salvage yard areas have been gradually increasing in size since 2010.

- The most recent site visit identified a new section of the property being cleared that is adjacent to existing landfill and dumping area.

The GIS and Pictometry images also show that the salvage yard and the landfill extend into the regulated Special Flood Hazard Area (SFHA).

The salvaged vehicles on the property are located anywhere from approximately 85 feet to 394 feet from the edge of the Rocky River.

The uses on the site are classified as a salvage yard and a landfill.

- Chapter 2 defines a salvage yard as an establishment operated for the purpose of storing, dismantling, salvaging, recycling, buying, or selling scrap or used materials such as paper, metals, rubber, rags, glass, construction materials, wrecked, used, or dismantled products and articles, such as machinery, vehicles, appliances, manufactured homes, recreational vehicles, and the like. Also known as a Junk Yard.
- Chapter 2 defines a landfill, sanitary as any disposal facility or part of a disposal facility where waste is placed in or on land, whether publicly or privately owned, and holding a permit from the State of North Carolina

PLANNING STAFF REPORT  
CABARRUS COUNTY PLANNING AND ZONING COMMISSION

Staff Use Only: \_\_\_\_\_  
Approved: \_\_\_\_\_  
Denied: \_\_\_\_\_  
Tabled: \_\_\_\_\_

Per Chapter 3, section 3-8, Table of Permitted Uses

A salvage yard is not permitted in the Agriculture/Open Space district.

A sanitary landfill may only be permitted with a Special Use Permit.

- To date no Special Use Permit has been obtained for this property.

Per Chapter 12, section 3, Zoning Compliance Permit

A Zoning Compliance Permit must be obtained from the Zoning Administrator prior to the use or occupancy of any building or premises, or both, hereinafter created, erected, changed, converted, or wholly or partly altered or enlarged in its use or structure.

No nonconforming structure or use can similarly be changed or extended without a Zoning Compliance Permit or Certificate of Non-Conformity Adjustment being issued.

- No permits have been obtained for either of the uses occurring on the subject property.
- The use of sanitary landfill is permitted in the Agriculture Open Space district and the Limited Industrial and General Industrial districts with the issuance of a Special Use Permit.
  - No Special Use Permit has been obtained for the subject property to operate a sanitary landfill in the AO zoning district.
- The use of a Salvage Yard is limited to the General Industrial districts and is permitted based on meeting additional development standards.
  - The subject property is zoned AO, therefore, a salvage yard is not permitted.

The property is subject to Floodplain Development Permitting.

- No floodplain development permits have been issued for this property by Cabarrus County.

The subject property is subject to Soil and Erosion and Stormwater permitting with NCDEQ due to the amount of disturbance on the property.

PLANNING STAFF REPORT  
CABARRUS COUNTY PLANNING AND ZONING COMMISSION

Staff Use Only: \_\_\_\_\_  
Approved: \_\_\_\_\_  
Denied: \_\_\_\_\_  
Tabled \_\_\_\_\_

- No permits have been issued by the North Carolina Department of Environmental Quality (NCDEQ) for soil and erosion control or stormwater as required for any land disturbing activity that affects one or more acres on a tract of land.

The property is subject to the Waterbody Overlay District as it is bounded by the Rocky River, which is a perennial stream.

- It is unclear at this time whether there are also violations of the Waterbody Overlay District on the subject property.

The property owners run two businesses. One is a grading business, and the other is a concrete recycling business. Equipment and vehicles located on the site, as well as materials used for fill, appear to be items generally used by these types of businesses. (See Secretary of State Filings)

#### **APPLICABLE SECTIONS OF THE CABARRUS COUNTY DEVELOPMENT ORDINANCE**

##### **Chapter 2 Definitions**

*LANDFILL, SANITARY - Any disposal facility or part of a disposal facility where waste is placed in or on land, whether publicly or privately owned, and holding a permit from the State of North Carolina.*

*SALVAGE YARD - An establishment operated for the purpose of storing, dismantling, salvaging, recycling, buying or selling scrap or used materials such as paper, metals, rubber, rags, glass, construction materials, wrecked, used or dismantled products and articles, such as machinery, vehicles, appliances, manufactured homes, recreational vehicles, and the like. Also known as a Junk Yard.*

##### **Chapter 7, Performance Based Standards for Salvage Yard**

###### *Section 7-1 Introduction*

*The purpose of this Chapter is to describe those uses, which may be approved administratively by Planning and Zoning staff, known as "performance based standards" (PBS) uses.*

*Performance based standards uses are those which can be made compatible within a given zoning district as long as pre-established standards are met which will control for any potential negative effects of the use. PBS uses provide landowners with more flexibility in using their property yet still affords protection to neighboring landowners.*

###### *Section 7-3.35 Salvage Yard*

###### *General Industrial district*

PLANNING STAFF REPORT  
CABARRUS COUNTY PLANNING AND ZONING COMMISSION

Staff Use Only:  
Approved: \_\_\_\_\_  
Denied: \_\_\_\_\_  
Tabled \_\_\_\_\_

- a. *Materials may not be vertically stacked so as to be visible to the passing motorist.*
- b. *All outside storage areas including dumpsters must be:*
  - o *sited to the rear of the building,*
  - o *within the setbacks required of the building's underlying zone, and*
  - o *made unnoticeable from both residential adjacent properties and public rights-of-way through installation of either fencing or vegetative screening.*
- c. *In the event the use abuts residentially used or zoned property, buildings and storage areas shall be located a minimum of 150 feet from the property line.*

The subject property is zoned Agriculture/Open Space.

- o A Salvage Yard is not permitted in the AO zoning District. Therefore, the property can not be used as a salvage yard.

**Chapter 8- Petitioning for a Special Use for a Sanitary Landfill**

*Because of their potential for affecting neighboring landowners, special uses warrant review in a public forum. The Planning and Zoning Commission, acting as Board of Adjustment, hears the request for a special use permit.*

*In general, the process for seeking a special use permit is as follows (Please see Chapter 12 for more details regarding the special use permit process):*

*Step 1 Prior to filing a Special Use Permit Application, the Applicant is required to attend a pre-application meeting with Planning and Development Staff. At that time, the proposed project will be discussed and required submittal materials will be determined. Examples of items that may be required, in addition to a complete application and site plan, include but are not limited to:*

- *Traffic Impact Analysis Documents (See Appendix A)*
- *Intent to Serve Letters*
- *NCDOT Driveway Permits*
- *Post-Construction Stormwater Permits*
- *Soil and Erosion Control Permits*

*Applications for a Special Use must demonstrate compliance with the general standards of review. Additionally, Special Uses must:*

- *Maintain or enhance the public health, safety, and general welfare*
- *Maintain or enhance the value of contiguous property (unless the use is a public necessity, in which case the use need not do so);*

PLANNING STAFF REPORT  
CABARRUS COUNTY PLANNING AND ZONING COMMISSION

Staff Use Only:  
Approved: \_\_\_\_\_  
Denied: \_\_\_\_\_  
Tabled \_\_\_\_\_

- *Assure the adequacy of:*
  - *Wastewater disposal*
  - *Solid waste management*
  - *On site drinking water and wastewater disposal*
  - *Governmental water and sewer (if applicable)*
  - *Police, Fire and Emergency Medical Services protection*
  - *School adequacy (if applicable)*
  - *Transportation systems (in and around the site) and*
  - *Other public facilities*
- *Comply with the general plans for the physical development of the County as embodied in these regulations*

Section 8-4. 13 Sanitary Landfill

*Agricultural/Open, Limited Industrial and General Industrial districts*

*The following additional items shall be included on the site plan:*

- a. *Extent of area to be filled.*
- b. *Location, width and elevation of all easements and rights-of-way within or adjacent to extraction site.*
- c. *Location of all existing or proposed structures on site.*
- d. *Location of all areas on the site subject to flood hazard or inundation.*
- e. *Location of all water courses on the site, including direction of flow and normal fluctuation of flow.*
- f. *Existing topography at a contour interval of two feet, based on mean sea level datum.*
- g. *Typical cross sections showing extent of overburden, extent of fill and water table elevation, based on mean sea level datum.*
- h. *Proposed handling and storage areas for overburden, by-products and fill materials.*
- i. *Proposed fencing, screening and gates, parking, service and other areas.*
- j. *Any areas proposed for ponding.*
- k. *Access roads to the site, as well as on-site roads, with indication of surface treatment to limit dust. Site distances on all roads used for access to the site.*

*An Operations Plan shall be submitted including:*

- *The date of commencement of operations and their expected duration*
- *Proposed hours and days of operation*
- *Complete description of operation, including source of materials, method of compaction, type of sealing proposed, types and number of equipment to be used*
- *Any phasing of operations and relationship among phases*

*A Rehabilitation Plan shall be submitted which shall include:*

- *A statement of planned future use of the site, including detailed methods of accomplishment*

PLANNING STAFF REPORT  
CABARRUS COUNTY PLANNING AND ZONING COMMISSION

Staff Use Only:  
Approved: \_\_\_\_\_  
Denied: \_\_\_\_\_  
Tabled: \_\_\_\_\_

- A map, to the same scale as the site plan, showing final proposed topography, landscaping and ground cover proposed and any drainage or other structures proposed
- A phased plan of rehabilitation, related to the operations plan, showing how the rehabilitation will relate to the fill operations and the date of final completion

- I. Copies of all permits required by all applicable regulating North Carolina and federal government agencies shall be submitted.

*All operations associated with the fill shall conform to the following performance standards:*

1. Direct illumination resulting from the operation shall not fall upon any land not covered by the application.
2. Equivalent sound levels at the boundaries of the fill site shall not exceed the following standards:
  - Between 7:00 am and 7:00 pm 60 DBA
  - Between 7:00 pm and 7:00 am 55 DBA
3. Vibration levels at the boundaries of the fill site shall not exceed the following standards:  
Maximum Peak Particle Velocity
  - Steady state 1.0 inches/second
  - Impact 2.0 inches/second

*NOTE: The maximum particle velocity shall be the maximum displacement sums of three mutually perpendicular components, recorded simultaneously, and multiplied by the frequency in cycles per second.*

*For purposes of this Ordinance, steady-state vibrations are defined as vibrations which are continuous or vibrations occurring in discrete impulses more frequent than sixty (60) per minute. Discrete impulses which do not exceed sixty (60) per minute shall be considered impact vibrations.*

1. The Rehabilitation Plan shall be referred to the Cabarrus County Soil and Water Conservation District for review and recommendation, in particular regarding the landscape material specified, the planting and maintenance proposed to ensure continuous growth and development, and the acceptability of the proposals for the handling of lakes, ponds, etc.
2. The permanent roads, defined as those to be used in excess of one (1) year, within the fill site shall be surfaced with a dust free material, such as soil cement, bituminous concrete or Portland cement concrete.
3. Roads other than permanent roads shall be treated with dust inhibitors, to be specified in the Operations Plan, which will reduce to a minimum the generation of dust from the road surfaces as a result of wind or vehicular action. Properly operated water wagons are an acceptable means of dust inhibition.
4. Where the proposed fill shall take place within three hundred (300) feet of a dwelling, school, church, hospital, commercial or industrial building, public building, or public land, a security fence at least six (6) feet high shall be installed.

PLANNING STAFF REPORT  
CABARRUS COUNTY PLANNING AND ZONING COMMISSION

Staff Use Only:  
Approved: \_\_\_\_\_  
Denied: \_\_\_\_\_  
Tabled: \_\_\_\_\_

5. *The Operations Plan and the Rehabilitation Plan shall be coordinated so that the amount of disturbed land is kept to the absolute minimum consistent with good practices and so that rehabilitation proceeds in concert with filling.*

The subject property is zoned Agriculture/Open Space (AO).

- A sanitary landfill is only permitted in the AO zoning district with the issuance of a Special Use Permit by the Board of Adjustment.
- No Special Use Permit requests have been filed for the subject property or approved by the Board of Adjustment.

**Chapter 16, Cabarrus County Flood Damage Prevention Ordinance**

**PART 1. STATUTORY AUTHORIZATION, FINDINGS OF FACT, PURPOSE AND OBJECTIVES**

**SECTION C. STATEMENT OF PURPOSE**

*It is the purpose of this ordinance to promote public health, safety, and general welfare and to minimize public and private losses due to flood conditions within flood prone areas by provisions designed to:*

- (1) *Restrict or prohibit uses that are dangerous to health, safety, and property due to water or erosion hazards or that result in damaging increases in erosion, flood heights or velocities;*
- (2) *Require that uses vulnerable to floods, including facilities that serve such uses, be protected against flood damage at the time of initial construction;*
- (3) *Control the alteration of natural floodplains, stream channels, and natural protective barriers, which are involved in the accommodation of floodwaters;*
- (4) *Control filling, grading, dredging, and all other development that may increase erosion or flood damage; and*
- (5) *Prevent or regulate the construction of flood barriers that will unnaturally divert flood waters or which may increase flood hazards to other lands.*

**SECTION D. OBJECTIVES**

*The objectives of this ordinance are to:*

- (1) *Protect human life, safety, and health;*

PLANNING STAFF REPORT  
CABARRUS COUNTY PLANNING AND ZONING COMMISSION

Staff Use Only:  
Approved: \_\_\_\_\_  
Denied: \_\_\_\_\_  
Tabled \_\_\_\_\_

- (2) *Minimize expenditure of public money for costly flood control projects;*
- (3) *Minimize the need for rescue and relief efforts associated with flooding and generally undertaken at the expense of the general public;*
- (4) *Minimize prolonged business losses and interruptions;*
- (5) *Minimize damage to public facilities and utilities (i.e. water and gas mains, electric, telephone, cable and sewer lines, streets, and bridges) that are located in flood prone areas;*
- (6) *Minimize damage to private and public property due to flooding;*
- (7) *Make flood insurance available to the community through the National Flood Insurance Program;*
- (8) *Maintain the natural and beneficial functions of floodplains;*
- (9) *Help maintain a stable tax base by providing for the sound use and development of flood prone areas; and*
- (10) *Ensure that potential buyers are aware that property is in a Special Flood Hazard Area.*

**Part 2 Definitions:**

Development means any man-made change to improved or unimproved real estate, including, but not limited to, buildings or other structures, mining, dredging, filling, grading, paving, excavation or drilling operations, or storage of equipment or materials.

Development Activity means any activity defined as Development which will necessitate a Floodplain Development Permit. This includes buildings, structures, and non-structural items, including (but not limited to) fill, bulkheads, piers, pools, docks, landings, ramps, and erosion control/stabilization measures.

**Part 3 General Provisions:**

**SECTION A. LANDS TO WHICH THIS ORDINANCE APPLIES**

*This ordinance shall apply to all Special Flood Hazard Areas  within the unincorporated areas of Cabarrus County.*

**SECTION B. BASIS FOR ESTABLISHING THE SPECIAL FLOOD HAZARD AREAS**

*The Special Flood Hazard Areas are those identified under the Cooperating Technical State (CTS) agreement between the State of North Carolina and FEMA in its FIS dated November 5, 2008 for*

PLANNING STAFF REPORT  
CABARRUS COUNTY PLANNING AND ZONING COMMISSION

Staff Use Only:  
Approved: \_\_\_\_\_  
Denied: \_\_\_\_\_  
Tabled: \_\_\_\_\_

*Cabarrus County and associated DFIRM panels dated November 5, 2008, March 2, 2009, June 16, 2009, February 19, 2014 and November 16, 2018, including any digital data developed as part of the FIS, which are adopted by reference and declared a part of this ordinance. Future revisions to the FIS and DFIRM panels that do not change flood hazard data within the jurisdictional authority of Cabarrus County are also adopted by reference and declared a part of this ordinance.*

**SECTION C. ESTABLISHMENT OF FLOODPLAIN DEVELOPMENT PERMIT**

*A Floodplain Development Permit shall be required in conformance with the provisions of this ordinance prior to the commencement of any development activities within Special Flood Hazard Areas determined in accordance with the provisions of Part 3, Section B of this ordinance.*

**SECTION D. COMPLIANCE**

*No structure or land shall hereafter be located, extended, converted, altered, or developed in any way without full compliance with the terms of this ordinance and other applicable regulations.*

**SECTION E. ABROGATION AND GREATER RESTRICTIONS**

*This ordinance is not intended to repeal, abrogate, or impair any existing easements, covenants, or deed restrictions. However, where this ordinance and another conflict or overlap, whichever imposes the more stringent restrictions shall prevail.*

**SECTION H. PENALTIES FOR VIOLATION**

*Violation of the provisions of this ordinance or failure to comply with any of its requirements, including violation of conditions and safeguards established in connection with grants of variance or special exceptions, shall constitute a Class 1 misdemeanor pursuant to NC G.S. § 143-215.58. Any person who violates this ordinance or fails to comply with any of its requirements shall, upon conviction thereof, be fined not more than \$100.00 or imprisoned for not more than thirty (30) days, or both. Each day such violation continues shall be considered a separate offense. Nothing herein contained shall prevent Cabarrus County from taking such other lawful action as is necessary to prevent or remedy any violation.*

The subject property contains areas located in the Special Flood Hazard Area (SFHA).

- No Floodplain Development Permits have been issued by Cabarrus County for any type of development or development activity on the subject property.
- On-site observations by Zoning Officer Hicks, along with County GIS and Pictometry data, show that the Special Flood Hazard Area (SFHA) on the property has been disturbed and that fill has been placed in the regulated floodplain area. (See GIS Images and Pictometry Imagery)

## **Chapter 4, Overlay Districts**

### ***Section 4-10 Requirements of the Waterbody Buffer Zone***

1. *A minimum 50-foot buffer shall be established from the stream bank on all sides of perennial streams in addition to any lakes, ponds or impoundments located along, or on, those streams. Perennial streams include all rivers, streams, lakes, ponds or waterbodies shown on the USGS Quadrangle Maps as a solid blue line or identified in the Cabarrus County Geographic Information System.*
2. *A minimum 25-foot-buffer shall be established along the edge of any identified wetlands.*
3. *The applicant must provide a detailed survey that field verifies the location of all perennial streams, lakes, ponds, impoundments and wetlands on the subject property and within 100 feet of the boundary of the subject property for all proposed plats and site plans.*
4. *Streams may exist even if they are not mapped on the USGS Quadrangle Maps or NRCS Soil Survey Maps. A qualified professional must identify streams that exist on the site but are not mapped. For purposes of this section, a qualified professional shall mean an individual that has attended wetlands delineation training using application of the 1987 Wetland Delineation Manual by the US Army Corps of Engineers and Identification of Perennial and Intermittent Streams training supported by the North Carolina Division of Water Quality.*
5. *The determination that a waterbody or stream indicated on a USGS Map or NRCS soil survey map does not exist must be concurred by the NCDENR Division of Water Quality and/or the US Army Corps of Engineers.*
6. *The Waterbody Buffer Zone shall be determined and clearly delineated on site prior to any development or pre-development activity occurring in order to protect the required buffer from encroachment or damage. No development, including soil disturbing activities or grading, shall occur within the established buffer area.*

## **Chapter 5, District Development Standards, Stream buffer and floodplain limitations**

### ***B. Stream buffer and floodplain limitations***

PLANNING STAFF REPORT  
CABARRUS COUNTY PLANNING AND ZONING COMMISSION

Staff Use Only:  
Approved: \_\_\_\_\_  
Denied: \_\_\_\_\_  
Tabled: \_\_\_\_\_

1. *All development on parcels with regulated floodplain are subject to the Cabarrus County Flood Damage Prevention Ordinance. See Chapter 16.*

The subject property contains perennial streams subject to the regulations in Chapter 4.

- Development activity, including clearing, grading and fill, has occurred on the site without permits or the buffers being delineated.
- It is unclear whether the required stream buffers have been impacted.

**Chapter 5, District Development Standards, Utilities and Stormwater**

**C. Utilities and Stormwater**

2. *Proposed developments in unincorporated Cabarrus County are subject to Phase 2 Post-Construction and Soil and Erosion Control permitting with the North Carolina Department of Energy, Mineral and Land Resources.*

The amount of disturbance on the site is such that permits would be required from the North Carolina Department of Environmental Quality for soil and erosion control and stormwater.

- No permits have been issued by NCDEQ for this site.

**Exhibits**

1. Staff Report
2. Maps
3. Appeal Application
4. Notice of Violation, Warning
5. Notice of Violation, First Citation
6. Site Visit Photos August 2020
7. Site Visit Photos November 2020
8. Pictometry Imagery (Historical and February 2021)
9. GIS Aerial Images
10. Google Earth Imagery
11. Letters and Noticing List
12. Sign

## Central Cabarrus Planning Area Aerial Map



### Appellant Information:

John C. and Michelle McGraw  
7905 Flowes Store Rd  
Concord, NC 28025

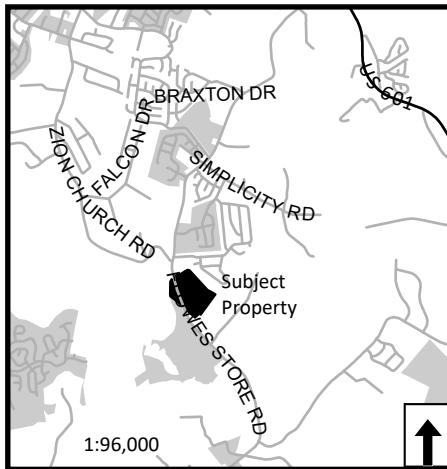
Case: APPL2020-00002

Address: 7005 Flowes Store Rd  
Concord, NC 28025

Zoning: Agricultural/Open Space (AO)

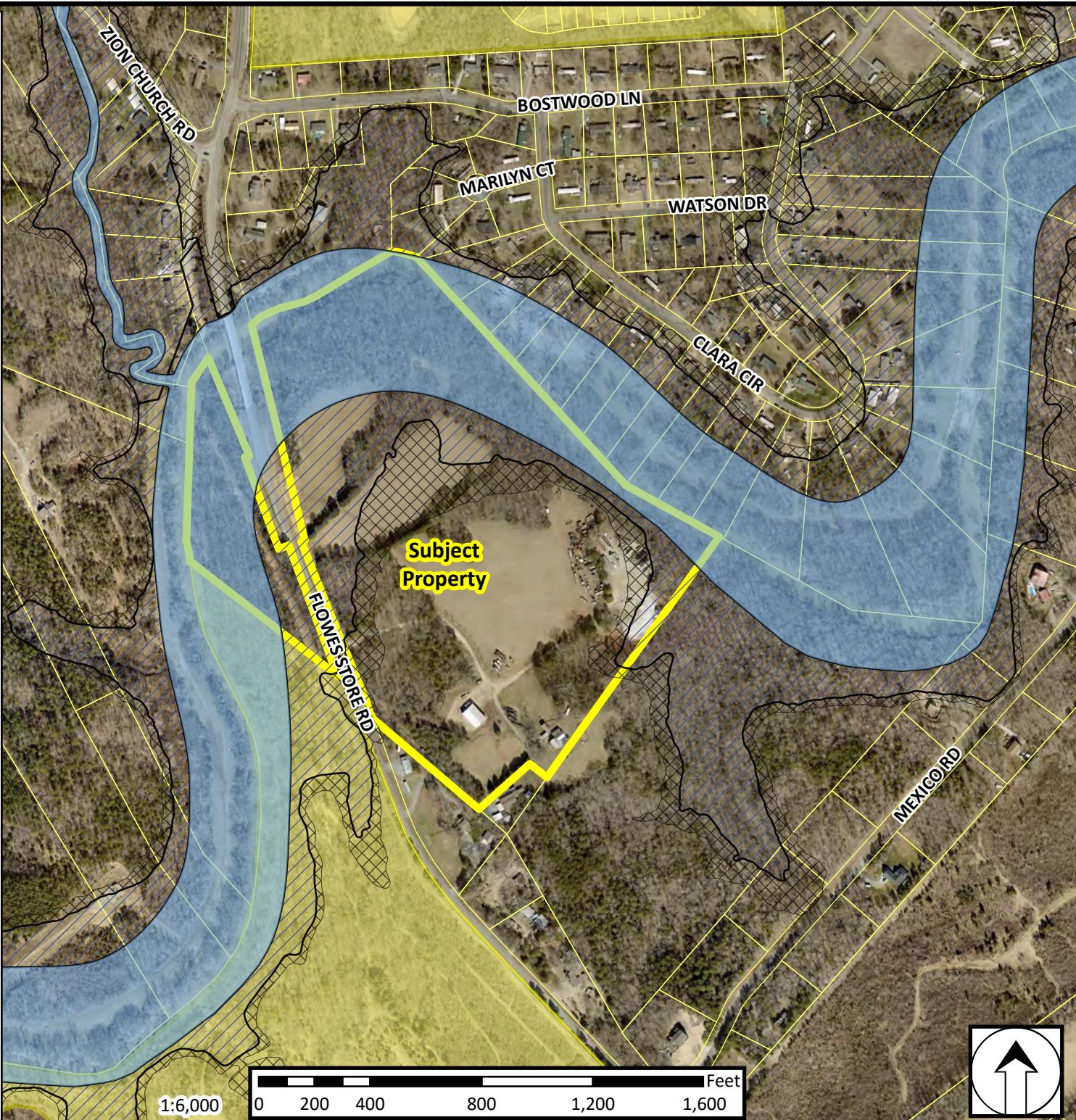
Request: Appeal of Notice of Violation  
(ZNC2020-00375) for operation of illegal  
salvage yard, illegal landfill and fill in the SFHA  
PINs: 5537-56-4049

- Cabarrus County
- Concord
- Tax Parcels



Cabarrus County shall not be held liable for any errors in this data. This includes errors of omission, commission, errors concerning the content of the data, and relative and positional accuracy of the data. These data cannot be construed to be a legal document. Primary sources from which these data were compiled must be consulted for verification of information contained within the data.

Map Prepared by Cabarrus County Planning & Development - October 2022



## Central Planning Area Existing Zoning



### Appellant Information:

John C. and Michelle McGraw  
7905 Flowes Store Rd  
Concord, NC 28025

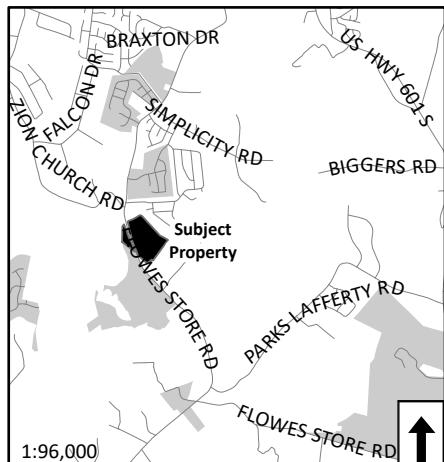
Case: APPL2020-00002

Address: 7005 Flowes Store Rd  
Concord, NC 28025

Zoning: Agricultural/Open Space (AO)

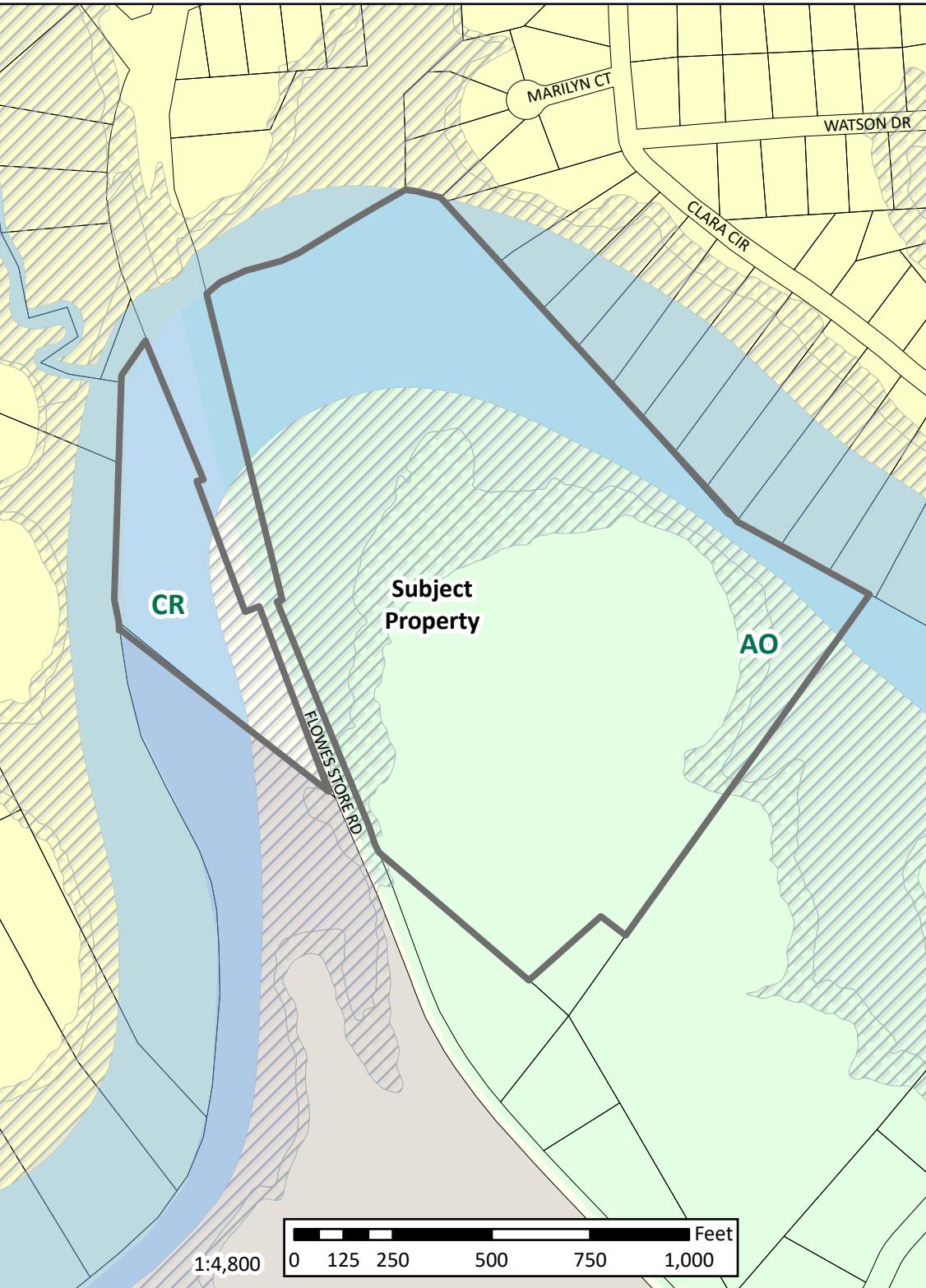
Request: Appeal of Notice of Violation  
(ZNC2020-00375) for operation of illegal  
salvage yard, illegal landfill and fill in the SFHA

PINs: 5537-56-4049



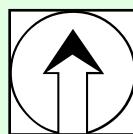
Cabarrus County shall not be held liable for any errors in this data. This includes errors of omission, commission, errors concerning the content of the data, and relative and positional accuracy of the data. These data cannot be construed to be a legal document. Primary sources from which these data were compiled must be consulted for verification of information contained within the data.

Map Prepared by Cabarrus County Planning & Development - October 2022



### Legend

Tax Parcels
Cabarrus County
Municipal District
AO
AO-CU
AO-SU
CR
LDR
LDR-SU
MDR
MDR-SU
HDR
HDR-SU
LC
LC-SU
GC
GC-SU
LI
LI-SU
GI
GI-SU
OI
OI-SU
PUD
Flood Plain
Label
500 year floodplain
100 year floodplain
Floodway
<b>Watershed</b>
Critical Area
Protected Area



## Central Cabarrus Planning Area Future Land Use



### Appellant Information:

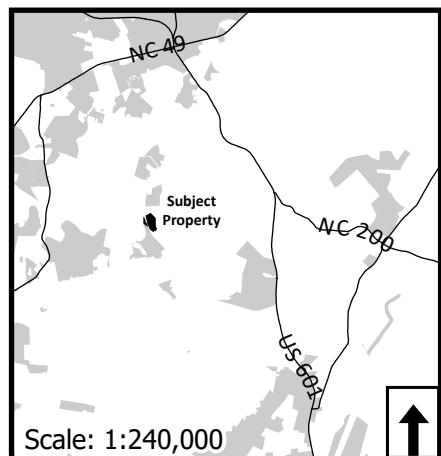
John C. and Michelle McGraw  
7905 Flowes Store Rd  
Concord, NC 28025

Case: APPL2020-00002

Address: 7005 Flowes Store Rd  
Concord, NC 28025

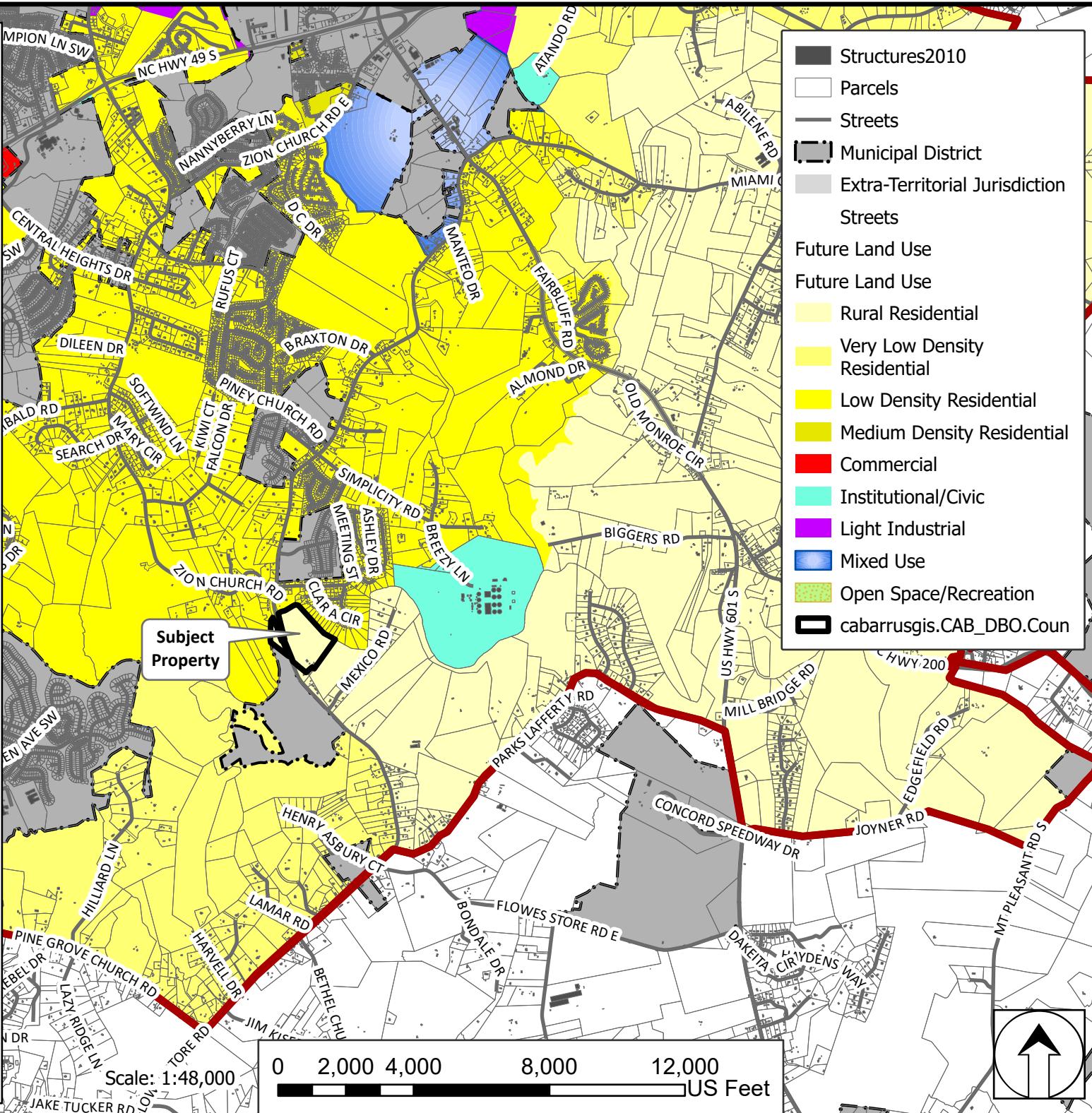
Request: Appeal of Notice of Violation  
(ZNC2020-00375) for operation of illegal  
salvage yard, illegal landfill and fill in the SFHA

PINs: 5537-56-4049



Cabarrus County shall not be held liable for any errors in this data. This includes errors of omission, commission, errors concerning the content of the data, and relative and positional accuracy of the data. These data cannot be construed to be a legal document. Primary sources from which these data were compiled must be consulted for verification of information contained within the data.

Map Prepared by Cabarrus County Planning & Development - October 2022





## APPEAL OF ADMINISTRATIVE DECISION, INTERPRETATION OR NOTICE OF VIOLATION

STAFF USE ONLY:

Application/Accela#: APPL2020 - 00002

Reviewed by: \_\_\_\_\_

Date: 11/25/20

Amount Paid: 450.00

In order to request an appeal from an interpretation or administrative decision made by the Zoning Administrator, the applicant must submit the following:

1. Complete application
2. Fee of \$450.00 plus cost of advertising and noticing
3. Copies of any documentation to be submitted to the Board of Adjustment as evidence. (If large format copies are included in the documentation, applicant must submit 18 copies.)

If there are additional questions concerning this process, please call the Planning and Development Department at (704) 920-2141, Monday through Friday, 8:00 am to 5:00 pm.

**Incomplete applications will be returned to the applicant and will not be processed.**

To the Cabarrus County Board of Adjustment:

I JohnC. McGraw, hereby appeal the following decision of the Zoning Administrator to the Board of Adjustment: October 29, 2020 Notice of Violation - ZNC2020-00375 which determined that my property was in violation of Code Sections 03-10, 03-07, 06-02, 06-11, 07-21 08-01, 12-03, and 12-08 and operating an illegal junk yard and land fill.

*You may attach additional sheet(s) if needed.*

I request an interpretation of:

The Zoning Atlas (Zoning classification of subject property)

The following section(s) of the Zoning Ordinance:

Code Sections 03-10, 03-07, 06-02, 06-11, 07-21, 08-01, 12-03, and 12-08.

*You may attach additional sheet(s) if needed.*

As it relates to the use of the property located at:

ADDRESS: 7005 Flowes Store Road

PARCEL IDENTIFICATION NUMBER (PIN): 55375640490000

PROPERTY OWNER: John and Michelle McGraw



**Attachment to Appeal Application**

**Code Section 03-10 – Operation of Use Not Listed in Table of Permitted Uses**

Why the interpretation is incorrect: Enforcement for any alleged violations is barred by the applicable 5- and 7-year statutes of limitation. The uses on the Applicant's property are permitted under AO Zoning PBS uses. The Applicant is storing his personally owned vehicles, equipment, and materials on his property. He does not operate a junk yard. AO allows: (1) contractor office, construction equipment storage, temporary use; (2) contractor or trade shops; (3) landfill, demolition -less than one acre; (4) repair garage, automobile; (5) repair shop, farm machinery; (6) repair shop, small engine; (7) towing service, accessory to automobile repair; (8) towing service, with towed vehicles storage yard, no salvage or part sales. All of these uses are more intensive than Applicant's use and are permitted in AO zoning.

**Code Section 03-07 – Conducting a Land Use That Is Not Permitted in a Particular Zone**

Why the interpretation is incorrect: The Applicant's land use is permitted in AO Zoning.

**Code Section 06-02 – Zoning Affects Every Structure and Use**

Why the interpretation is incorrect: The Applicant's do not deny that zoning applies, but there is no enforceable violation on the Applicant's property.

**Code Section 06-11 – Abandoned and Junk Vehicles**

Why the interpretation is incorrect: Code Section 6-11 specifically states that "This section does not apply to the Agricultural/Open Space Zoning District." The Applicant's property is zoned AO.

**Code Section 07-21 – Operating a Salvage Yard in a Residential Area**

Why the interpretation is incorrect: The Applicant is not operating a salvage yard.

**Code Section 08-01 – Operation of a Conditional Use Without a Conditional Use Permit**

Why the interpretation is incorrect: The Applicant's uses are allowed without a conditional use permit under PBS uses.

**Code Section 12-03 – Zoning Compliance Permit Required**

Why the interpretation is incorrect: The Applicant's property is in compliance with the ordinance.

**Code Section 12-08 – Site Development Plan Required**

Why the interpretation is incorrect: The property has not been developed.

Applicant reserves the right to present evidence in support of its position at the quasi-judicial hearing on the appeal.

A copy of the NOV issued to Applicant is attached hereto.

4/2013

Imagery Date: 4/9/2013 35°19'18.24" N 80°33'24.27" W elev 555 ft eye alt 2303 ft

Google Earth





10/29/2020

John & Michelle McGraw  
7905 Flowes Store Road  
Concord, NC 28025

File #: ZNC2020-00375

Inspection Date: 08/21/2020

## NOTICE OF VIOLATION

RE: 7005 FLOWES STORE RD

Zoning: AO

Parcel(s): 55375640490000

Nature of Violation: ILLEGAL OPERATION OF A JUNK YARD AND LANDFILL

The following provision(s) of the CABARRUS COUNTY Zoning Ordinance has been violated:

03-01 OPERATION OF A USE NOT LISTED IN TABLE OF PERMITTED USES

03-07 CONDUCTING A LAND USE THAT IS NOT PERMITTED IN A PARTICULAR ZONE

06-02 ZONING AFFECTS EVERY STRUCTURE AND USE

06-11 ABANDONED AND JUNK VEHICLES

07-21 OPERATING A SALVAGE YARD IN A RESIDENTIAL AREA

08-01 OPERATION OF A CONDITIONAL USE WITHOUT A CONDITIONAL USE PERMIT

12-03 ZONING COMPLIANCE PERMIT REQUIRED

12-08 SITE DEVELOPMENT PLAN REQUIRED

Dear John &amp; Michelle McGraw

An on-site inspection of your property has found you to be in violation of the Cabarrus County Zoning Ordinance.

PROPERTY IS BEING USED AS A JUNK YARD FOR WRECKED/JUNKED/ABANDONED VEHICLES.

PROPERTY IS ALSO BEING USED FOR ILLEGAL DUMPING AND LANDFILL

This notice is to serve as a Warning Citation*In order to correct this violation you must:*

ALL VEHICLES MUST BE PROPERTY REMOVED AND DISPOSED OR STORED IN AN APPROPRIATELY ZONED LOCATION. ALL DUMPING ON THE PROPERTY MUST CEASE AND THE LANDFILL AREA MUST BE BROUGHT INTO COMPLIANCE.

**You have (30) days from the receipt of this letter to comply with this ordinance.**

You may appeal this decision to the Board of Adjustment within thirty (30) days. This department reserves the right to exercise the following remedies per NC G.S.153A-123:

- Issue a civil starting at \$450.00 and if unpaid a judgment could become a lien on the property.

- File lawsuit against a property owner in North Carolina Superior Court for violation of the Zoning Ordinance.

In order to avoid any monetary citations please correct this matter within the aforementioned time frame.

If you have any questions concerning this matter or if you are in the process of clearing this matter, please call our office at (704) 920-2148 so we can make appropriate arrangements.

Thank you in advance for your cooperation.

Sincerely,

Brett Hicks, Senior Zoning Official



Brett Hicks  
Senior Zoning Official

10/29/2020

John & Michelle McGraw  
7905 Flowes Store Road  
Concord, NC 28025

File # : ZNC2020-00375

Inspection Date: 08/21/2020

**NOTICE OF VIOLATION**

**RE:** 7005 FLOWES STORE RD **Zoning:** AO

**Parcel(s):** 55375640490000

**Nature of Violation:** ILLEGAL OPERATION OF A JUNK YARD AND LANDFILL

**The following provision(s) of the CABARRUS COUNTY Zoning Ordinance has been violated:**

03-01 OPERATION OF A USE NOT LISTED IN TABLE OF PERMITTED USES

03-07 CONDUCTING A LAND USE THAT IS NOT PERMITTED IN A PARTICULAR ZONE

06-02 ZONING AFFECTS EVERY STRUCTURE AND USE

06-11 ABANDONED AND JUNK VEHICLES

07-21 OPERATING A SALVAGE YARD IN A RESIDENTIAL AREA

08-01 OPERATION OF A CONDITIONAL USE WITHOUT A CONDITIONAL USE PERMIT

12-03 ZONING COMPLIANCE PERMIT REQUIRED

12-08 SITE DEVELOPMENT PLAN REQUIRED

Dear John & Michelle McGraw

An on-site inspection of your property has found you to be in violation of the Cabarrus County Zoning Ordinance.

PROPERTY IS BEING USED AS A JUNK YARD FOR WRECKED/JUNKED/ABANDONED VEHICLES.

PROPERTY IS ALSO BEING USED FOR ILLEGAL DUMPING AND LANDFILL

**This notice is to serve as a Warning Citation**

***In order to correct this violation you must:***

ALL VEHICLES MUST BE PROPERTY REMOVED AND DISPOSED OR STORED IN AN APPROPRIATELY ZONED LOCATION. ALL DUMPING ON THE PROPERTY MUST CEASE AND THE LANDFILL AREA MUST BE BROUGHT INTO COMPLIANCE.

**You have (30) days from the receipt of this letter to comply with this ordinance.**

You may appeal this decision to the Board of Adjustment within thirty (30) days. This department reserves the right to exercise the following remedies per NC G.S.153A-123:

*- Issue a civil starting at \$450.00 and if unpaid a judgment could become a lien on the property.*

*- File lawsuit against a property owner in North Carolina Superior Court for violation of the Zoning Ordinance.*

In order to avoid any monetary citations please correct this matter within the aforementioned time frame.

If you have any questions concerning this matter or if you are in the process of clearing this matter, please call our office at (704) 920-2148 so we can make appropriate arrangements.

Thank you in advance for your cooperation.

Sincerely,

Brett Hicks, Senior Zoning Official

## **Cabarrus County Zoning Ordinance Reference**

### **Section 12-27. Violations**

In addition to any other remedies cited in this section for the enforcement of the provisions of this Ordinance, the regulations and standards herein may be enforced through the issuance of citations by the Zoning Office in accordance with G.S. 153A-123. These citations are in the form of a civil penalty.

The County may recover this penalty in a civil action in the nature of a debt if the offender does not pay the penalty within 72 hours after being cited for a violation. In addition, failure to pay the civil penalty within 72 hours may subject the violator to criminal charges.

The following civil penalties are established for violations under this Ordinance:

<b>Warning Citation</b>	<b>Correct the violation within ten days</b>
First Citations	\$ 450.00
Second Citation for the same offense	\$ 550.00
Third and subsequent citations for the same offense	\$ 750.00
Disturbed Acre in Required Open Space	\$ 500.00 plus Replacement Planting Equal to 20 Large Maturing Trees and 40 Large Shrubs per Acre (tree and shrub sizes shall be in accordance with the buffer standards)
Disturbed Acre in Required Buffer	\$ 500.00 plus Replacement Planting to Meet Buffer Standard

These civil penalties are in addition to any other penalties which may be imposed by a court for violation of the provisions of the zoning ordinance.

### **Section 12-28. Penalties**

Any person adjudged in violation of this ordinance shall be guilty of a misdemeanor and shall be punished as provided in General Statute I4-4.

### **Section 12-29. Remedies**

If a building or structure is erected, constructed, reconstructed, altered, repaired, converted, moved or maintained, or any building, structure or land is used in violation of this Ordinance, the Zoning Administrator, in addition to other remedies, may institute any appropriate action or proceedings to prevent the unlawful erection, construction, reconstruction, alteration, repair, conversion, moving, maintenance or use, to restrain, correct or abate the violation, to prevent occupancy of the building, structure or land, or to prevent any illegal act, conduct business or use in or about the premises.

PLACE STICKER AT TOP OF ENVELOPE TO THE RIGHT  
OF THE RETURN ADDRESS. FOLD AT DOTTED LINE

**CERTIFIED MAIL™**



**U.S. Postal Service™**  
**CERTIFIED MAIL™ RECEIPT**  
*(Domestic Mail Only; No Insurance Coverage Provided)*

For delivery information visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Postage	\$
Certified Fee	
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$

Postmark  
Here

*ZNC2020-60375 - Nicks - Zoning*

Sent To	John & Michelle McGraw
Street, Apt. No.; or PO Box No.	7905 Flower Store Road
City, State, ZIP+4	Concord, NC 28025

PS Form 3800, June 2002      See Reverse for Instructions

Cabarrus County  
Planning & Development  
Post Office Box 707  
Concord, NC 28026-0707  
[www.cabarruscounty.us](http://www.cabarruscounty.us)



**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

### 1. Article Addressed to:

Brett Hicks  
Roberson Co. Planning  
20 Box 707  
Cocod, NC 28026



9590 9402 2195 6193 5389 54

**2. Article Number (Transfer from service label)**

7004 3160 0002 6994 9884

**COMPLETE THIS SECTION ON DELIVERY**

**A. Signature**

10

- Agent
- Addressee

**B. Received by (Printed Name)**

**C. Date of Delivery**

D. Is delivery address different from item 1?  Yes  
If YES, enter delivery address below:  No

John & Michelle McGraw  
7905 Flowes Store Road  
Concord, NC 28025

ZNC2020 - 00316 - Brett -

**3. Service Type**

<input type="checkbox"/> Adult Signature	<input type="checkbox"/> Priority Mail Express
<input type="checkbox"/> Adult Signature Restricted Delivery	<input type="checkbox"/> Registered Mail™
<input checked="" type="checkbox"/> Certified Mail®	<input type="checkbox"/> Registered Mail Restricted Delivery
<input type="checkbox"/> Certified Mail Restricted Delivery	<input type="checkbox"/> Return Receipt for Merchandise
<input type="checkbox"/> Collect on Delivery	<input type="checkbox"/> Signature Confirmation™
<input type="checkbox"/> Collect on Delivery Restricted Delivery	<input type="checkbox"/> Signature Confirmation Restricted Delivery
<input type="checkbox"/> Insured Mail	
<input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)	

PS Form 3811, July 2015 PSN 7530-02-000-9053

### Domestic Return Receipt

**Certified Mail Provide:**

- A mailing receipt
- A unique identifier for you
- A record of delivery kept
- **Important Reminders:**
- Certified Mail may **ONLY** be used for:
  - NO INSURANCE COVE
  - valuables, please consider
  - For an additional fee, a Return Receipt (PS Form 3811) to
  - delivery. To obtain Return Receipt, endorse mailpiece. "Re
  - fee. Endorse mailpiece. "Re
  - a duplicate return receipt.

required.

- For an additional fee, d  
addressee's authorized ag  
endorsement "Restricted"
- If a postmark on the Certif  
icate at the post office for  
receipt is not needed, deliv

**IMPORTANT: Save this re**  
**Internet access to deliver**

U.S. Postal Service™  
CERTIFIED MAIL™ RECEIPT  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at [www.usps.com](http://www.usps.com)

**OFFICIAL USE**

Postage	\$
Certified Fee	
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$

**ZNC2020 - 60375 - 11icks - Zoning**

**Sent To**

Street, Apt. No.; or PO Box No.	John & Michelle McGraw
City, State, ZIP+4	7905 Flowes Store Road Concord, NC 28025

PS Form 3800, June 2002

See Reverse for Instructions

*CRX/NC*

8666-30986500  
Postmark  
Here  
OCT 30 2020  
HICKORY, NC

ZNC2020-00375  
7005 FLOWES STORE ROAD - JOHN & MICHELLE MCGRAW

The following violations were found to be active on the property located at 7005 Flowes Store Road which is owned by John and Michelle McGraw.

1. 3-1 – Operation of a use not listed in table of permitted uses
  - a. Property is being used as a landfill and this is not allowed as a permitted use in Agricultural/Open Space (AO)
2. 3-07 – Conducting a land use that is not permitted in a particular zone
  - a. Property is being used as a landfill and this is not allowed as a permitted use in Agricultural/Open Space (AO)
3. 6-02 - Zoning affects every structure and use
  - a. Property is being used as a landfill and this is not allowed as a permitted use in Agricultural/Open Space (AO) – this is not a permit by right
4. 6-11 – Abandon and junk vehicles
  - a. **ABANDONED VEHICLE** - Any motor vehicle that is left or abandoned
    1. On public grounds or county-owned property in violation of a law or ordinance prohibiting parking;
    2. for longer than 24 hours on property owned or operated by the county;
    3. For longer than two hours on private property without the consent or the owner, occupant, or lessee of the property; and/or, Left for longer than seven days on public grounds
5. 7-21 – Operating a landfill in a residential area
  - a. Property is being used as landfill and this is not allowed as a permitted use in Agricultural/Open Space (AO)
6. 8-01 – Operation of a conditional use without a conditional use permit
  - a. Operation of a Landfill, Sanitary (8-4, 13) requires a Special Use Permit
7. 12-03 – Zoning compliance permit required
  - a. Operation of a Landfill, Sanitary (8-4, 13) requires a Special Use Permit
8. 12-08 – Site Development Plan Required
  - a. Operations and rehabilitation plans are required as part of Special Use Permit approval.

According to the Cabarrus County Development Ordinance the property owner may apply for a Special Use Permit to Conduct a Landfill, Sanitary operation on the property. The process for obtaining the Special Use Permit is currently located in Chapter 8 – Conditional Uses of the Cabarrus County Development Ordinance. Further, the section related Special Use permits for Landfill, Sanitary is located in Section 13, which is listed below:

**13. Landfill, Sanitary or Landfill, Demolition-One Acre or More**

*Agricultural/Open, Limited Industrial and General Industrial districts*

*The following additional items shall be included on the site plan:*

- a. Extent of area to be filled.*
- b. Location, width and elevation of all easements and rights-of-way within or adjacent to extraction site.*
- c. Location of all existing or proposed structures on site.*
- d. Location of all areas on the site subject to flood hazard or inundation.*
- e. Location of all water courses on the site, including direction of flow and normal fluctuation of flow.*
- f. Existing topography at a contour interval of two feet, based on mean sea level datum.*
- g. Typical cross sections showing extent of overburden, extent of fill and water table elevation, based on mean sea level datum.*
- h. Proposed handling and storage areas for overburden, by-products and fill materials.*
- i. Proposed fencing, screening and gates, parking, service and other areas.*
- j. Any areas proposed for ponding.*
- k. Access roads to the site, as well as on-site roads, with indication of surface treatment to limit dust. Site distances on all roads used for access to the site.*

*An Operations Plan shall be submitted including:*

- o The date of commencement of operations and their expected duration*
- o Proposed hours and days of operation*
- o Complete description of operation, including source of materials, method of compaction, type of sealing proposed, types and number of equipment to be used*
- o Any phasing of operations and relationship among phases*

*A Rehabilitation Plan shall be submitted which shall include:*

- o A statement of planned future use of the site, including detailed methods of accomplishment*
- o A map, to the same scale as the site plan, showing final proposed topography, landscaping and ground cover proposed and any drainage or other structures proposed*
- o A phased plan of rehabilitation, related to the operations plan, showing how the rehabilitation will relate to the fill operations and the date of final completion*
- l. Copies of all permits required by all applicable regulating North Carolina and federal government agencies shall be submitted.*

*All operations associated with the fill shall conform to the following performance standards:*

*1. Direct illumination resulting from the operation shall not fall upon any land not covered by the application.*

*2. Equivalent sound levels at the boundaries of the fill site shall not exceed the following standards:*

*o Between 7:00 am and 7:00 pm 60 DBA*

*o Between 7:00 pm and 7:00 am 55 DBA*

*3. Vibration levels at the boundaries of the fill site shall not exceed the following standards:*

**Maximum Peak Particle Velocity CABARRUS COUNTY DEVELOPMENT ORDINANCE CHAPTER 8-  
CONDITIONAL USES**

---

**Chapter 8 Page 10 of 32 Amended 4/16/2018**

- o Steady state 1.0 inches/second*
- o Impact 2.0 inches/second*

*NOTE: The maximum particle velocity shall be the maximum displacement sums of three mutually perpendicular components, recorded simultaneously, and multiplied by the frequency in cycles per second.*

*For purposes of this Ordinance, steady-state vibrations are defined as vibrations which are continuous or vibrations occurring in discrete impulses more frequent than sixty (60) per minute. Discrete impulses which do not exceed sixty (60) per minute shall be considered impact vibrations.*

**4. The Rehabilitation Plan shall be referred to the Cabarrus County Soil and Water Conservation District for review and recommendation, in particular regarding the landscape material specified, the planting and maintenance proposed to insure continuous growth and development, and the acceptability of the proposals for the handling of lakes, ponds, etc.**

**5. The permanent roads, defined as those to be used in excess of one (1) year, within the fill site shall be surfaced with a dust free material, such as soil cement, bituminous concrete or Portland cement concrete.**

**6. Roads other than permanent roads shall be treated with dust inhibitors, to be specified in the Operations Plan, which will reduce to a minimum the generation of dust from the road surfaces as a result of wind or vehicular action. Properly operated water wagons are an acceptable means of dust inhibition.**

**7. Where the proposed fill shall take place within three hundred (300) feet of a dwelling, school, church, hospital, commercial or industrial building, public building, or public land, a security fence at least six (6) feet high shall be installed.**

**8. The Operations Plan and the Rehabilitation Plan shall be coordinated so that the amount of disturbed land is kept to the absolute minimum consistent with good practices and so that rehabilitation proceeds in concert with filling.**

I have further attached the entire section of Chapter 8 – Conditional Uses for reference.

Based on my knowledge of the Cabarrus County Development Ordinance, should the property owner/or their agent make application for a Special Use Permit for a Landfill, Sanitary – regarding the property located at 7005 Flowes Store Road and the Planning and Zoning Commission were to grant said Special Use Permit this would correct the current active violations on the property located at 7005 Flowes Store Road.

7005 FLOWES STORE ROAD – IMAGES – 8-20-20

PICTURE WERE TAKEN WHIILE DOING INSPECTION FOR ZONING PERMIT ZN2020-00952 – ISSUED  
8/17/20

ALL IMAGES WERE OBTAINED FROM THE DRIVE WAY ON THE PROPERTY



Aug 20, 2029 at 12:55:40 PM  
7005 Flowers Store Rd  
Concord NC 28025  
United States



Aug 20, 2029 at 12:55:40 PM  
7005 Flowers Store Rd  
Concord NC 28025  
United States



Aug 20, 2020 at 12:56:16 PM  
7005 Flowes Store Rd  
Concord NC 28025  
United States



Aug 20, 2020 at 12:56:58 PM  
7005 Flowes Store Rd  
Concord NC 28025  
United States







7005 FLOWES STORE ROAD – ZNC2020-00375

DATE: 11-19-20



Nov 19, 2020 at 11:20:44 AM  
7005 Flowes Store Rd  
Concord NC 28025  
United States



Nov 19, 2020 at 11:21:12 AM  
7005 Flowes Store Rd  
Concord NC 28025  
United States





Nov 19, 2020 at 11:21:42 AM  
7905 Flowers Store Rd  
Concord NC 28025  
United States



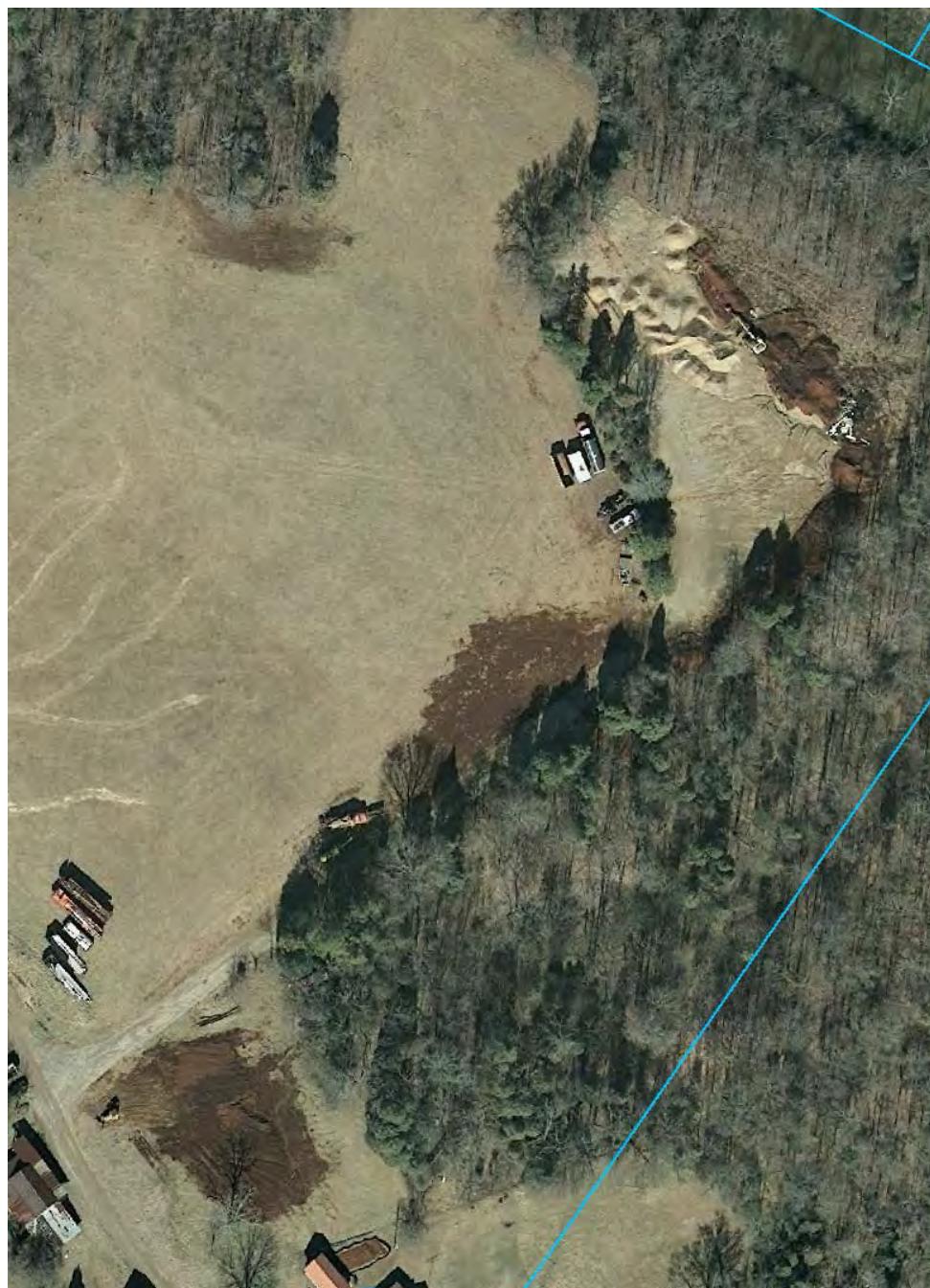
Nov 19, 2020 at 11:18:51 AM  
7905 Flowers Store Rd  
Concord NC 28025  
United States

7005 FLOWES STORE ROAD – GIS AERIAL IMAGES – 1-18-22

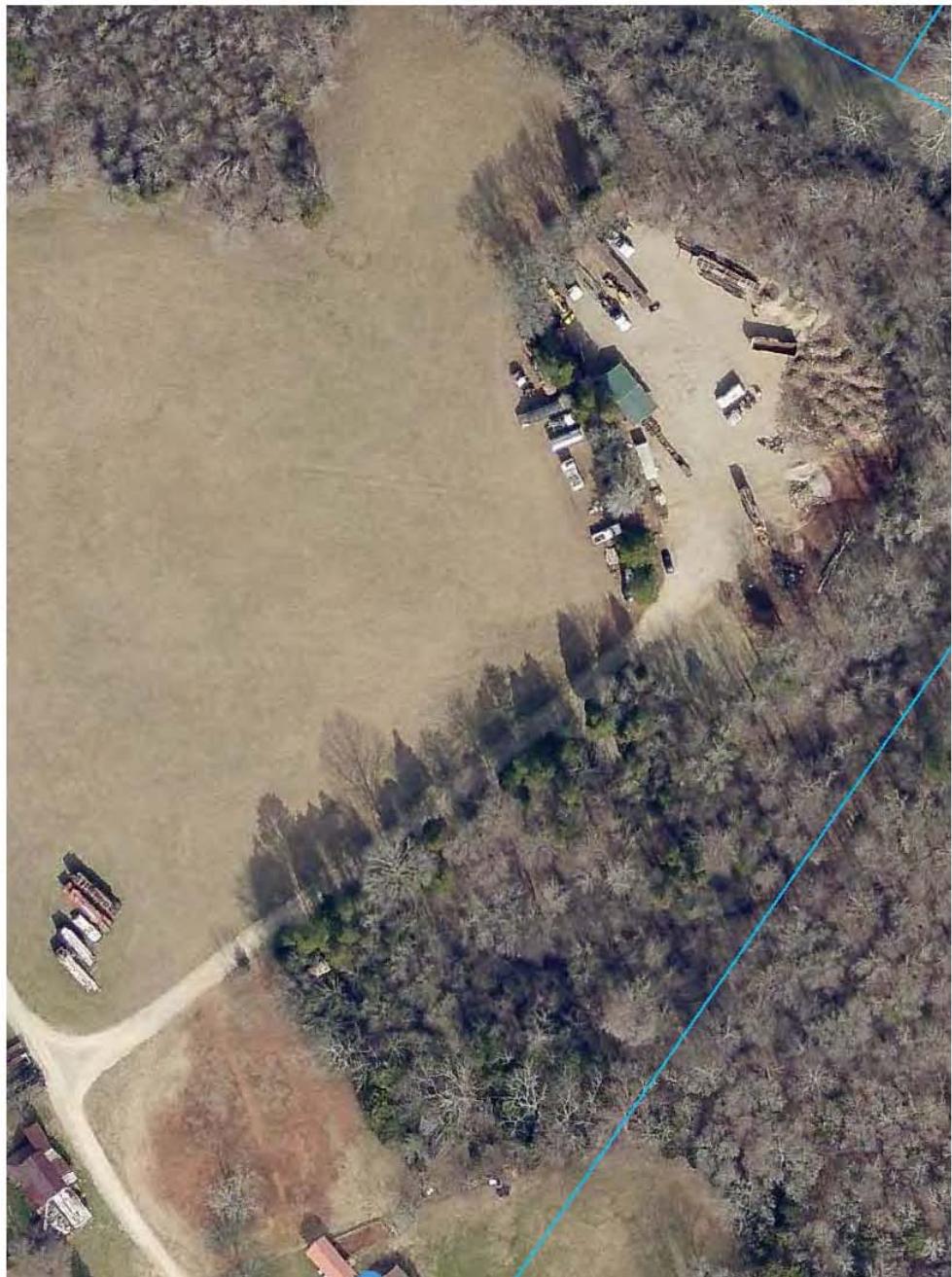
ALL IMAGES WERE OBTAINED CABARRUS COUNTY GIS

RANGE FROM 2010 – 2021

YEAR 2010



YEAR 2013



YEAR 2015



YEAR 2017



YEAR 2019



YEAR 2021



Pictometry 2/25/2021



# Pictometry 2/25/2021



map: Auto (Oblique) - Dates: Latest - < Image 2 of 14 > 02/25/2021

# Pictometry 2/25/2021

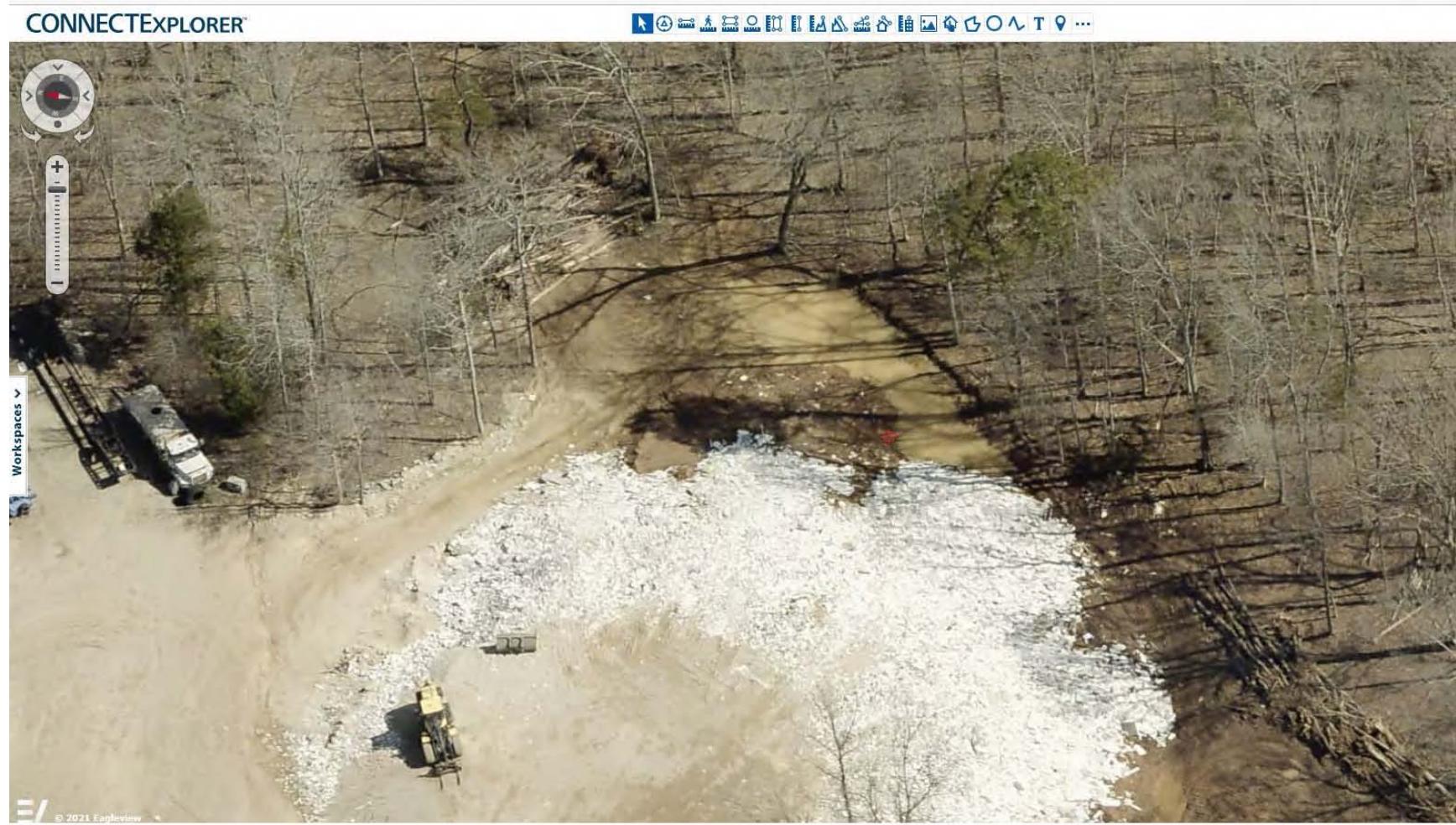
CONNECTEXPLORER™



# Pictometry 2/25/2021



# Pictometry 2/25/2021



# Pictometry 2/25/2021



# Pictometry 2/25/2021



# Pictometry 2/25/2021



## PICTOMETRY IMAGES OF SUBJECT PROPERTY



Single view

lique) ▾ Dates: Latest ▾ < image 1 of 5 > 02/25/2021

## PICTOMETRY IMAGES OF SUBJECT PROPERTY



iic) ▾ Feb 2019 - Feb 2019 ▾ 02/02/2019 - 02/14/2019

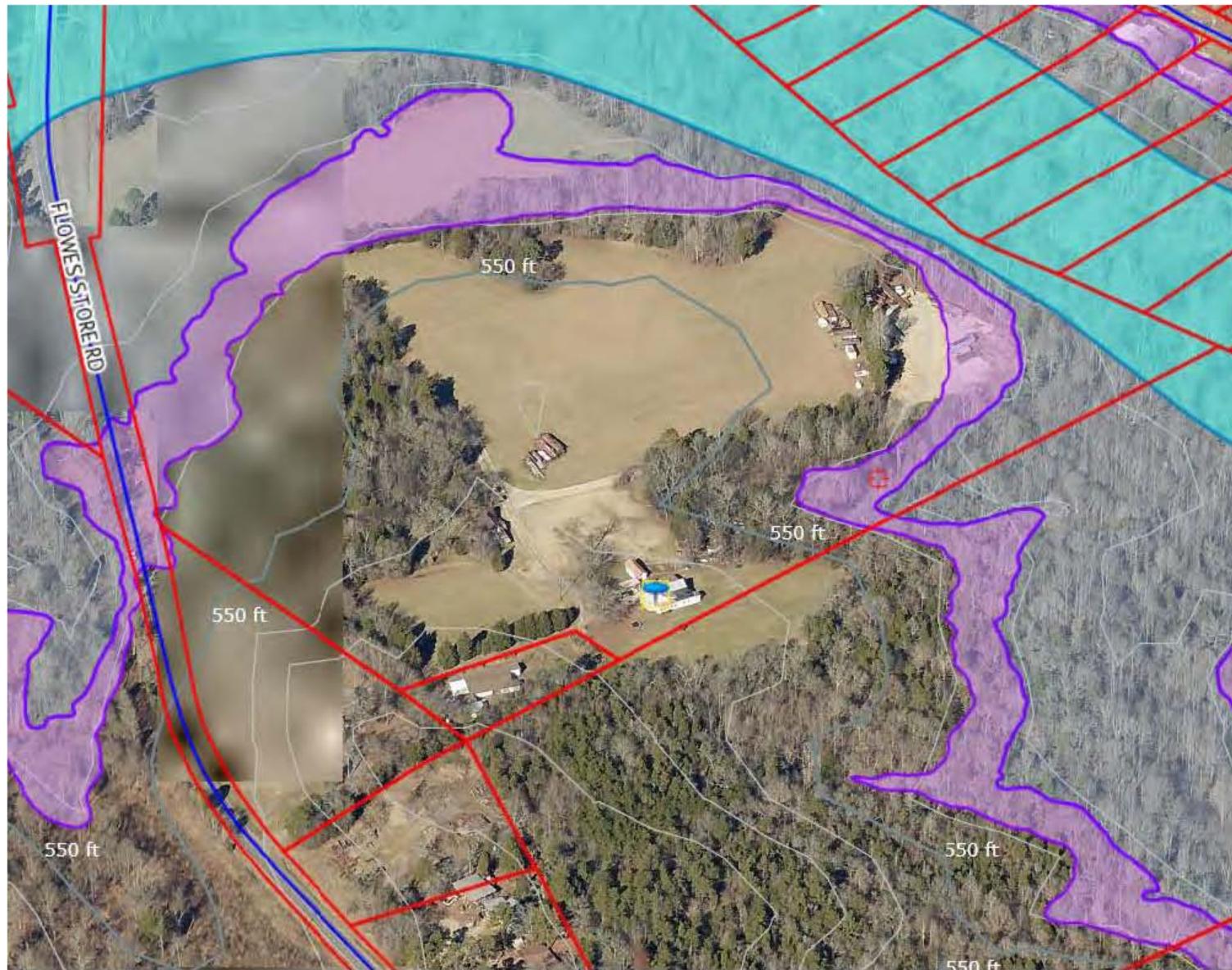
## PICTOMETRY IMAGES OF SUBJECT PROPERTY



Feb 2017 - Mar 2017 ▾

02/02/2017 - 03/17/2017

## PICTOMETRY IMAGES OF SUBJECT PROPERTY



## PICTOMETRY IMAGES OF SUBJECT PROPERTY



Feb 2013 - Feb 2013

image 1 of 4

02/04/2013

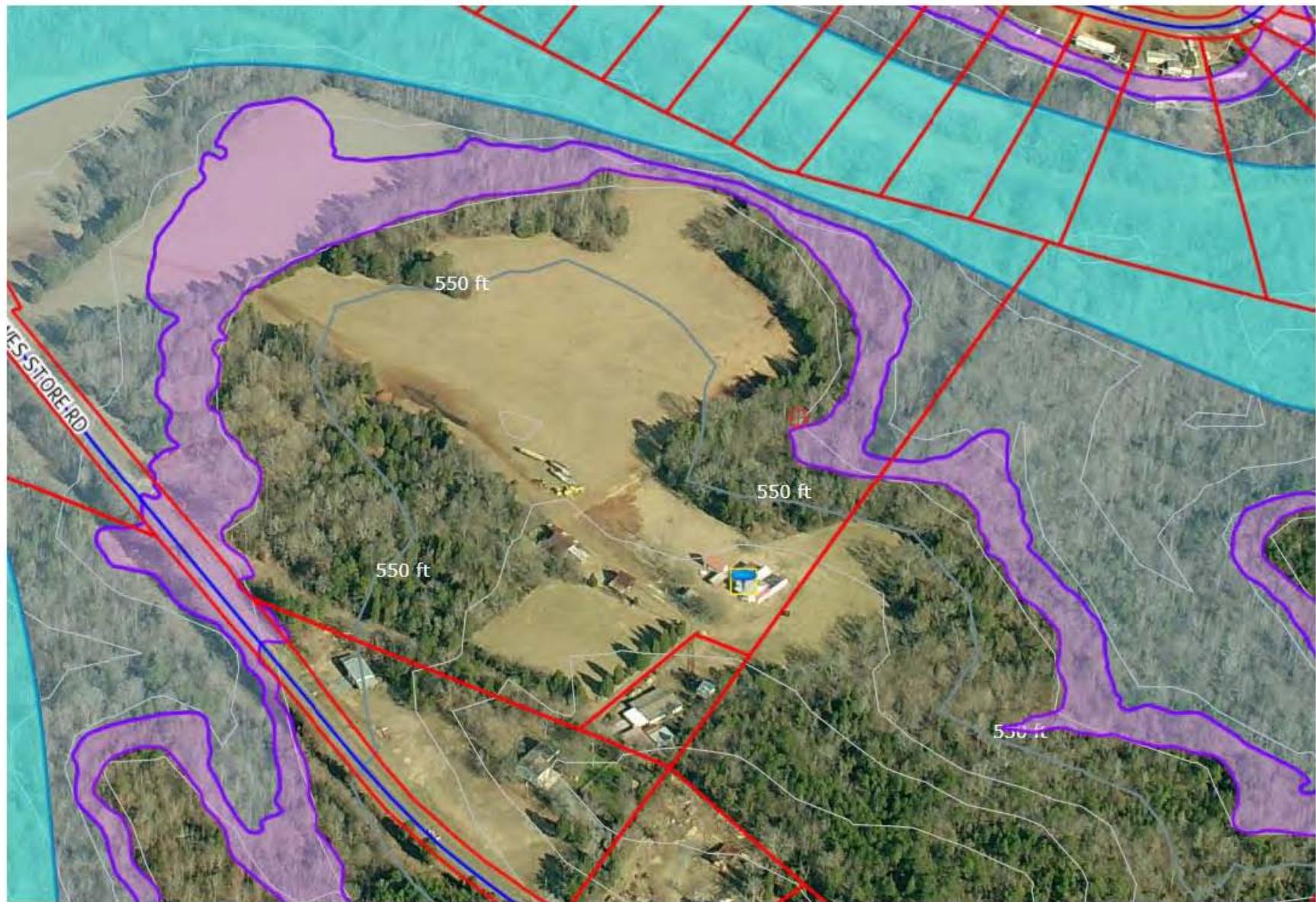
## PICTOMETRY IMAGES OF SUBJECT PROPERTY



Dec 2010 - Mar 2011 ▾

◀ image 1 of 8 ▶ 03/11/2011

## PICTOMETRY IMAGES OF SUBJECT PROPERTY



ear 2009

◀ image 1 of 8 ▶

02/06/2009

## PICTOMETRY IMAGES OF SUBJECT PROPERTY



# Google Earth Image 6/2022



# Google Earth Image 4/2022



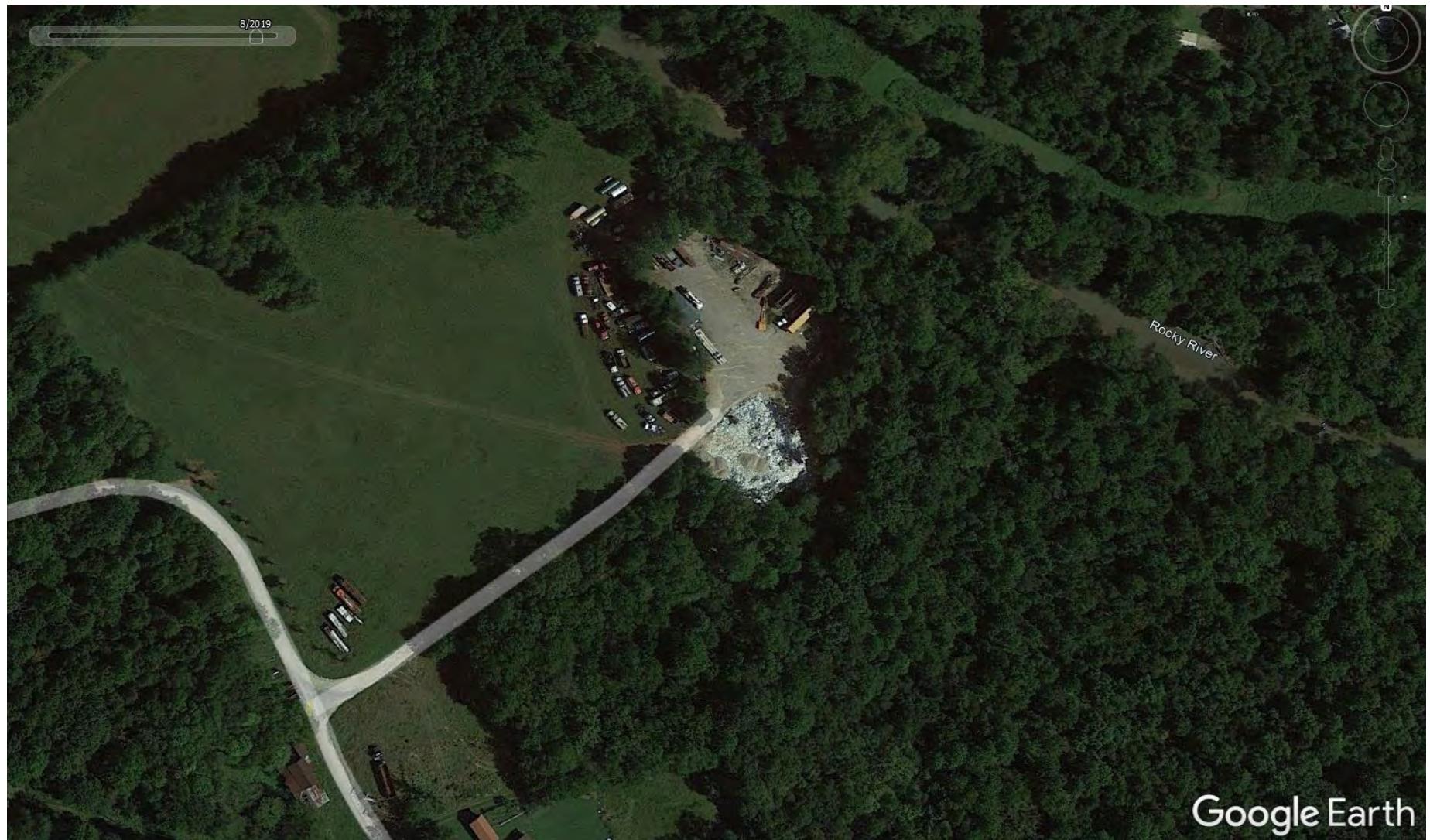
# Google Earth Image 11/2021



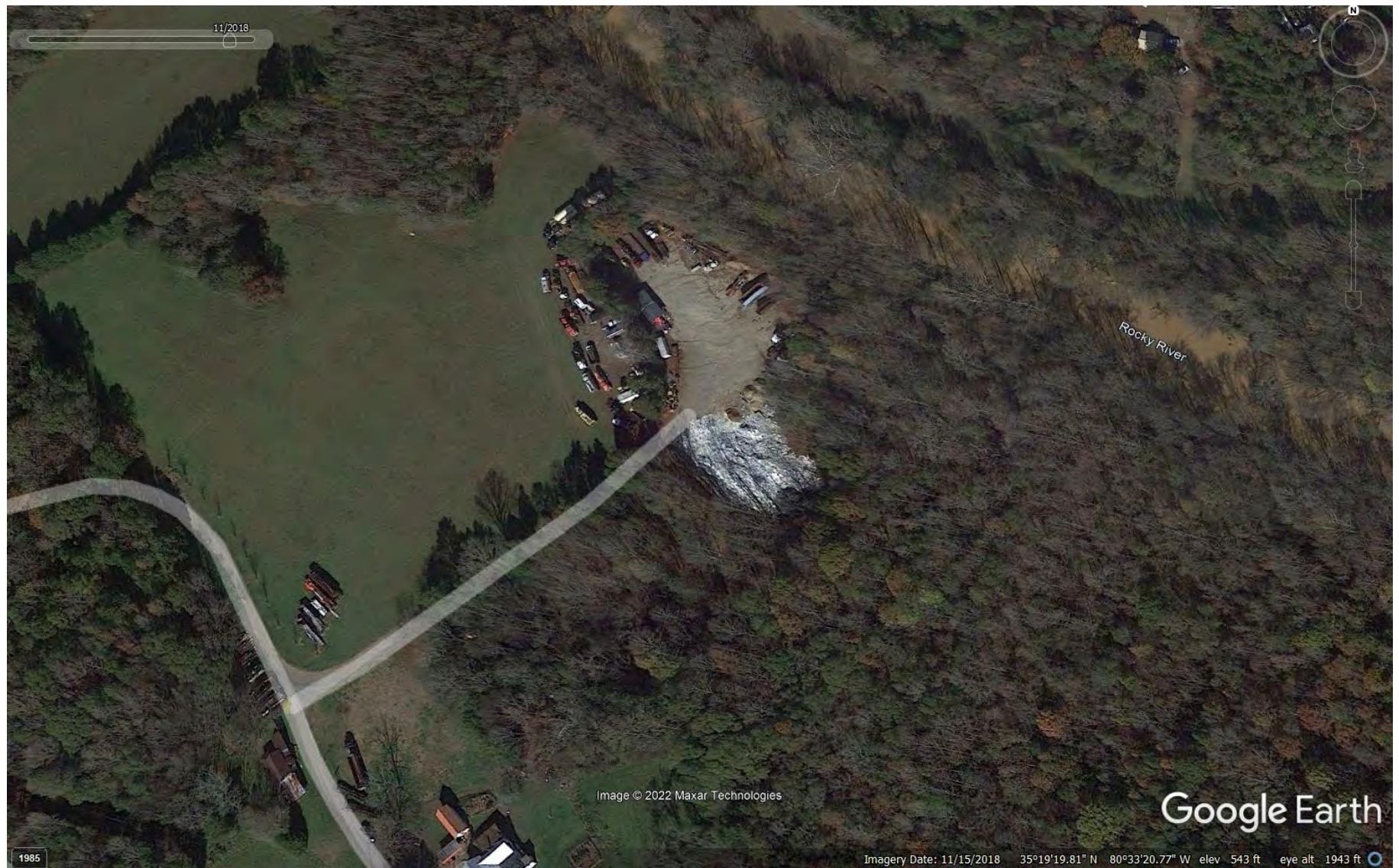
# Google Earth Image 1/2021



# Google Earth Image 8/2019



# Google Earth Image 11/2018



- File an Annual Report/Amend an Annual Report • Upload a PDF Filing • Order a Document Online •
- Add Entity to My Email Notification List • View Filings • Print a Pre-Populated Annual Report form • Print an Amended a Annual Report form

## Business Corporation

### Legal Name

C & M Recycling, Inc.

### Information

**SosId:** 0590382

**Status:** Current-Active ⓘ

**Date Formed:** 5/8/2001

**Citizenship:** Domestic

**Fiscal Month:** December

**Annual Report Due Date:** April 15th

**Current Annual Report Status:**

**Registered Agent:** McGraw, Michelle E

### Addresses

Mailing	Principal Office	Reg Office	Reg Mailing
7905 Flowes Store Rd Concord, NC 28025			

### Officers

#### President

Michelle McGraw  
7905 Flowes Store Rd.  
Concord NC 28025

### Stock

**Class:** Common

**Shares:** 1000

**Par Value** 1

- File an Annual Report/Amend an Annual Report • Upload a PDF Filing • Order a Document Online •
- Add Entity to My Email Notification List • View Filings • Print a Pre-Populated Annual Report form • Print an Amended a Annual Report form

## Business Corporation

### Legal Name

M & C GRADING, INC.

### Information

**SosId:** 0467540

**Status:** Active-Not Current  ⓘ

**Date Formed:** 8/13/1998

**Citizenship:** Domestic

**Fiscal Month:** December

**Annual Report Due Date:** April 15th

**Delinquent Annual Report Status:**

**Registered Agent:** McGraw, Michelle

### Addresses

<b>Reg Office</b>	<b>Reg Mailing</b>	<b>Mailing</b>	<b>Principal Office</b>
2930 Jeff Adams Dr Charlotte, NC 28206	2930 Jeff Adams Dr Charlotte, NC 28206	2930 Jeff Adams Dr. Charlotte, NC 28206	2930 Jeff Adams Dr. Charlotte, NC 28206

### Officers

<b>President</b>	<b>Vice President</b>
Clint McGraw 7905 Flowes Store Rd. Concord NC 28025	Michelle McGraw 7905 Flowes Store Rd. Concord NC 28025

### Stock

**Class:** COMMON

**Shares:** 100000

**Par Value** 1



Cabarrus County Government – Planning and Development Department

---

September 20, 2022

Dear Property Owner:

An appeal of a Notice of Violation has been filed in our office for property adjacent to your property. The specifics of the request are listed below. The Cabarrus County Board of Adjustment will consider this petition on Tuesday, October 11, 2022, at 6:30 PM in the 2<sup>nd</sup> floor Commissioner's Chambers of the Cabarrus County Governmental Center, located at 65 Church Street S Concord, NC 28025. A Public Hearing will be conducted, and public input will be allowed during that time. If you have any comments about the appeal, I encourage you to attend the meeting.

<b>Petitioner</b>	<b>John C. and Michelle McGraw</b>
<b>Petition Number</b>	<b>APPL2020-00002</b>
<b>Property Location</b>	<b>7005 Flowes Store Road</b>
<b>Parcel ID Number</b>	<b>5537-56-4049</b>
<b>Existing Zoning</b>	<b>Agriculture / Open Space (AO)</b>
<b>Appeal of Notice of Violation</b>	<b>Appeal of NOV for operating an illegal salvage yard, illegal landfill, and fill material in the SFHA</b>

If you have any questions regarding this petition, or the hearing process, feel free to contact me at 704.920.2141.

Sincerely,

A handwritten signature in blue ink that appears to read "Susie Morris".

Susie Morris  
Planning and Zoning Manager

CC:File



Cabarrus County Government – Planning and Development Department

---

September 20, 2022

Dear Property Owner:

An appeal of a Notice of Violation has been filed in our office for **your** property. The specifics of the request are listed below. The Cabarrus County Board of Adjustment will consider this petition on Tuesday, October 11, 2022, at 6:30 PM in the 2<sup>nd</sup> floor Commissioner's Chambers of the Cabarrus County Governmental Center, located at 65 Church Street S Concord, NC 28025. A Public Hearing will be conducted, and public input will be allowed during that time. If you have any comments about the appeal, I encourage you to attend the meeting.

<b>Petitioner</b>	<b>John C. and Michelle McGraw</b>
<b>Petition Number</b>	<b>APPL2020-00002</b>
<b>Property Location</b>	<b>7005 Flowes Store Road</b>
<b>Parcel ID Number</b>	<b>5537-56-4049</b>
<b>Existing Zoning</b>	<b>Agriculture / Open Space (AO)</b>
<b>Appeal of Notice of Violation</b>	<b>Appeal of NOV for operating an illegal salvage yard, illegal landfill, and fill material in the SFHA</b>

If you have any questions regarding this petition, or the hearing process, feel free to contact me 704.920.2141.

Sincerely,

A handwritten signature in blue ink that reads "Susie Morris".

Susie Morris  
Planning and Zoning Manager

CC: File

**Subject Property**

5537-56-4049  
 JOHN CLINT & MICELLE MCGRAW  
 7905 FLOWES STORE RD  
 CONCORD, NC 28025

**Surrounding Properties**

5537-45-2836 ALLEN D & VICKI B EVANS 6758 ZION CHURCH RD CONCORD, NC 28025	5537-36-8975 BIG P LLC 4817 EAST FORK LN MONROE, NC 28110	5537-54-4915 CANDACE SEAGROVES & ISIDRO ARELLANO MONDRAGON 7025 FLOWES STORE RD CONCORD, NC 28025
5537-56-9625 CAROLYN K GREENE 6724 CLARA CIR CONCORD, NC 28025	5537-66-5242 CONCORD PROPERTIES GROUP INC 3757 BURNAGE HALL RD HARRISBURG, NC 28075	5537-66-4303 DAVID F & CAROL B LAWS 521 VIKING PL SW CONCORD, NC 28025
5537-66-0529 EDSON BALTAZAR MEJIA VAZQUEZ 1 BUFFALO AVE NW APT 44 CONCORD, NC 28025	5537-57-4086 EDWARD H CANNON 6624 CLARA CIR CONCORD, NC 28025	5537-55-6137 ELAINE S VONCANNON 6995 FLOWES STORE RD CONCORD, NC 28025
5537-66-2425 GARLAND BLUE 2791 ISLAND POINT DR NW CONCORD, NC 28027	5537-56-7862 JACQUELINE TANYA SMITH 6712 CLARA CIRCLE CONCORD, NC 28025	5537-57-4117 JAMES A & LYNETTE C LINDERMAN 9029 PHOENIX AVE NE ALBUQUERQUE, NM 87112
5537-56-8764 JAMES J SMITH 1109 MATCHSTICK PL SW CONCORD, NC 28025	5537-66-2397 JEAN F & ALTA RAYMOND 6007 FIRETHORNE LANE CONCORD, NC 28025	5537-65-4455 JOHN CLINT & MICELLE MCGRAW 7905 FLOWES STORE RD CONCORD, NC 28025
5537-47-9220 KIMSEY EUGENE & PAMELA GALLAHER HUGHES 6655 FLOWES STORE RD CONCORD, NC 28025	5537-46-3813 MCLAMB HOLDINGS LLC PO BOX 8 LITTLE RIVER, SC 29566	5537-56-6918 RODOLFO GOMEZ GARCIA & VICTORIA DIAZ GORDILLO 6700 CLARA CIR CONCORD, NC 28025
5537-57-2260 SHARON LEA GEIB 807 MARILYN CT CONCORD, NC 28025	5537-43-6046 STANLEY MARTIN COMPANIES LLC ATTN: ACCOUNTING DEPT R/E TAX 11710 PLAZA AMERICA DR STE 1100 RESTON, VA 20190	5537-56-6889 STEPHANIE MARIE SMITH 1109 MATCHSTICK PL SW CONCORD, NC 28025
5537-66-1523 TEDDY RAY & JESSICA HALL HAGERMAN 316 GEIGER LN SALISBURY, NC 28147		

Sep 22, 2022 at 8:38:28 AM  
Flowes Store Rd, United States

